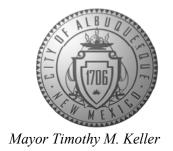
# CITY OF ALBUQUERQUE

Planning Department Alan Varela, Director



June 10, 2022

David Soule, P.E. Rio Grande Engineering PO Box 93924 Albuquerque, NM 87199

RE: 4917 Tally Ho

4917 Tally Ho

Grading and Drainage Plan Engineer's Stamp Date: 6/7/22 Hydrology File: A12D033

Dear Mr. Soule:

Based upon the information provided in your submittal received 6/6/22, the Grading & Drainage Plan **is not** approved for Building Permit. The following comments need to be addressed for approval of the above referenced project:

PO Box 1293

Albuquerque

#### General Notes

- 1. Please update the engineer stamp date. Submittal date is before stamp date.
- 2. For pool and hot tub -Show concrete area (hatch if needed) to clearly define what is impervious and part of this pool install. (deck included).
  - a. Include spot elevations at corners of pool and pool deck.
- 3. Please show distance from structures and any walls.
- 4. Clearly define what is being constructed on this plan.

NM 87103

a. I cannot tell if it is simply the pool or is the concrete also being added? Was the concrete part of a previous G&D?

www.cabq.gov

As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, jhughes@cabq.gov, 924-3420) 14 days prior to any earth disturbance.

If you have any questions, please contact me at 924-3695 or dggutierrez@cabq.gov

Sincerely,

David G. Gutierrez, P.E. Senior Engineer, Hydrology

Wir Gul

Planning Department



# City of Albuquerque

### Planning Department

#### Development & Building Services Division

### DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: 4917 TALLY HO Building Permit #:			Hydrology File #:	
DRB#: EPC#:			Work Order#:	
Legal Description: LOT 53 BLOCK 1	8 PARDISE	HEIGHTS UNIT	1	
City Address: 4917 TALLY HO				71
Applicant:			_ Contact:	
Address:				
Phone#:			_ E-mail:	
Other Contact: RIO GRANDE ENGINE	ERING		_ Contact:	DAVID SOULE
Address: PO BOX 93924 ALB NM	<del></del>			
Phone#: 505.321.9099	Fax#: 505.872	.0999	_ E-mail: di	avid@riograndeengineering.com
TYPE OF DEVELOPMENT: PLAT				
Check all that Apply:				
DEPARTMENT:  X HYDROLOGY/ DRAINAGE  TRAFFIC/ TRANSPORTATION		TYPE OF APPROV	RMIT APPR	
TYPE OF SUBMITTAL:  ENGINEER/ARCHITECT CERTIFICATION  PAD CERTIFICATION  CONCEPTUAL G & D PLAN  X GRADING PLAN	ī	PRELIMINAR SITE PLAN FO SITE PLAN FO FINAL PLAT	OR SUB'D A OR BLDG. P	APPROVAL PERMIT APPROVAL
DRAINAGE REPORT DRAINAGE MASTER PLAN FLOODPLAIN DEVELOPMENT PERMIT A ELEVATION CERTIFICATE CLOMR/LOMR TRAFFIC CIRCULATION LAYOUT (TCL) TRAFFIC IMPACT STUDY (TIS)		FOUNDATION X GRADING PE SO-19 APPRO PAVING PERI GRADING/ PA	N PERMIT A RMIT APPR WAL MIT APPRO D CERTIFI	OVAL ICATION
STREET LIGHT LAYOUT OTHER (SPECIFY) PRE-DESIGN MEETING?		WORK ORDER CLOMR/LOMI FLOODPLAIN	R	
IS THIS A RESUBMITTAL?: X Yes No	,	OTHER (SPEC	CIFY)	
DATE SUBMITTED:		-		
COA STAFF:	ELECTRONIC SUI	BMITTAL RECEIVED:		

### Weighted E Method **TALLY HO** 100-Year, 6-hr. Area | Area | Treatment A | Treatment B | Treatment C | Treatment D Weighted | Volume (acres) % (acres) % (acres) % (acres) % (acres) (ac-ft) 20500.00 0.471 0% 0 31% 0.146 51% 0.24 48% 0.085 4.067 0.049 20500.00 0.471 0% 0 29% 0.136 47% 0.2212 24% 0.113 1.132 0.044 1.41 0.050 .062 PROPOSED 0.006 total Weighted E = Ea\*Aa + Eb\*Ab + Ec\*Ac + Ed\*Ad / (Total Area) Volume = Weighted D \* Total Area ADDED POOL, DECK AND HOT TUB, **UPDATED CALCULATIONS** Flow = Qa \* Aa + Qb \* Ab + Qc \* Ac + Qd \* Ad Where for 100-year, 6-hour storm- zone 1 Qa= 1.29 Eb= 0.67 Qb= 2.03 Ec= 0.99 Qc= 2.87 Ed= 1.97 Qd= 4.37 **ONSITE Conditions** REQUIRED PROVIDED STORM WATER VOLUM 412 Narrative This site is an addition to an existing structure within an fully developed subdivision. The existing lots all free discahrge. The majority of the house and driveway drains to the roadway. The majority of the lot and the area of proposed improvement drain the the soutwest corner. The plan will maintain existing patterns and retain the increas in the developed flow generated by the improvments as calculated for the 100-year, 10-day volume. The pond will overflow to the historical discharge outfall. Water quality volume generated by the site. Upland flows do not effect the site. INSTALL 1" WIDE 👡 POOL DECK TRENCH DRAIN INV OUT=5271.25 **NEW POOL WITH**

EXIST. RESIDENCE

MATCH EX

NEW HOT TUB

PATIO 1% SLOPE

EXIST. PATIC

TO SOUTH

EXIST. SHED

4' PERIMETER

RETENTION POND TOP = 5266.00 BOTTOM = 5265.00 VOLUME = 412CF

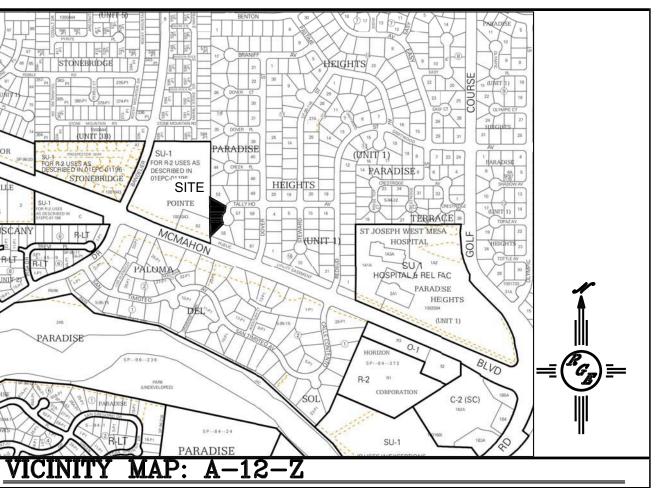
DECK

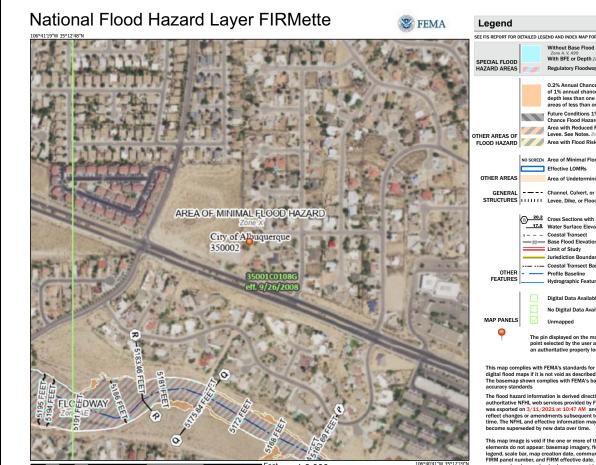
# **CAUTION:**

EXISTING UTILITIES ARE NOT SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE **ACTUAL LOCATION OF UTILITIES & OTHER** IMPROVEMENTS.

### **EROSION CONTROL NOTES:**

- 1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
- 2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
- 3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
- 4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
- 5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.





# 2,000 Basemap: USGS National Map: Orthoimagery: Data refreshed October, 2020 FIRM MAP:

### **LEGAL DESCRIPTION:**

LOT 53 BLOCK 18 PARADISE HEIGHTS UNIT1 CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

### NOTES:

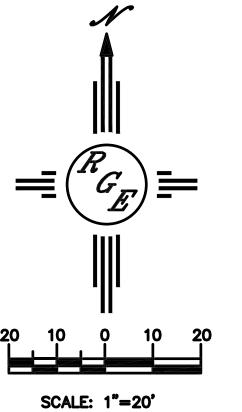
1. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.

No Digital Data Available

- 2. ALL SLOPES SHALL BE 3:1 MAX. AND GRAVEL OR NATIVE SEEDING PRIOR TO CO.
- 3. ANY PERIMETER WALLS MUST BE PERMITED SEPARATELY ALL RETAINING WALL DESIGN SHALL BE BY OTHERS.
- 4. SURVEY INFORMATION PROVIDED BY COMMUNITY SCIENCES CORPORATION USING NAVD DATUM 1988.
- 5. A PAD ELEVATION CERTIFICATION SHALL BE REQUIRED PRIOR TO RELEASE OF BUILDING

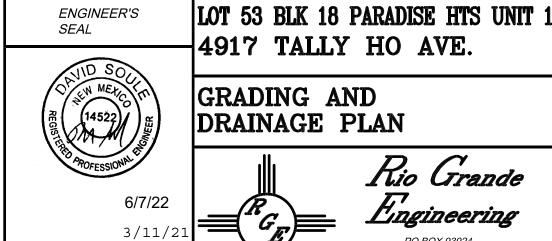
## **LEGEND**

	EXISTING CONTOUR
	EXISTING INDEX CONTOUR
XXXX <del>-</del>	PROPOSED CONTOUR
XXXX	PROPOSED INDEX CONTOUR
× XXXX	EXISTING SPOT ELEVATION
• XXXX	PROPOSED SPOT ELEVATION
	BOUNDARY
	ADJACENT BOUNDARY
	EXISTING CURB AND GUTTER
——————————————————————————————————————	PROPOSED EARTHEN SWALE





ADDED POOL, DECK AND HOT TUB, UPDATED CALCULATIONS 6/7/22



4917 TALLY HO AVE.

GRADING AND DRAINAGE PLAN

Rio Grande Engineering PO BOX 93924 ALBUQUERQUE, NM 87199 (505) 321-9099

DRAWN

 $^{BY}$  DEM

DATE 3-10-21

OT 53 BLOCK 18 PARADISE HTS UNIT.DWG

SHEET#

JOB#

C1

DAVID SOULE P.E. #14522