

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

March 2, 2026

Shahram Biazar, P.E.
SBS Construction and Engineering, LLC
7632 William Moyers Ave NE
Albuquerque, NM 87122

RE: 4824 Driftwood Ave NW
Grading and Drainage Plan
Engineer's Stamp Date: 02/05/26
Hydrology File: A12D037
Case # HYDR-2025-00056

Dear Mr. Biazar:

Based upon the information provided in your submittal received 02/19/2025, the Grading and Drainage Plan **is not approved** for Grading Permit and Building Permit. The following comments need to be addressed for approval of the above referenced project.

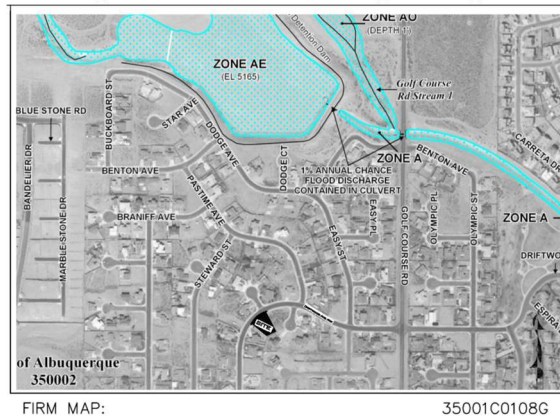
PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

1. Please provide the FIRM Map floodplain note with effective date.



2. Show Finished Pad Elevation.



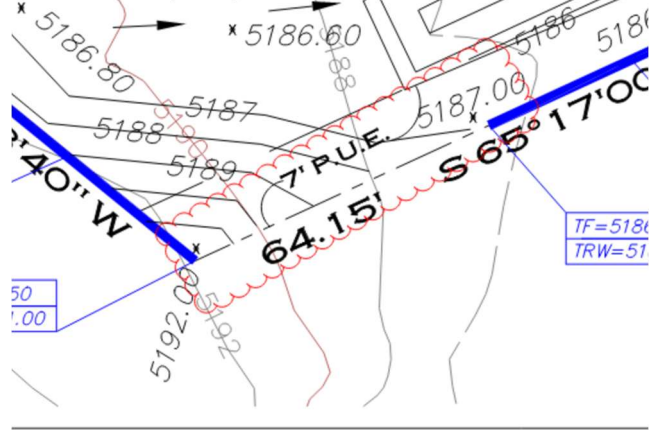
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3. Please clarify why the wall is not extended on southeast side of property.



4. Include project benchmark and datum.
5. Please add a note: "Side slopes need to be stabilized with Native Grass Seed (per City Spec 1012) with Aggregate Mulch or equal (Must satisfy the "Final Stabilization criteria" CGP 2.2.14.b.)".

PO Box 1293

PRIOR TO CERTIFICATE OF OCCUPANCY:

Albuquerque

Engineer's Certification, per the DPM Part 6-14 (F): Engineer's Certification Checklist for Non-Subdivision is required.

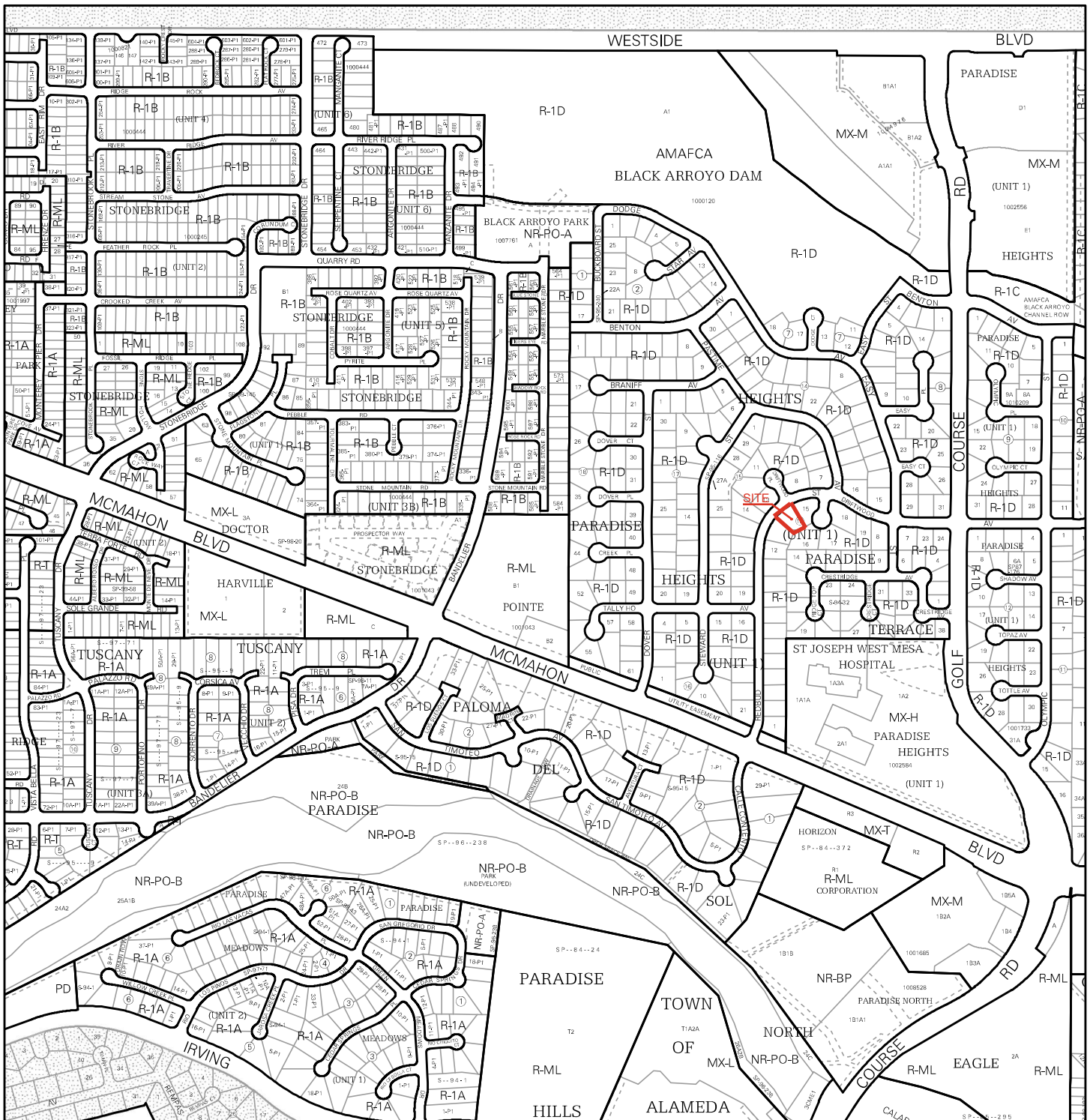
NM 87103

If you have any questions, please contact me at 505-924-3995 or baileythompson@cabq.gov.

Sincerely,

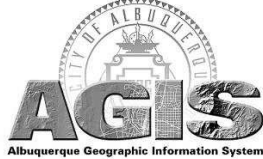
www.cabq.gov

Bailey Thompson, E.I.T.
Engineer Associate, Hydrology
Planning Department, Development Review Services

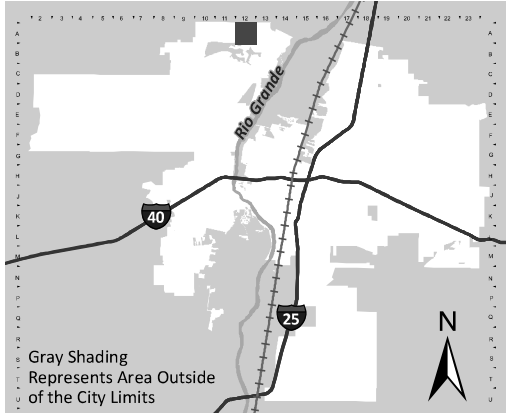


For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

IDO Zone Atlas May 2018



IDO Zoning information as of May 17, 2018
The Zone Districts and Overlay Zones
are established by the
Integrated Development Ordinance (IDO).



Gray Shading
Represents Area Outside
of the City Limits

Zone Atlas Page:
A-12-Z

- Easement
- Escarpment
- Petroglyph National Monument
- Areas Outside of City Limits
- Airport Protection Overlay (APO) Zone
- Character Protection Overlay (CPO) Zone
- Historic Protection Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone

0 250 500 1,000 Feet

Location

This project is located at 4824 Driftwood Ave. NW, Albuquerque, NM 87114 and contains 0.2112 acre. See attached portion of Vicinity Map D-10-Z for exact location.

Purpose

The purpose of this plan is to present a grading and drainage solution for the new house.

Existing Drainage Conditions

This site is an existing lot within subdivision with the majority of lot containing constructed residential houses. This lot drains east and north.

Proposed Conditions and On-Site Drainage Management Plan

The drainage patterns will remain the same. The site will drain east and then north to Driftwood Ave. NW. Like other lots this lot will free discharge to City right-of-way as well. We are proposing a pond in the back for the first flush volume requirements. This pond will overflow north to Driftwood Ave.

RUNOFF CALCULATIONS

| BASIN | AREA (SP) | AREA (AC) | AREA (MI ²) |
|---------|-----------|-----------|-------------------------|
| ON-SITE | 11,926.79 | 0.2738 | 0.000428 |

$$E = \frac{EA(AA) + EB(AB) + EC(AC) + ED(AD)}{AA + AB + AC + AD}$$

EA = 0.55
EB = 0.73
EC = 0.95
ED = 2.24

P-60 = 1.69
P-360 = 2.17
P-1440 = 2.49
P-10 Day = 3.90

| LAND TREATMENT | |
|----------------|--------------|
| PROPOSED | EXISTING |
| AA = 0.00% | AA = 0.00% |
| AB = 53.00% | AB = 100.00% |
| AC = 10.00% | AC = 0.00% |
| AD = 42.00% | AD = 0.00% |

A = 1.54 CFS/AC
B = 2.16 CFS/AC
C = 2.87 CFS/AC
D = 4.12 CFS/AC

$$\text{TOTAL QP} = QPA*AA + QPB*AB + QPC*AC + QPD*AD$$

$$= 1.23 \text{ CFS (PROPOSED)}$$

$$= 0.84 \text{ CFS (EXISTING)}$$

FIRST FLUSH PONDING REQUIREMENT

IMPERVIOUS AREA = 5,009.25 SF
FIRST FLUSH VOL. REQUIRED. = 0.42" x 5,009.25 / 12 = 187.85 CF

PONDING VOLUME PROVIDED

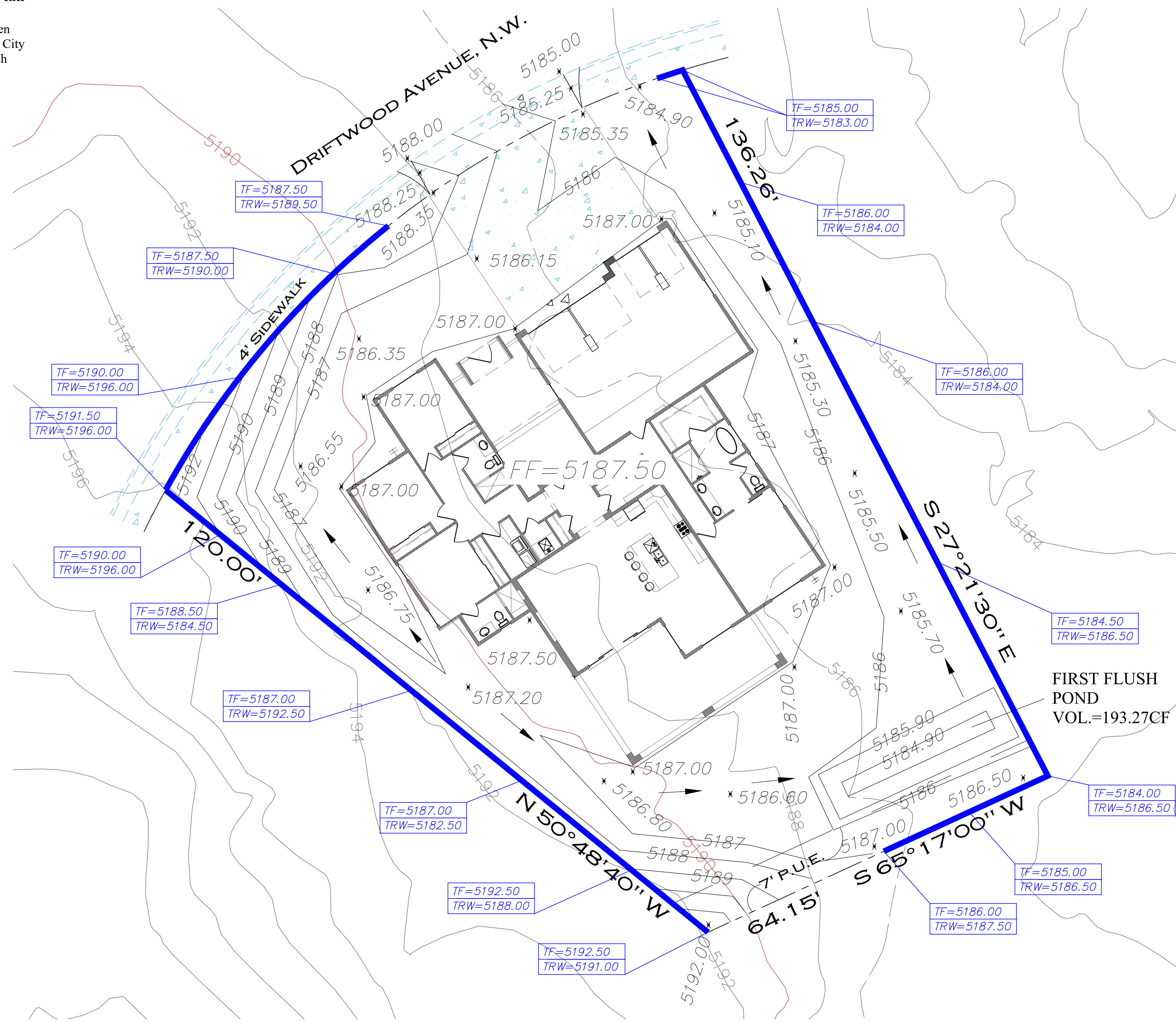
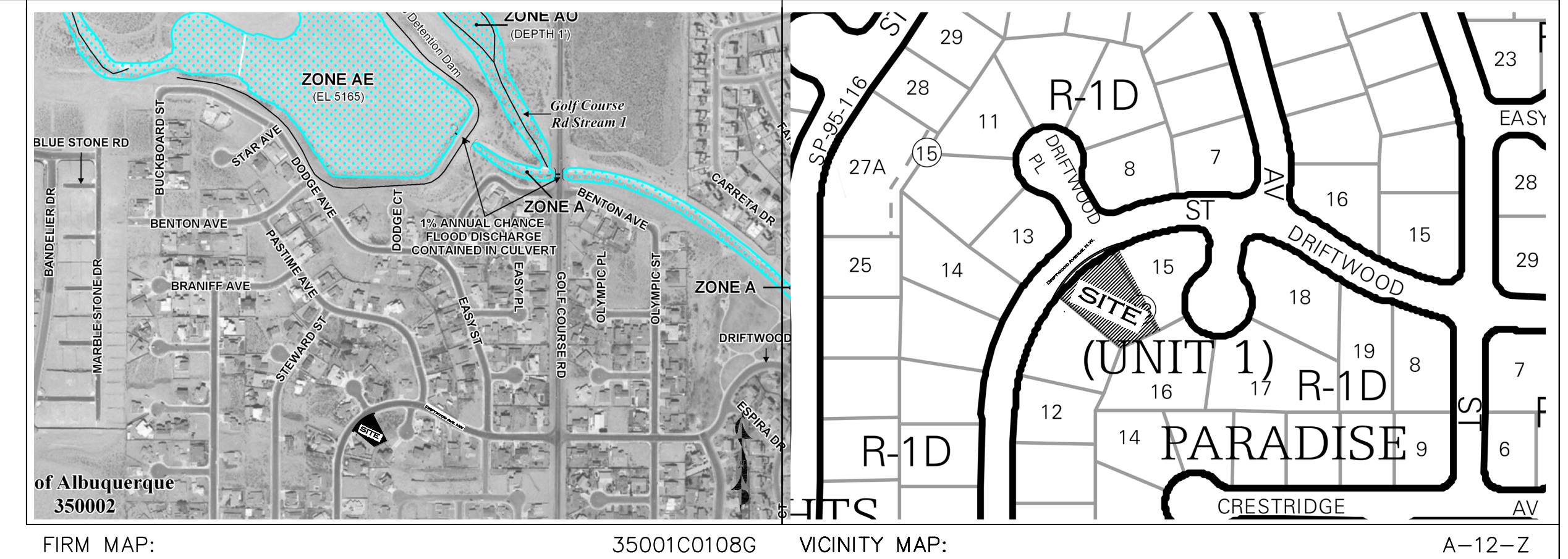
AREA @ ELEV. 5185.90 = 303.35 SF
AREA @ ELEV. 5184.90 = 83.19 SF
POND VOLUME = (303.35 + 93.19) / 2 * 1.00 = 193.27 CF

EROSION CONTROL PLAN AND POLLUTION PREVENTION NOTES

- CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
- CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT OUT OF EXISTING RIGHT-OF-WAY.
- CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL STORM RUNOFF ON SITE.
- REPAIR OF DAMAGED FACILITIES AND CLEAN-UP OF SEDIMENT ACCUMULATION ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.

GENERAL NOTES:

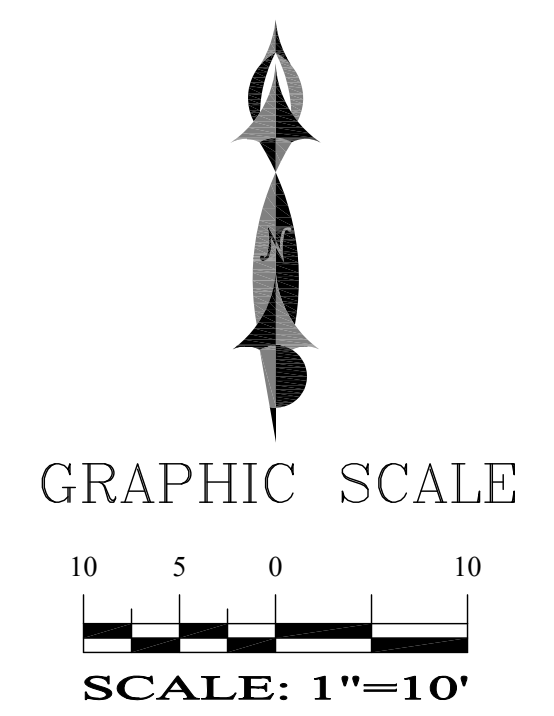
- CONTOUR INTERVAL IS TWO (2.00) FOOT.
- CONTOURS ARE FROM COUNTY ON-LINE CONTOURS
- UTILITIES SHOWN HEREON ARE IN THEIR APPROXIMATE LOCATION BASED ONLY ON ABOVE GROUND EVIDENCE FOUND IN THE FIELD AND AS-BUILT INFORMATION PROVIDED BY THE CLIENT. UTILITIES SHOWN HEREON, WHETHER INDICATED AS ABANDONED OR NOT, SHALL BE VERIFIED BY OTHERS FOR EXACT LOCATION AND/OR DEPTH PRIOR TO EXCAVATION OR DESIGN CONSIDERATIONS.
- THIS IS NOT A BOUNDARY SURVEY, BEARINGS ARE ASSUMED, DISTANCES AND FOUND PROPERTY CORNERS ARE FOR INFORMATIONAL PURPOSES ONLY. SLOPES ARE AT 3:1 MAXIMUM.



LEGAL DESCRIPTION:
LOT 14 BLOCK 13, PARADISE HEIGHTS, UNIT 1

LEGEND

| | |
|-------------|-----------------------------|
| --- | EXISTING CONTOUR (MAJOR) |
| --- | EXISTING CONTOUR (MINOR) |
| --- | BOUNDARY LINE |
| x 28.50 | PROPOSED SPOT ELEVATION |
| x 5029.16 | EXISTING GRADE |
| x 5075.65 | EXISTING FLOWLINE ELEVATION |
| --- | PROPOSED RETAINING WALL |
| BC=89.08 | BOTTOM OF CHANEL |
| TF=5187.00 | TOP OF FOOTING |
| TRW=5188.00 | TOP OF RETAINING WALL |
| HP | HIGH POINT |
| 86.65 | AS-BUILT GRADES |
| 85.47 | AS-BUILT SPOT ELEVATIONS |
| x 5325.64 | AS-BUILT SPOT ELEVATIONS |
| FF=5326.60 | AS-BUILT SPOT ELEVATIONS |
| FP=5325.90 | AS-BUILT SPOT ELEVATIONS |



SBS CONSTRUCTION AND ENGINEERING, LLC

7632 WILLIAM MOYERS AVE., NE
ALBUQUERQUE, NEW MEXICO 87122
(505)804-5013

4824 Driftwood Ave. NW GRADING PLAN

| | | | |
|------------------------------|-------------------|--------------------|--------------|
| DRAWING: Driftwood_GD.dwg | DRAWN BY: SH-B | DATE: 2/05/2026 | SHEET # 1 |
|------------------------------|-------------------|--------------------|--------------|

LAST REVISION: 2/05/2026