



December 19, 1996

Martin J. Chávez, Mayor

Ronald Bohannon  
Tierra West Development Mgt. Services  
4421 McLeod NE Suite D  
Albuquerque, NM 87109

**RE: SITE PLAN FOR CARPORTS @ CORRALES POINTE APARTMENTS  
(A13-D2) ENGINEER'S STAMP DATED 12/13/96.**

Dear Mr. Bohannon:

Based on the information provided on your December 16, 1996 submittal, the above referenced site is approved for Building Permit.

Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

If I can be of further assistance, please feel free to contact me at 768-2667.

Sincerely,

Bernie J. Montoya, CE  
Engineering Associate

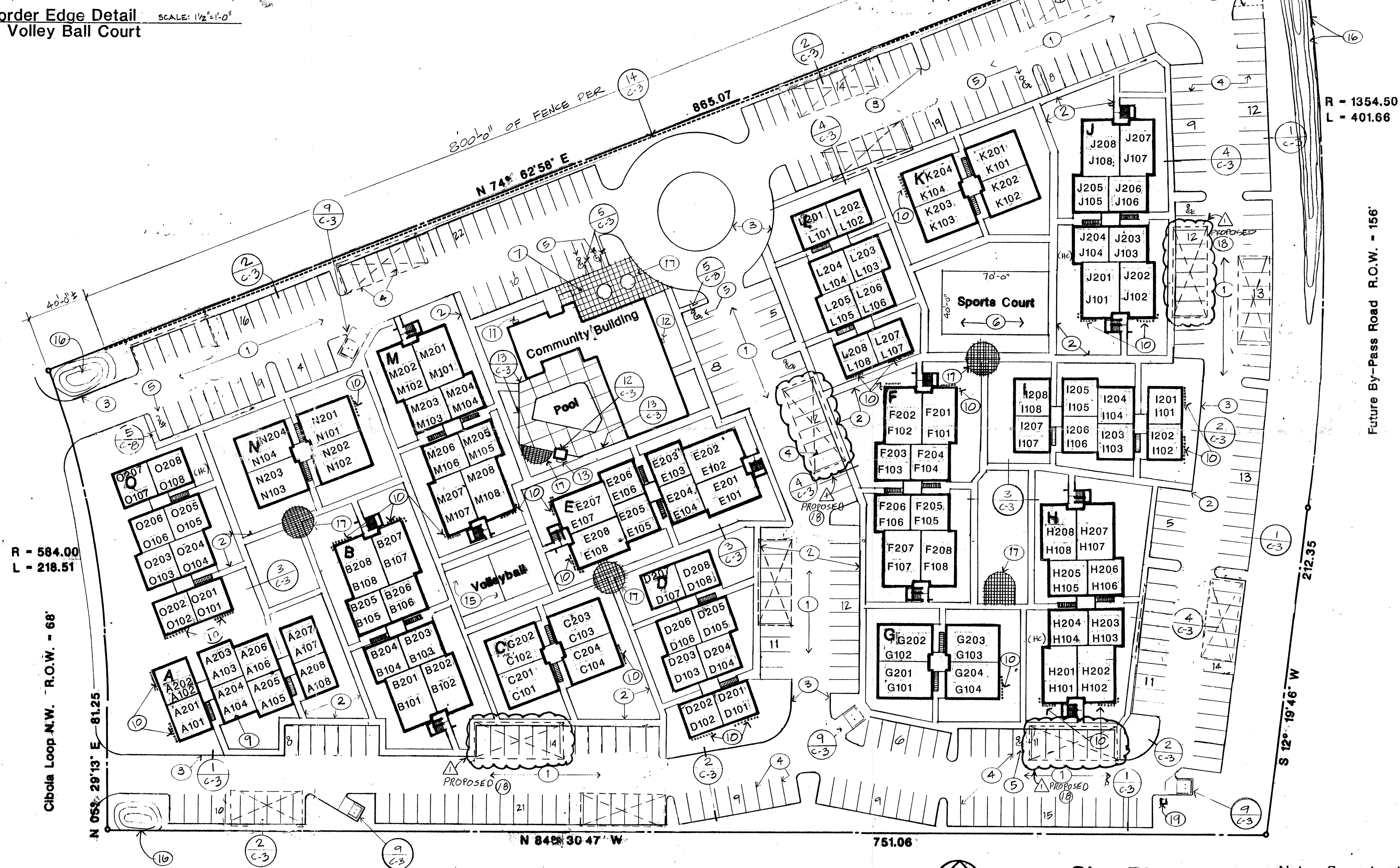
BJM/dl

c: Andrew Garcia  
Jim Clay  
File

Good for You, Albuquerque!



**1 Border Edge Detail at Volley Ball Court** SCALE: 1/2" = 1'-0"

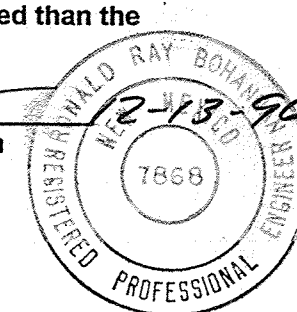


**Site Plan** Scale: 1" = 40'

Note: See sheet C-5 for dimensioned parking layout and sidewalk layout.

The grades around the proposed Car Port do not interfere with the developed drainage. No other work is being proposed than the Car Port.

Ronald R. Bohannon  
PE # 7868



**Site Plan Notes**

- 1 Asphalt paving & drives and parking areas, see Specs.
- 2 Concrete sidewalks, 4'-0" wide adjacent to parking areas, 4'-0" wide at main site circulation walks, and 3'-0" wide at branch walks to Apt. Bldg. entries and breezeways, see Detail 3 & 4/C-3.
- 3 Concrete curbs, see Details 1 & 2/C-3.
- 4 4" wide painted parking stripes, space & 9'-0" o.c. typical and 12'-0" & handicapped space, unless noted otherwise, see 4/C-3.
- 5 Painted handicapped symbol, typ. & each 12'-0" wide handicapped parking space. Each HC space with ramp up to sidewalk per Details 5 & 6/C-3, or 5/C-3.
- 6 4" thick colored concrete sport court, air-entrained with painted court lines, pour on compacted sub-grade, slope to drain.
- 7 40' tall flagpole, install per manufacturer's recommendations.
- 8 Project Sign per 16/C-3, verify location and design w/ Owner.
- 9 Unit numbering shown this Plan for reference only with 1000 number Units on First Floor and 2000 number Units on Second Floor; verify exact unit numbering system to be used with Owner, Units numbered H104, J104, and O108 on this Plan to be modified for handicapped use per Detail 4/H-3.
- 10 Gas meter bank, typical of 8 meters each grouping. See Mechanical Plans, Sheets A-8 thru A-11.
- 11 Gas meter for Manager's Apartment and Office, see Mechanical Plan, Sheet CB-8.
- 12 Gas meter for Community Building, see Mechanical Plans, Sheet CB-8.
- 13 Gas meter for Pool Equipment, verify exact requirements with Pool Contractor.
- 14 See Electrical Site Plan for site lighting, transformers, telephone pedestals, electric meters and telephone cabinets.
- 15 30' x 60' sand volleyball court, see Border Detail 1/C-2.
- 16 Landscape berm, see Grading Plans.
- 17 Romanite textured paving at walk intersections and at entry to Community Building.
- 18 6 covered parking spaces with double post cantilevered carport structure as manufactured by American Pre-fabricated Structures, Inc., or equal, for 9'x20' car spaces, posts @ 18'-0" o.c. for 2-two car bays and 9'-0" cantilevered roof @ each end (overall dimensions: 20'x54'). Install complete with posts set-in concrete footing per manufacturer's design and recommendation. Typ. of 12 for 72 total covered spaces.
- 19 Auto vac, verify exact location with Owner.
- 20 Temporary paved access road from Ellison Road to be removed upon completion of Cibola Loop N.W. and entry drives & west end of site, see 1/C-2.
- 21 Parking spaces to be added (shown dotted) upon closing and removal of temporary access road per Note 20.

RECEIVED  
DEC 16

11/16/96

NO. DATE REVISION PROPOSED 4. NEW CARPORTS.

**de ker & associates**  
architects/engineers/planners

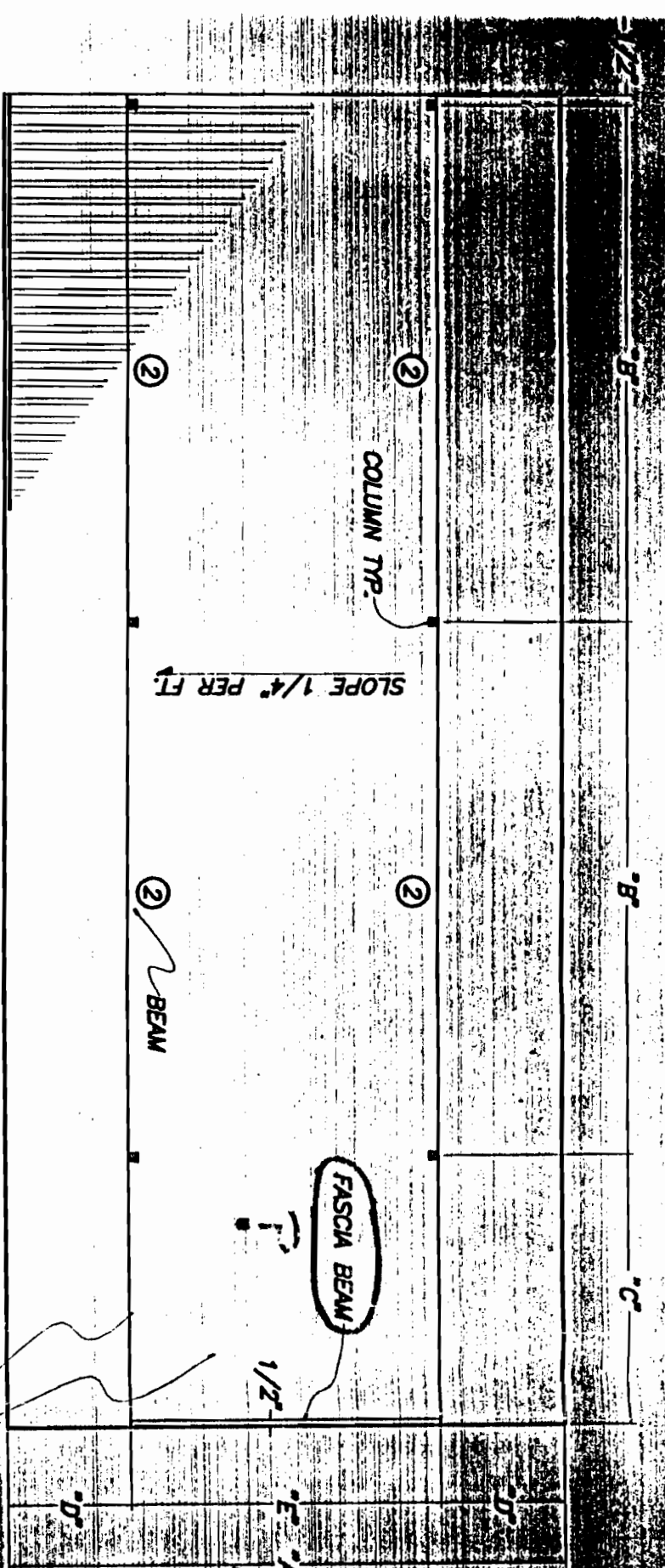
Juanita Bonte Architect



job no.	11-26-85
des. by	
chk. by	
issue	C-2
sheet	2



DIMENSIONS				
A	B	C	D	E
11'-0"	18'-6"	24'-0"	18'-6"	



① TRIM DETAIL

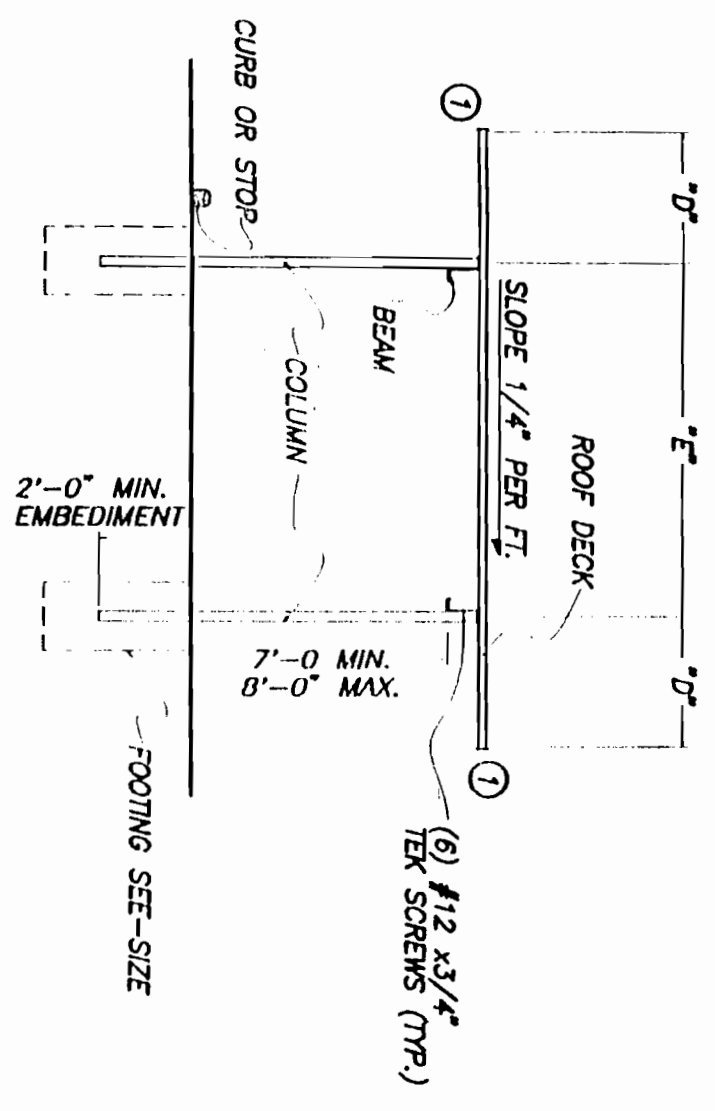


② BEAM BRACE

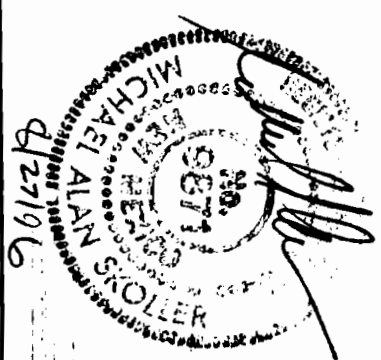
MATERIALS

COLUMNS  
 BEAMS = 2- Z10 x 3 1/2 x 14 GA F<sub>y</sub>=57 KSI  
 ROOF DECK = 16 - 6 HR-36 PANEL 26GA  
 TRIM = UP TO 10'-26GA  
 FOOTING = 3000 PSI CONCRETE  
 HARDWARE - SEE DETAILS  
 #12 SELF-DRILLING TEK-SCREWS  
 PARKING AREAS TO BE ASPHALT OR CONCRETE

ROOF PLAN



ALBUQUERQUE  
 BLDG. DEPT.  
 DEC 9 2 1996



JOB	SEVEN BAR		
	ALBUQUERQUE NM		
LIVE LOAD	20 PSF		
WIND SPEED	75 MPH		
FOOTING SIZE	3'0" X 18" Ø		
MCM			
METAL CONSTRUCTION MATERIALS, INC.			
8129 Juddville Road Houston Texas 77065 713-680-6383 FAX 550-6384			
DOUBLE POST Z-BEAM CARPORT			
DRAWN BY	SLS	SCALE	MATERIAL
		M/S	
CARD	W/S	DATE	DRAWING NO.
		8-27-96	414-96
THICKED		APPT	

SECTION