

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

June 1, 2023

David Soule, P.E.
Rio Grande Engineering
P.O. Box 93924
Albuquerque, NM 87199

**RE: 4504 Topaz Ave. NW
Grading and Drainage Plan
Engineer's Stamp Date: 05/25/23
Hydrology File: A12D035**

Dear Mr. Soule:

Based upon the information provided in your submittal received 05/25/2023, the Grading & Drainage Plan is approved for Grading Permit (earthwork can get started for the earth pad on the house and retaining walls).

PRIOR TO BUILDING PERMIT:

1. Once the grading is complete, a pad certification (meaning that the earthwork and retaining walls are complete) will be required. Please include a site photo with the submittal. Also, at the time of pad certification approval, Hydrology will concurrently approve the Grading & Drainage Plan for Building Permit.

If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov.

Sincerely,

Renée C. Brissette, P.E. CFM
Senior Engineer, Hydrology
Planning Department



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: 4504 TOPAZ **Building Permit #:** _____ **Hydrology File #:** _____
DRB#: _____ **EPC#:** _____ **Work Order#:** _____
Legal Description: LOT 21 BLOCK 12 PARADISE HEIGHTS UNIT 1
City Address: 4504 TOPAZ

Applicant: _____ **Contact:** _____
Address: _____
Phone#: _____ **Fax#:** _____ **E-mail:** _____

Other Contact: RIO GRANDE ENGINEERING **Contact:** DAVID SOULE
Address: PO BOX 93924 ALB NM 87199
Phone#: 505.321.9099 **Fax#:** 505.872.0999 **E-mail:** david@riograndeengineering.com

TYPE OF DEVELOPMENT: _____ PLAT ☒ RESIDENCE _____ DRB SITE _____ ADMIN SITE

Check all that Apply:

DEPARTMENT:
☒ HYDROLOGY/ DRAINAGE
_____ TRAFFIC/ TRANSPORTATION

TYPE OF SUBMITTAL:
_____ ENGINEER/ARCHITECT CERTIFICATION
_____ PAD CERTIFICATION
_____ CONCEPTUAL G & D PLAN
☒ GRADING PLAN
_____ DRAINAGE REPORT
_____ DRAINAGE MASTER PLAN
_____ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
_____ ELEVATION CERTIFICATE
_____ CLOMR/LOMR
_____ TRAFFIC CIRCULATION LAYOUT (TCL)
_____ TRAFFIC IMPACT STUDY (TIS)
_____ STREET LIGHT LAYOUT
_____ OTHER (SPECIFY) _____
_____ PRE-DESIGN MEETING?

IS THIS A RESUBMITTAL?: _____ Yes ☒ No

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

☒ BUILDING PERMIT APPROVAL
_____ CERTIFICATE OF OCCUPANCY
_____ PRELIMINARY PLAT APPROVAL
_____ SITE PLAN FOR SUB'D APPROVAL
_____ SITE PLAN FOR BLDG. PERMIT APPROVAL
_____ FINAL PLAT APPROVAL
_____ SIA/ RELEASE OF FINANCIAL GUARANTEE
_____ FOUNDATION PERMIT APPROVAL
_____ GRADING PERMIT APPROVAL
_____ SO-19 APPROVAL
_____ PAVING PERMIT APPROVAL
_____ GRADING/ PAD CERTIFICATION
_____ WORK ORDER APPROVAL
_____ CLOMR/LOMR
_____ FLOODPLAIN DEVELOPMENT PERMIT
_____ OTHER (SPECIFY) _____

DATE SUBMITTED: _____ **By:** _____

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____

Weighted E Method

										100-Year, 6-hr.			24 hour	
Basin	Area	Area	Treatment A		Treatment B		Treatment C		Treatment D	Weighted E (ac-ft)	Volume (ac-ft)	Flow cfs	Volume (ac-ft)	
	(sf)	(acres)	% (acres)	% (acres)	% (acres)	% (acres)	% (acres)	% (acres)						
EXISTING PROPOSED COMPARISON	9577.00	0.220	85%	0.187	15%	0.033	0%	0	0%	0.000	0.577	0.011	0.36	0.011
	9577.00	0.220	0%	0	21%	0.046	30%	0.066	49%	0.108	1.536	0.028	0.73	0.035
												0.018		0.025

Equations:

Weighted E = Ea*Aa + Eb*Ab + Ec*Ac + Ed*Ad / (Total Area)

Volume = Weighted D * Total Area

Flow = Qa * Aa + Qb * Ab + Qc * Ac + Qd * Ad

Where for 100-year, 6-hour storm- zone 1

Ea= 0.55	Qa= 1.54
Eb= 0.73	Qb= 2.16
Ec= 0.95	Qc= 2.87
Ed= 2.24	Qd= 4.12

ONSITE Conditions

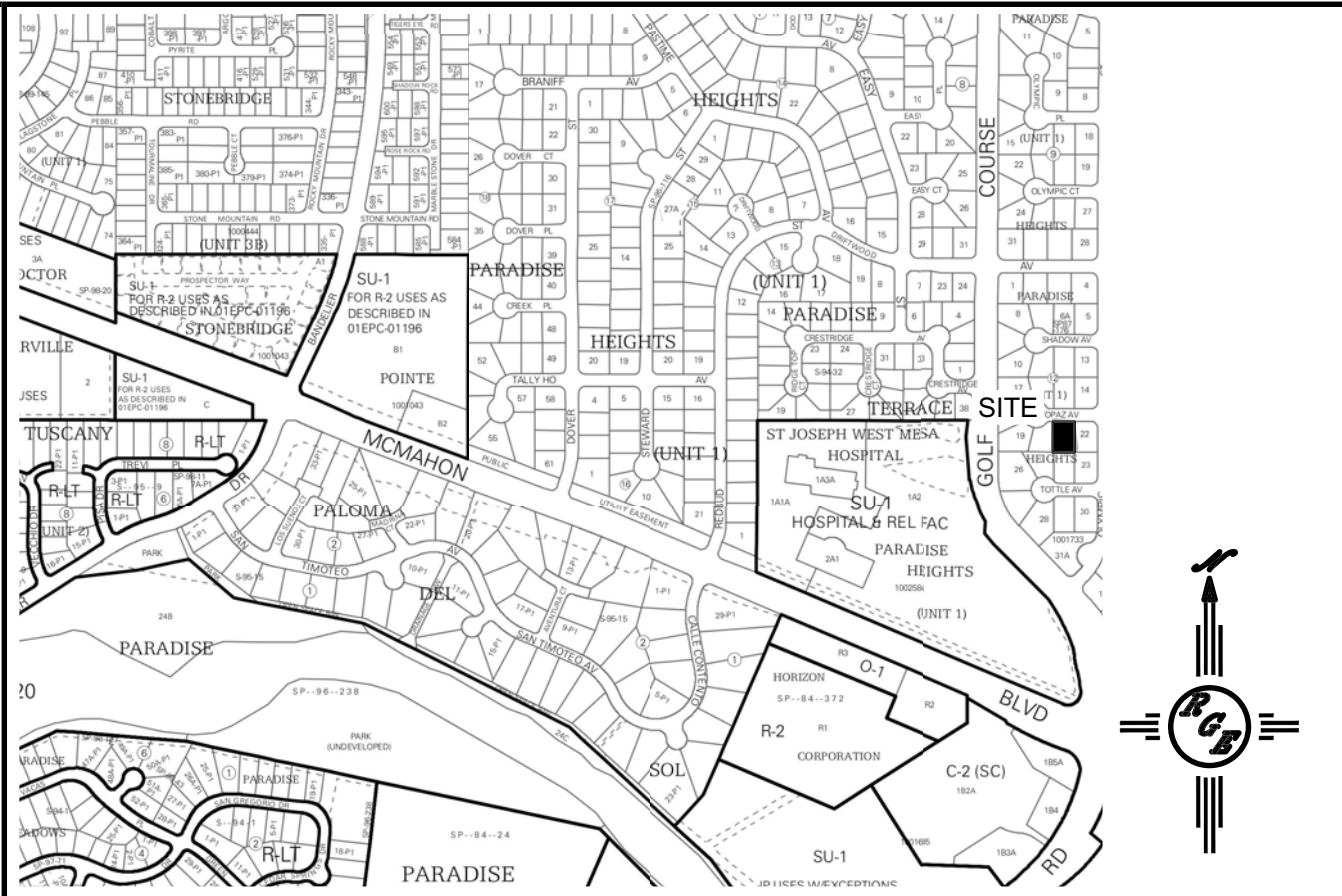
FIRST FLUSH WATER QUALITY VOLUME REQUIRED (CF)	PROVIDED (CF)
0	253
0	253

Narrative

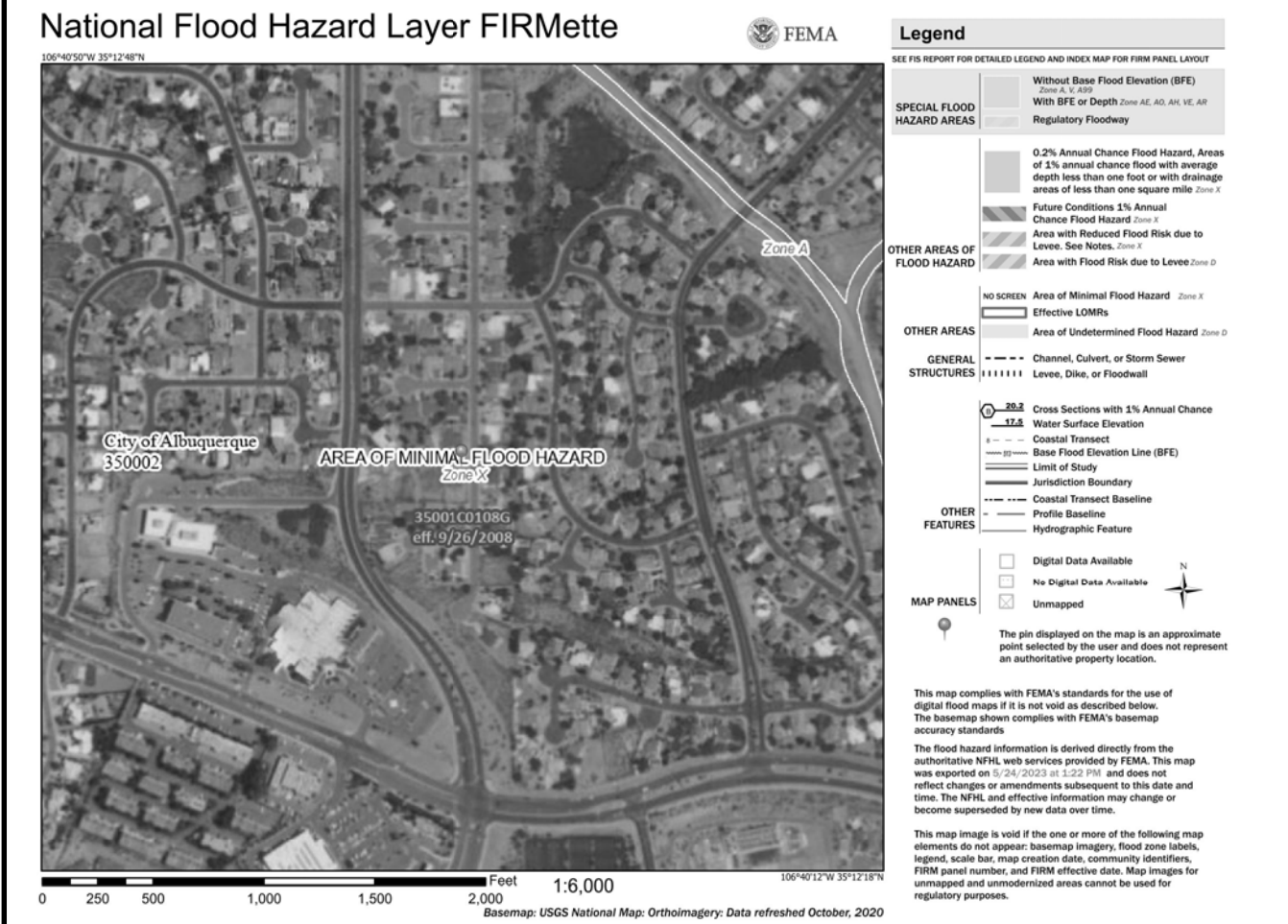
This site is within the an existing fully developed subdivision. All downstream drainage improvements are in place. All lots within the subdivision free discharge. The area is designated as free discharge allowed. We propose to retain 253 cf for water quality and free discharge to the excess to the street.

EROSION CONTROL NOTES:

- CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
- CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
- REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.



VICINITY MAP: A-12-Z



FIRM MAP:

LEGAL DESCRIPTION:

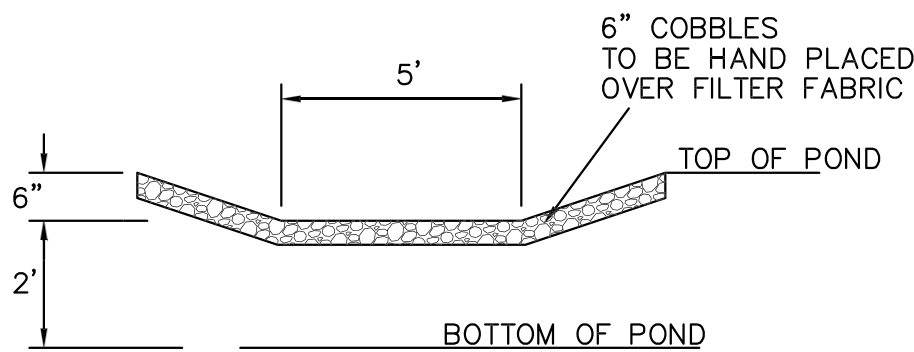
LOT 21, BLOCK 12 PARADISE HEIGHTS UNIT 1 PAGE 2
CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

NOTES:

- ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.
- ALL SLOPES SHALL BE 3:1 MAX. AND GRAVEL OR NATIVE SEEDING PRIOR TO CO.
- ANY PERIMETER WALLS MUST BE PERMITTED SEPARATELY ALL RETAINING WALL DESIGN SHALL BE BY OTHERS.
- SURVEY INFORMATION PROVIDED BY COMMUNITY SCIENCES CORPORATION USING NAVD DATUM 1988.
- A PAD ELEVATION CERTIFICATION SHALL BE REQUIRED PRIOR TO RELEASE OF BUILDING PERMIT.

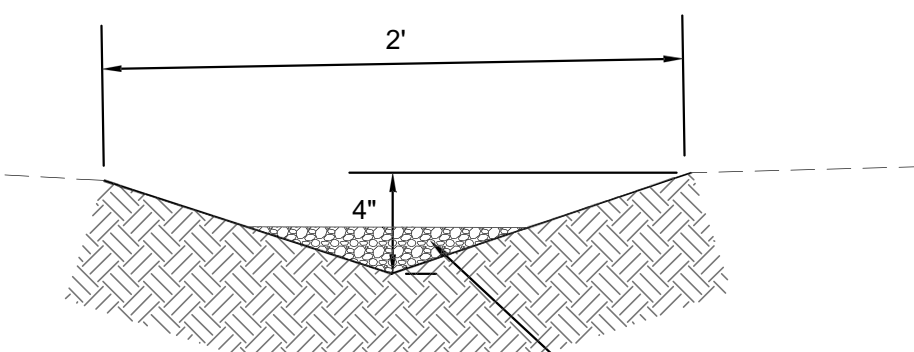
LEGEND

-----XXXX-----	EXISTING CONTOUR
-----XXXX-----	EXISTING INDEX CONTOUR
-----XXXX-----	PROPOSED CONTOUR
-----XXXX-----	PROPOSED INDEX CONTOUR
XXXX	EXISTING SPOT ELEVATION
●XXXX	PROPOSED SPOT ELEVATION
-----	BOUNDARY
-----	ADJACENT BOUNDARY
=====	EXISTING CURB AND GUTTER
-----<-----	PROPOSED EARTHEN SWALE
-----	PROPOSED RETAINING WALL
-----	PROPOSED CONCRETE
-----	PROPOSED PONDING



EMERGENCY OVERFLOW DETAIL
NTS

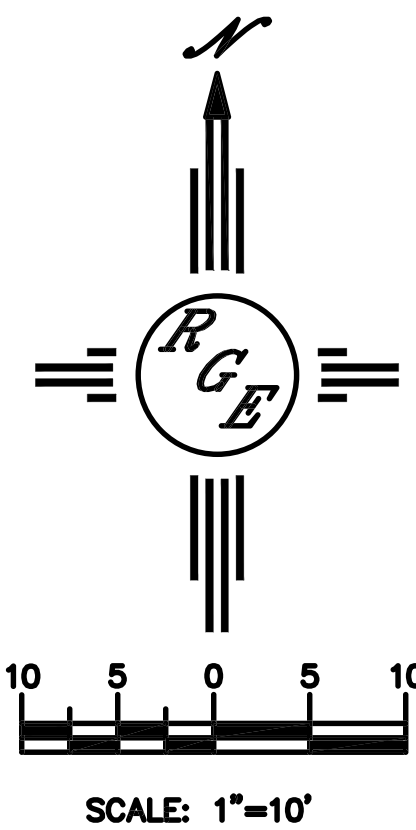
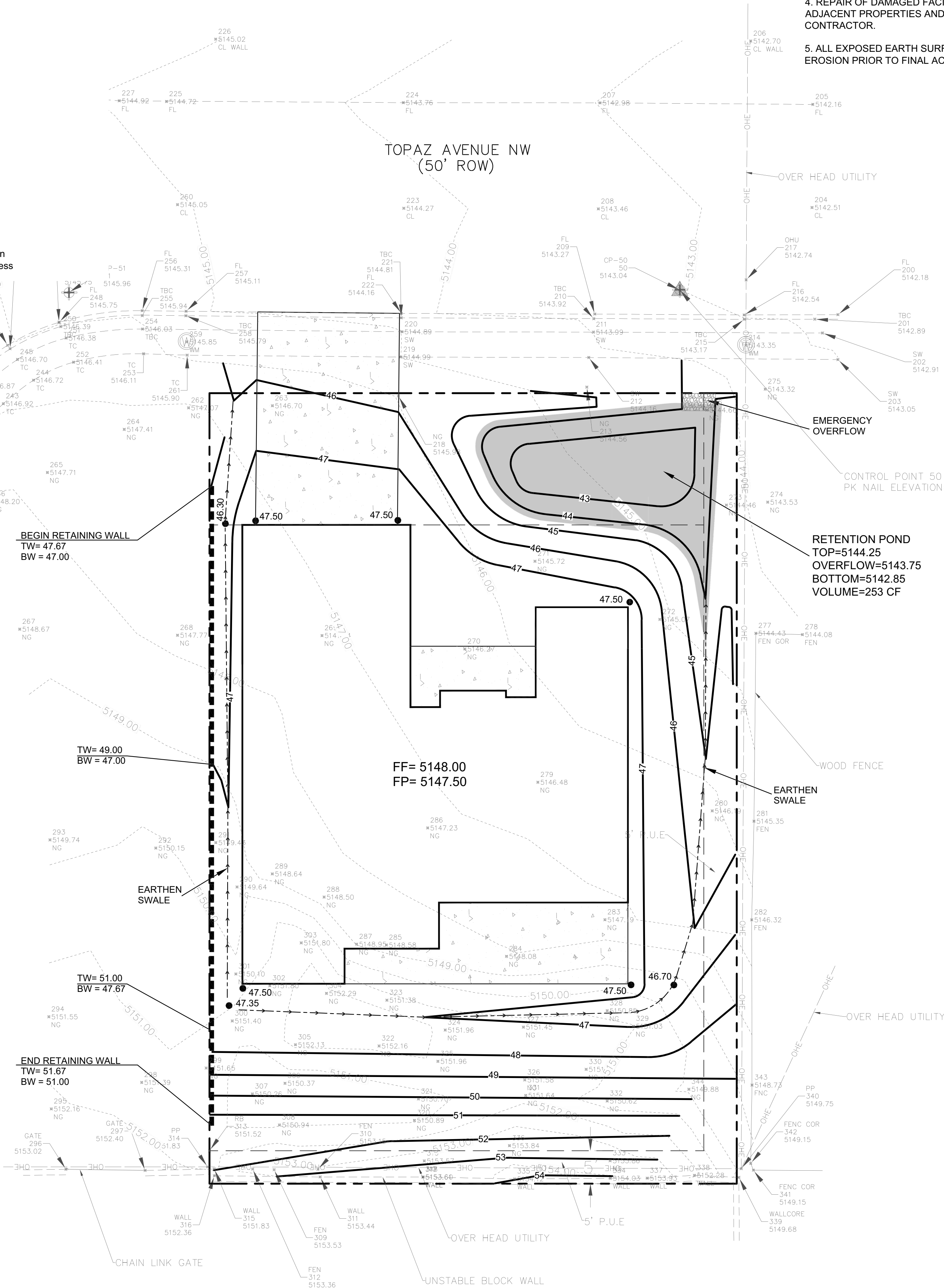
CONSTRUCT ALL SWALES AND EROSION PROTECTION (SHOWN HATCHED) BELOW ADJACENT GRADE TO ENSURE RUNOFF CAN BE CAPTURED AND CONVEYED PROPERLY.



EARTHEN SWALE
NTS

CAUTION:

EXISTING UTILITIES ARE NOT SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER IMPROVEMENTS.



ENGINEER'S SEAL DAVID SOULE NEW MEXICO REGISTERED PROFESSIONAL ENGINEER 14522 5/25/23	LOT 21 BLK 12 PARADISE HEIGHTS U 1 PG 2 4504 TOPAZ AVE.	DRAWN BY DEM
	GRADING AND DRAINAGE PLAN	DATE 5-25-23
DAVID SOULE P.E. #14522	 Rio Grande Engineering P.O. BOX 53954 ALBUQUERQUE, NM 87199 (505) 321-8099	4504 TOPAZ AVE. DWG
		SHEET # C1
		JOB #