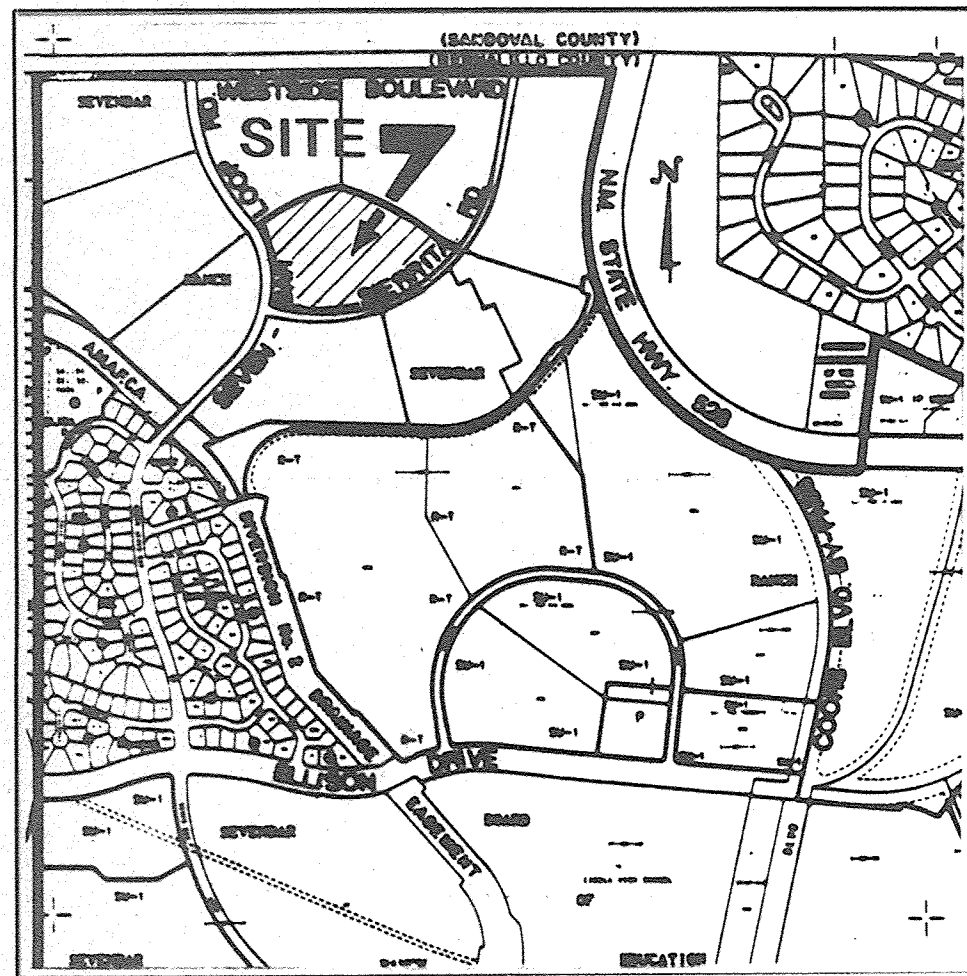
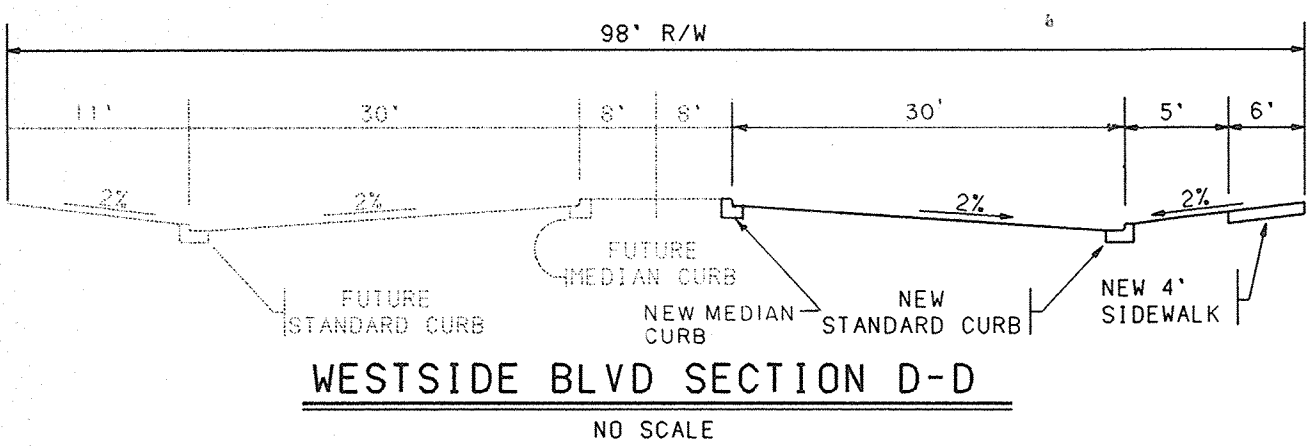




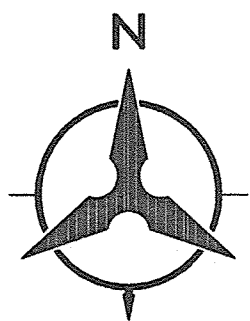
LOCATION MAP
ZONE ATLAS MAP NO. A-13
NO SCALE

CURVE DATA TABLE				
NUMBER	DELTA	TANGENT	ARC	RADIUS
C1	90° 00' 00"	25.00'	39.27'	25.00'
C2	99° 59' 59"	35.75'	52.36'	30.00'
C3	28° 11' 17"	272.66'	534.28'	1086.01'
C4	57° 20' 00"	593.75'	1086.71'	1086.00'
C5	06° 02' 06"	57.04'	113.97'	1082.00'
C6	85° 42' 46"	23.20'	37.40'	23.20'
C7	39° 55' 47"	248.48'	476.68'	684.00'
C8	11° 55' 27"	71.43'	142.35'	684.00'
C9	42° 45' 49"	417.37'	795.63'	1066.00'

TANGENT DATA TABLE		
NUMBER	BEARING	DISTANCE
T1	N10° 06' 51" E	150.00'
T2	N04° 24' 11" E	40.20'
T3	N10° 06' 51" E	350.42'
T4	N76° 49' 59" W	34.69'
T5	S76° 30' 30" E	32.99'
T6	S00° 06' 51" W	74.99'



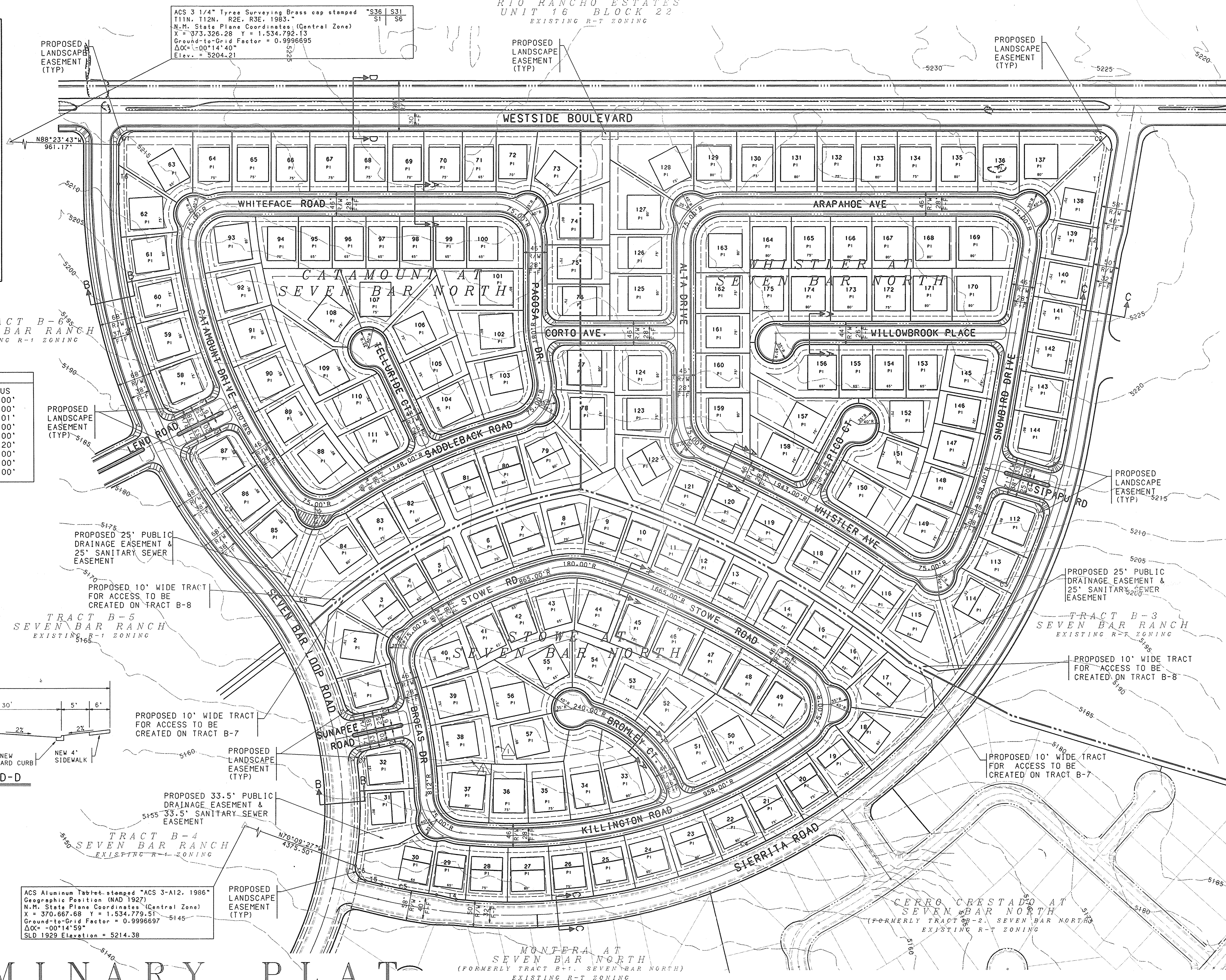
WESTSIDE BLVD SECTION D-D
NO SCALE



SCALE: 1" = 100'

PRELIMINARY PLAT
STOWE AT SEVEN BAR NORTH
(FORMERLY TRACT B-7, SEVEN BAR NORTH)
CATAMOUNT AT SEVEN BAR NORTH
(FORMERLY TRACT B-8, SEVEN BAR NORTH)
WHISTLER AT SEVEN BAR NORTH
(FORMERLY TRACT B-9, SEVEN BAR NORTH)
ALBUQUERQUE, NEW MEXICO
JUNE, 1995

RIO RANCHO ESTATES
UNIT 16 BLOCK 22
EXISTING R-T ZONING

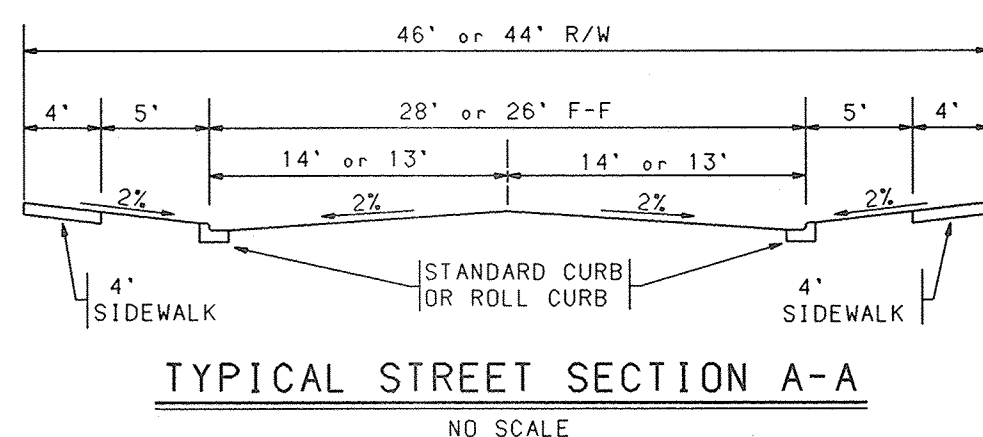


- GENERAL NOTES:
- EXISTING ZONING: R-1
PROPOSED RESIDENTIAL DEVELOPMENT:
SINGLE FAMILY DETACHED
 - EXISTING TRACT B-7 15.1285 ACRES
EXISTING TRACT B-8 14.9077 ACRES
EXISTING TRACT B-9 18.8082 ACRES
GROSS ACRES 48.8444 ACRES
 - STOWE CATAMOUNT WHISTLER
NUMBER OF 65' LOTS: 11 8 5
NUMBER OF 70' LOTS: 8 7 8
NUMBER OF 75' LOTS: 23 17 26
NUMBER OF 80' LOTS: 15 22 25
TOTAL 57 54 64
TOTAL NUMBER OF LOTS: 175 D.U.
PROPOSED DENSITY: 3.60 D.U./AC
 - MINIMUM LOT DIMENSIONS: 75' x 100'
MINIMUM LOT AREA: 7500 S.F.
 - THIS SUBDIVISION LIES WITHIN THE NEW MEXICO UTILITIES, INC (NMUI) FRANCHISE AREA. WATER AND SANITARY SEWER FACILITIES ARE BASED ON NMUI'S FACILITIES, AND NOT THE CITY OF ALBUQUERQUE'S. WATER AND SANITARY SEWER INFRASTRUCTURE IMPROVEMENTS MUST BE APPROVED BY BOTH THE CITY OF ALBUQUERQUE AND NMUI.
 - WHEN ONLY ONE 10' SIDE YARD SETBACK IS REQUIRED, IT WILL BE ON THE SOUTH SIDE.
 - ALL SANITARY AND WATER UTILITIES IN THE STREET R/W ARE TO BE PUBLIC, AND DEDICATED FOR MAINTENANCE TO NEW MEXICO UTILITIES, INC.
 - NO INDIVIDUAL LOTS SHALL BE ALLOWED DIRECT ACCESS TO SEVEN BAR LOOP ROAD, SIERRITA ROAD OR WESTSIDE BLVD.
 - ALL LOTS ARE TO BE 'P1' AND SHALL CONFORM TO INTERMITTENT PARKING DESIGN CRITERIA, ITEM #1.
 - LOT SETBACKS SHALL CONFORM TO R-1 ZONE REGULATIONS. REQUIRED SETBACKS SHALL INCLUDE:
FRONT YARD: 20' (TYP)
(15' w/20' TO GARAGE MIN)
SIDE YARD: 5' (MIN)
BACK YARD: 15' (MIN)

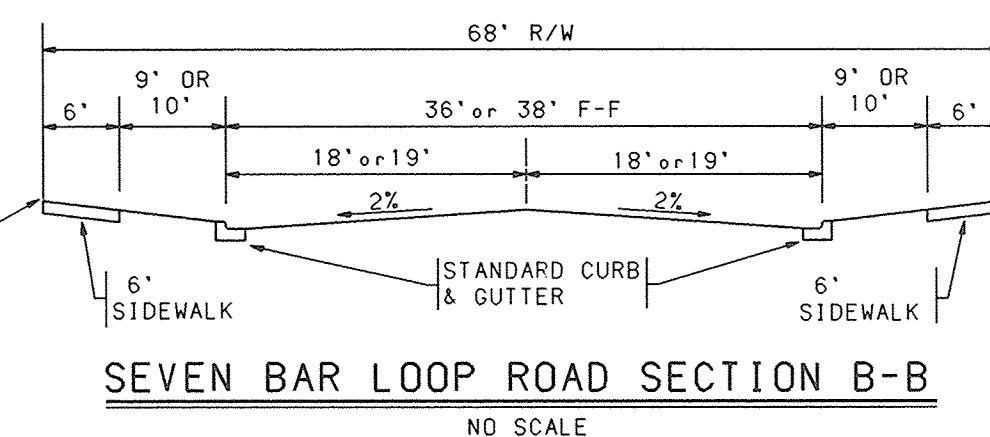
OWNER:
RONALD D. BROWN, PRESIDENT DATE
B & A INVESTMENT CORP., MANAGING PARTNER.
BROWN/NZ (DEVELOPMENT) JOINT VENTURE

- SURVEY NOTES:
- UNLESS OTHERWISE NOTED, ALL BOUNDARY CORNERS SHOWN THUS (•) SHALL BE MARKED BY A #5 REBAR STAMPED "WEAVER LS 6544".
 - ALL STREET CENTERLINE MONUMENTATION SHALL BE INSTALLED AT ALL CENTERLINE PC'S, PT'S, ANGLE POINTS AND STREET INTERSECTIONS AND SHOWN THUS (▲) WILL BE MARKED BY A FOUR (4") ALUMINUM CAP STAMPED "CITY OF ALBUQUERQUE CENTERLINE MONUMENTATION MARKED. DO NOT DISTURB. P.L.S. 6544".
 - THE SUBDIVISION BOUNDARY WILL BE TIED TO THE NEW MEXICO STATE PLANE COORDINATE SYSTEM AS SHOWN.
 - BASIS OF BEARINGS WILL BE NEW MEXICO STATE PLANE GRID BEARINGS.
 - DISTANCES SHALL BE GROUND DISTANCES.
 - MANHOLES WILL BE OFFSET AT ALL POINTS OF CURVATURE, POINTS OF TANGENCY, STREET INTERSECTIONS AND ALL OTHER ANGLE POINTS TO ALLOW THE USE OF CENTERLINE MONUMENTATION.

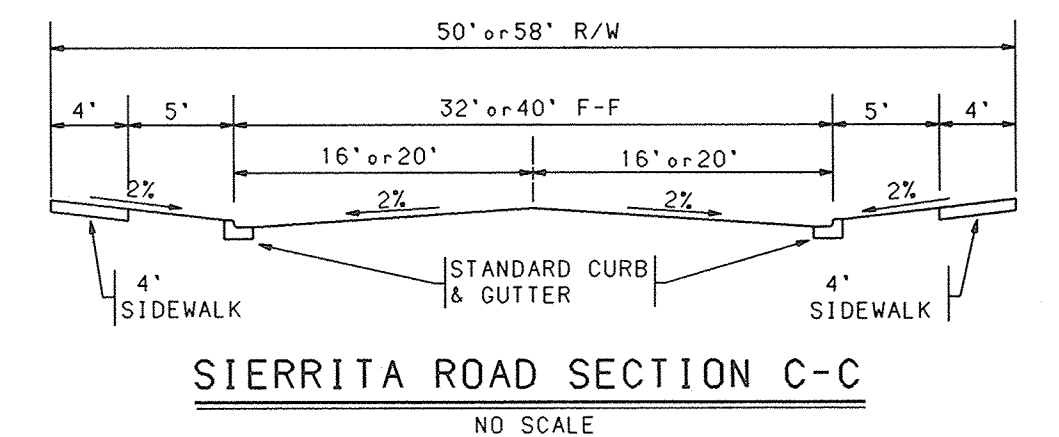
APPROVED FOR MONUMENTATION AND STREET NAMES
CITY SURVEYOR DATE



TYPICAL STREET SECTION A-A
NO SCALE



SEVEN BAR LOOP ROAD SECTION B-B
NO SCALE
NOTE: FOR INFORMATION ONLY TO BE BUILT UNDER PLAT B-4, B-5, & B-6.



SIERRITA ROAD SECTION C-C
NO SCALE

BHI NO. 93250.42

