

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

June 10, 2022

David Soule, P.E.
Rio Grande Engineering
PO Box 93924
Albuquerque, NM 87199

**RE: 4917 Tally Ho
4917 Tally Ho
Grading and Drainage Plan
Engineer's Stamp Date: 6/7/22
Hydrology File: A12D033**

Dear Mr. Soule:

Based upon the information provided in your submittal received 6/6/22, the Grading & Drainage Plan **is not** approved for Building Permit. The following comments need to be addressed for approval of the above referenced project:

General Notes

1. Please update the engineer stamp date. Submittal date is before stamp date.
2. For pool and hot tub -Show concrete area (hatch if needed) to clearly define what is impervious and part of this pool install. (deck included).
 - a. Include spot elevations at corners of pool and pool deck.
3. Please show distance from structures and any walls.
4. Clearly define what is being constructed on this plan.
 - a. I cannot tell if it is simply the pool or is the concrete also being added? Was the concrete part of a previous G&D?

As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, jhughes@cabq.gov, 924-3420) 14 days prior to any earth disturbance.

If you have any questions, please contact me at 924-3695 or dggutierrez@cabq.gov

Sincerely,

David G. Gutierrez, P.E.
Senior Engineer, Hydrology
Planning Department



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: 4917 TALLY HO Building Permit #: _____ Hydrology File #: _____

DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: LOT 53 BLOCK 18 PARADISE HEIGHTS UNIT 1

City Address: 4917 TALLY HO

Applicant: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Other Contact: RIO GRANDE ENGINEERING Contact: DAVID SOULE

Address: PO BOX 93924 ALB NM 87199

Phone#: 505.321.9099 Fax#: 505.872.0999 E-mail: david@riograndeengineering.com

TYPE OF DEVELOPMENT: _____ PLAT ☒ RESIDENCE _____ DRB SITE _____ ADMIN SITE

Check all that Apply:

DEPARTMENT:

☒ HYDROLOGY/ DRAINAGE
☐ TRAFFIC/ TRANSPORTATION

TYPE OF SUBMITTAL:

☐ ENGINEER/ARCHITECT CERTIFICATION
☐ PAD CERTIFICATION
☐ CONCEPTUAL G & D PLAN
☒ GRADING PLAN
☐ DRAINAGE REPORT
☐ DRAINAGE MASTER PLAN
☐ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
☐ ELEVATION CERTIFICATE
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ STREET LIGHT LAYOUT
☐ OTHER (SPECIFY) _____
☐ PRE-DESIGN MEETING?

IS THIS A RESUBMITTAL?: ☒ Yes ☐ No

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY
☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☒ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR
☐ FLOODPLAIN DEVELOPMENT PERMIT
☐ OTHER (SPECIFY) _____

DATE SUBMITTED: _____ By: _____

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____

TALLY HO

Weighted E Method

| Basin | Area (sf) | Area (acres) | Treatment A % | Treatment A (acres) | Treatment B % | Treatment B (acres) | Treatment C % | Treatment C (acres) | Treatment D % | Treatment D (acres) | 100-Year, 6-hr. Weighted Volume (ac-ft) | Flow (cfs) | 10-day Volume (ac-ft) |
|----------|--------------|-----------------|------------------|------------------------|------------------|------------------------|------------------|------------------------|------------------|------------------------|---|---------------|-----------------------------|
| EXISTING | 20500.00 | 0.471 | 0% | 0 | 31% | 0.146 | 54% | 0.254 | 18% | 0.085 | 1.267 | 0.044 | 0.000 |
| PROPOSED | 20500.00 | 0.471 | 0% | 0 | 29% | 0.135 | 44% | 0.2212 | 24% | 0.113 | 1.132 | 0.044 | 0.000 |
| total | | | | | | | 43 | | 27 | | | 1.41 | 0.000 |

Equations:
Weighted E = Ea*Aa + Eb*Ab + Ec*Ac + Ed*Ad / (Total Area)
Volume = Weighted D * Total Area
Flow = Qa * Aa + Qb * Ab + Qc * Ac + Qd * Ad
Where for 100-year, 6-hour storm- zone 1
Ea= 0.44 Qa= 1.29
Eb= 0.67 Qb= 2.03
Ec= 0.99 Qc= 2.87
Ed= 1.97 Qd= 4.37

ONSITE Conditions

| | |
|------------------|------------------|
| REQUIRED (CF) | PROVIDED (CF) |
| 275 | 412 |
| 391 | |

STORM WATER VOLUM
391

Narrative

1 ADDED POOL, DECK AND HOT TUB,
UPDATED CALCULATIONS

This site is an addition to an existing structure within an fully developed subdivision. The existing lots all free dischARGE. The majority of the house and driveway drains to the roadway. The majority of the lot and the area of proposed improvement drain the the southwest corner. The plan will maintain existing patterns and retain the increases in the developed flow generated by the improvements as calculated for the 100-year, 10-day volume. The pond will overflow to the historical discharge outfall. Water quality volume generated by the site. Upland flows do not effect the site.

CAUTION:
EXISTING UTILITIES ARE NOT SHOWN.
IT SHALL BE THE SOLE RESPONSIBILITY
OF THE CONTRACTOR TO CONDUCT ALL
NECESSARY FIELD INVESTIGATIONS PRIOR
TO ANY EXCAVATION TO DETERMINE THE
ACTUAL LOCATION OF UTILITIES & OTHER
IMPROVEMENTS.

EROSION CONTROL NOTES:

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.

VICINITY MAP: A-12-Z

FIRM MAP:

LEGAL DESCRIPTION:

LOT 53 BLOCK 18 PARADISE HEIGHTS UNIT 1
CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

NOTES:

1. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.
2. ALL SLOPES SHALL BE 3:1 MAX. AND GRAVEL OR NATIVE SEEDING PRIOR TO CO.
3. ANY PERIMETER WALLS MUST BE PERMITTED SEPARATELY ALL RETAINING WALL DESIGN SHALL BE BY OTHERS.
4. SURVEY INFORMATION PROVIDED BY COMMUNITY SCIENCES CORPORATION USING NAVD DATUM 1988.
5. A PAD ELEVATION CERTIFICATION SHALL BE REQUIRED PRIOR TO RELEASE OF BUILDING PERMIT.

LEGEND

| | | | |
|-----|------|-----|--------------------------|
| --- | XXXX | --- | EXISTING CONTOUR |
| --- | XXXX | --- | EXISTING INDEX CONTOUR |
| --- | XXXX | --- | PROPOSED CONTOUR |
| --- | XXXX | --- | PROPOSED INDEX CONTOUR |
| + | XXXX | | EXISTING SPOT ELEVATION |
| ● | XXXX | | PROPOSED SPOT ELEVATION |
| --- | | --- | BOUNDARY |
| --- | | --- | ADJACENT BOUNDARY |
| --- | | --- | EXISTING CURB AND GUTTER |
| --- | | --- | PROPOSED EARTHEN SWALE |

1 ADDED POOL, DECK AND HOT TUB,
UPDATED CALCULATIONS 6/7/22

| | | |
|----------------------------|---|---------------------------------------|
| ENGINEER'S SEAL | LOT 53 BLK 18 PARADISE HTS UNIT 1 4917 TALLY HO AVE. | DRAWN BY DEM |
| | GRADING AND DRAINAGE PLAN | DATE 3-10-21 |
| 6/7/22 3/11/21 | P.O. BOX 53924 ALBUQUERQUE, NM 87199 (505) 321-8099 | LOT 53 BLOCK 18 PARADISE HTS UNIT.DWG |
| DAVID SOULE P.E. #14522 | | SHEET # C1 |
| | | JOB # |