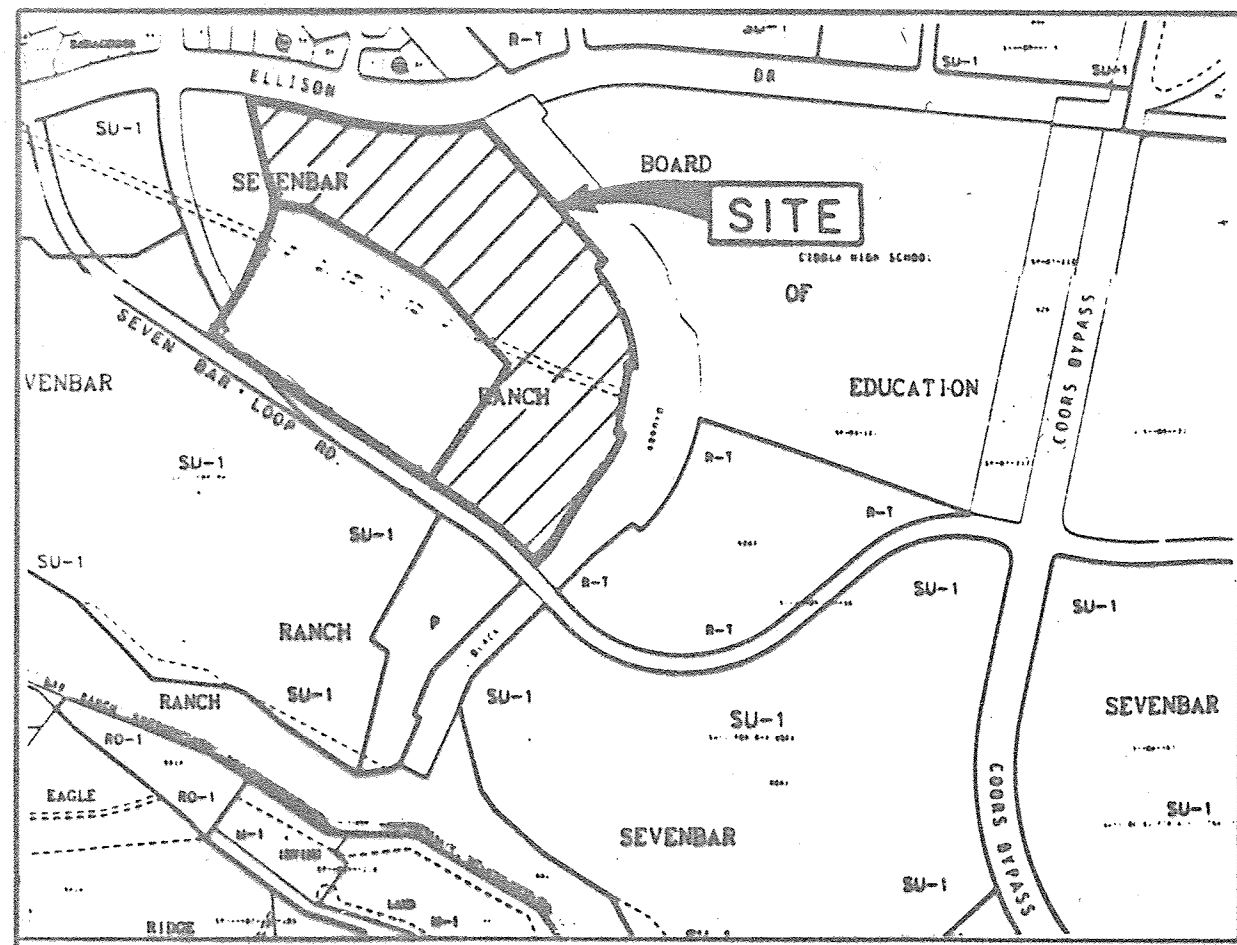
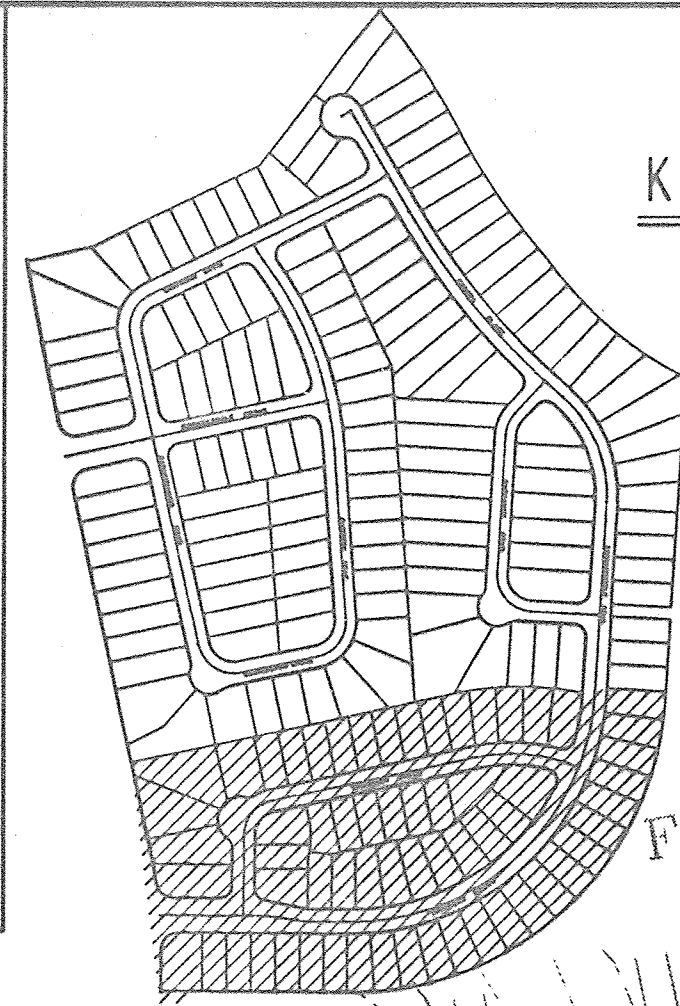


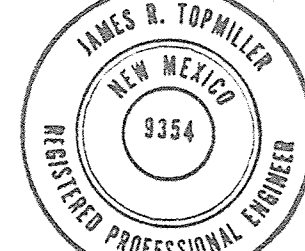


VICINITY MAP
NOT TO SCALE
ZONE MAP NO. A-13B-13



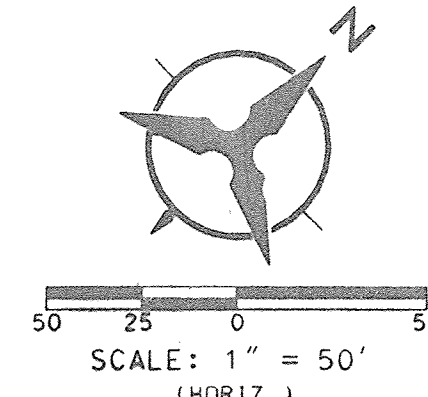
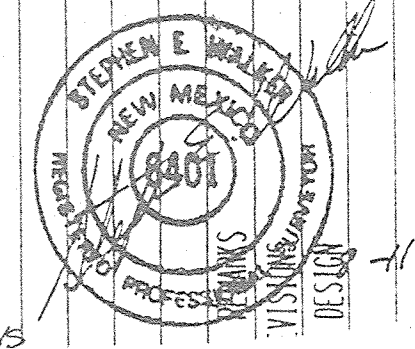
KEY MAP

DRAINAGE CERTIFICATION
JAMES R. TOPANILLO, OF BOHANNAN
HUSTON, N.M.P.E. # 9354, HEREBY CERTIFY THAT THE
AS-BUILT DRAINAGE CONDITIONS OF THE SITE ARE IN
SUBSTANTIAL COMPLIANCE WITH THE APPROVED GRADING
AND DRAINAGE PLAN, TO THE BEST OF MY KNOWLEDGE AND BELIEF.
AS-BUILT ELEVATIONS ARE SHOWN ON THE PLAN WHERE THE
ORIGINAL DESIGN ELEVATION HAS BEEN CROSSED OUT AND
THE AS-BUILT ELEVATION ADDED. AS-BUILT ELEVATIONS WERE
OBTAINED BY WALKER SURVEYING, INC. DATE 3/15/00.
THIS STATEMENT DOES NOT REPRESENT
CERTIFICATION OF CONTRACTOR'S METHODS OR MATERIALS.

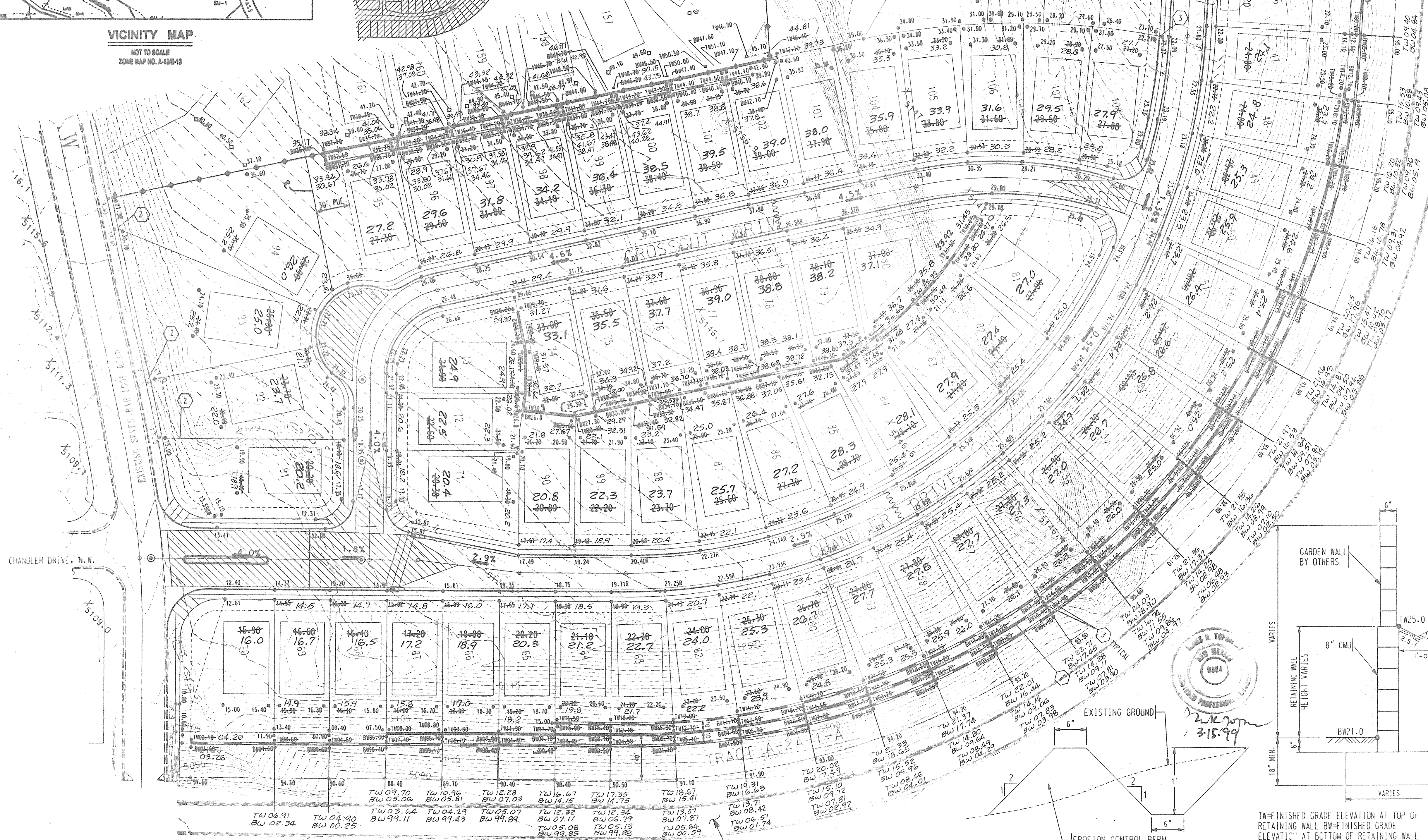


NOTE:
AS-BUILT PAD & YARD
ELEVATIONS VERIFIED BY
WALKER SURVEYING, INC.
AS-BUILT WALL ELEVATIONS
VERIFIED BY ALDRICH
SURVEYING.

**AS-BUILT (HORIZONTAL
AND VERTICAL LOCATION ONLY)**



**FUTURE MIRADOR SANDIAS SUBDIVISION
(PHASE II)**



SPOT ELEVATIONS CONTAINING AN
"R" DENOTES TOP OF MOUNTABLE
ROLL TYPE CURB. 1-8. xx.xx

**LEGAL
DESCRIPTION**
A PORTION OF TRACT
A-2A SEVEN BAR SOUTH

KEYED NOTES:

- CONCRETE MASONRY UNIT FENCE REQUIRED
ALONG REAR PROPERTY LINE FOR LOTS 18 THROUGH 70
AND ALONG SEVEN BAR LOOP ROAD. STANDARD C.M.U.
= 6" X 8" X 16" GROUT REINFORCED CELLS ONLY.
- FENCING CONTRACTOR IS TO PROVIDE ONE
TURNED OUT BLOCK IN LOWEST CORNER OF
LOT JUST ABOVE GROUND SURFACE TO PROVIDE
BACKYARD DRAINAGE TO SEVEN BAR LOOP
ROAD RIGHT OF WAY FOR LOTS 91 THROUGH 94.
- FENCING CONTRACTOR IS TO PROVIDE ONE
TURNED OUT BLOCK IN LOWEST CORNER
OF LOT JUST ABOVE GROUND SURFACE TO PROVIDE
BACKYARD DRAINAGE TO THE ADJACENT STREET ROW
FOR LOTS 18 THROUGH 70 AND LOT 108.

LEGEND

- PROPOSED SPOT ELEVATION: 5235.25
- TOP OF ROLL CURB ELEVATION: 5235.25R
- EXISTING SPOT ELEVATION: 5235.25
- FUTURE SPOT ELEVATION: 5235.25
- PROPOSED RETAINING WALL: [Symbol]
- EXISTING CONTOUR: [Symbol]
- DIRECTION OF FLOW: [Symbol]
- EXISTING STORM DRAIN LINE: [Symbol]
- PROPOSED STORM DRAIN INLET: [Symbol]
- PROPOSED STORM DRAIN LINE: [Symbol]
- PROPOSED STORM DRAIN MANHOLE: [Symbol]
- PROPOSED WATER BLOCK: [Symbol]
- PROPOSED BACKYARD FLOW: [Symbol]
- EXISTING SAS MANHOLE: [Symbol]
- PHASING BOUNDARY: [Symbol]
- AS-BUILT ELEVATION: 30.3, 30.53

Bohannon • Huston
Countywide 7500 JEFFERSON NE Albuquerque, NEW MEXICO 87109
ENGINEERS PLANNERS PHOTOGRAMMETRISTS SURVEYORS SOFTWARE DEVELOPERS

**CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP**

**COTTONWOOD HILLS
GRADING AND DRAINAGE PLAN**

DEVELOPMENT REVIEW BOARD	DRG APPROVAL DATE
APPROVED @ DRB	3-11-99
609281	3-24
ZONE MAP NO. A-13/B-13	3-24

AS-BUILT INFORMATION	
CONTRACTOR	WALKER
INSPECTOR	WALKER
DATE	3/15/00
MICRO-FILM INFORMATION	
RECORDED BY	WALKER
DATE	3/15/00

ENGINEER'S SEAL SURVEY INFORMATION	
NO.	DATE
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2	3/15/00
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96	3/15/00
97	3/15/00
98	3/15/00
99	3/15/00
100	3/15/00

C.O.A. ROUGH GRADING APPROVAL ± 1'
BY [Signature] DATE 3-11-99

AMAFCA GRADING APPROVAL
BY [Signature] DATE 3-11-99

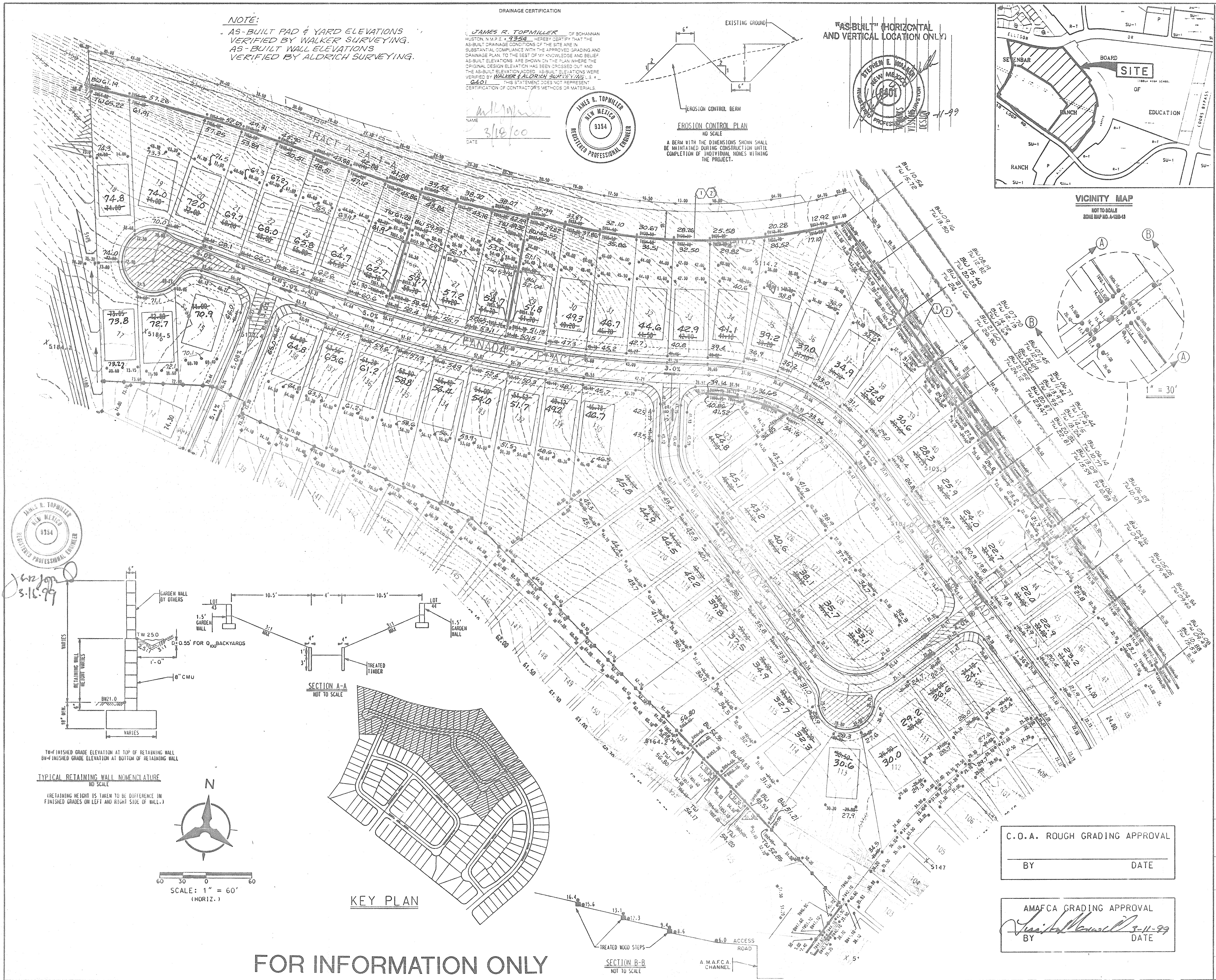
FOR INFORMATION ONLY

EROSION CONTROL PLAN
NO SCALE

A BERM WITH THE DIMENSIONS SHOWN SHALL
BE MAINTAINED DURING CONSTRUCTION UNTIL
COMPLETION OF INDIVIDUAL HOMES WITHIN
THE PROJECT.

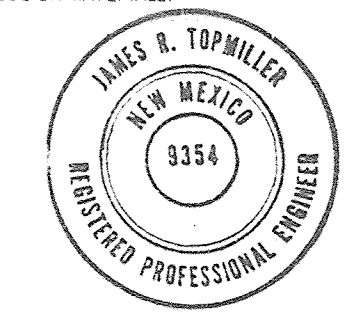
TYPICAL RETAINING WALL NOMENCLATURE
NO SCALE

(RETAINING HEIGHT IS TAKEN TO BE
DIFFERENCE IN FINISHED GRADES
ON LEFT AND RIGHT SIDE OF WALL.)



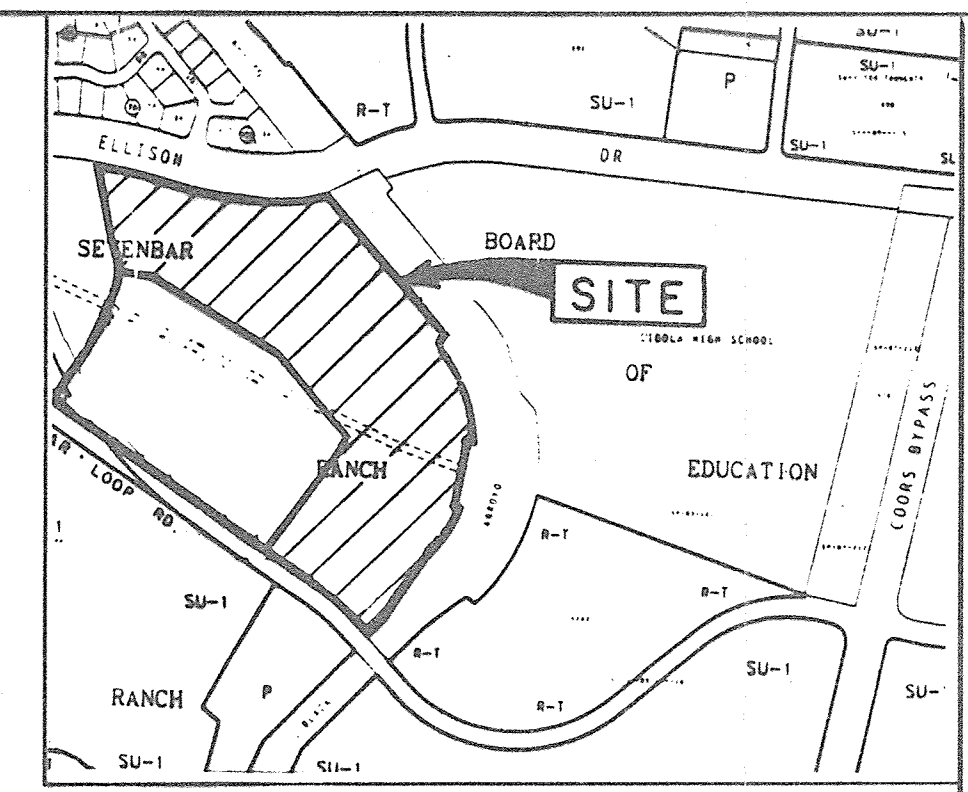
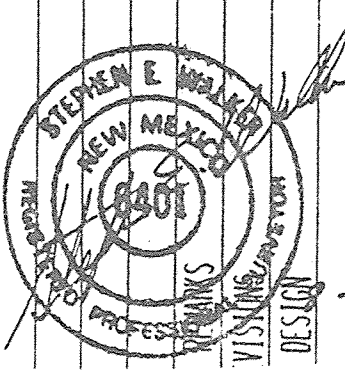
NOTE:
AS-BUILT PAD & YARD ELEVATIONS
VERIFIED BY WALKER SURVEYING.
AS-BUILT WALL ELEVATIONS
VERIFIED BY ALDRICH SURVEYING.

JAMES R. TOPMILLER
HUSTON, N.M.P.S. #3354
I HEREBY CERTIFY THAT THE
AS-BUILT DRAINAGE CONDITIONS OF THE SITE ARE IN
SUBSTANTIAL COMPLIANCE WITH THE APPROVED GRADING AND
DRAINAGE PLAN. TO THE BEST OF MY KNOWLEDGE AND BELIEF
THE ORIGINAL DESIGN ELEVATION HAS BEEN CORRECTED OUT AND
THE AS-BUILT ELEVATION ADDED. AS-BUILT ELEVATIONS WERE
VERIFIED BY WALKER SURVEYING, INC. DATE 3/18/00
THIS STATEMENT DOES NOT REPRESENT
CERTIFICATION OF CONTRACTOR'S METHODS OR MATERIALS.



EROSION CONTROL PLAN
NO SCALE
A BERM WITH THE DIMENSIONS SHOWN SHALL
BE MAINTAINED DURING CONSTRUCTION UNTIL
COMPLETION OF INDIVIDUAL HOMES WITHIN
THE PROJECT.

"AS-BUILT" (HORIZONTAL
AND VERTICAL LOCATION ONLY)



VICINITY MAP
NOT TO SCALE
ZONE MAP NO. A-1308-13

LEGAL
DESCRIPTION
A PORTION OF TRACT
A-2A SEVEN BAR SOUTH

- KEYED NOTES:
- CONCRETE MASSONARY UNIT FENCE REQUIRED
ALONG THE REAR PROPERTY LINE FOR LOTS 18
THROUGH TO STANDARD C.M.U. = 6" X 8" X 16"
GROUT REINFORCED CELLS ONLY.
 - FENCING CONTRACTOR IS TO PROVIDE ONE
TURNED OUT BLOCK IN LOWEST CORNER
OF LOT JUST ABOVE GROUND SURFACE TO PROVIDE
BACKYARD DRAINAGE TO THE ADJACENT TRACT
FOR LOTS 18 THROUGH 70.

LEGEND

PROPOSED SPOT ELEVATION	• 5235.25
EXISTING SPOT ELEVATION	• 5235.25
FUTURE SPOT ELEVATION	• 5235.25
PROPOSED RETAINING WALL	—
EXISTING CONTOUR	—
DIRECTION OF FLOW	→
EXISTING STORM DRAIN LINE	—
EXISTING STORM DRAIN MANHOLE	•
PROPOSED STORM DRAIN INLET	•
PROPOSED STORM DRAIN LINE	—
PROPOSED STORM DRAIN MANHOLE	•
PROPOSED WATER BLOCK	—
PROPOSED BACKYARD POND	—
EXISTING SAS MANHOLE	•
PHASING BOUNDARY	—
AS-BUILT ELEVATION	22.88 23.90

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ENGINEERING DEVELOPMENT GROUP

COTTONWOOD HILLS
GRADING AND DRAINAGE PLAN

DEVELOPMENT REVIEW BOARD DBB APPROVAL DATE

Approved @ DRB

609281 A-13/B-13

4 24

AS-BUILT INFORMATION		BENCH MARKS		ENGINEER'S SEAL SURVEY INFORMATION		FIELD NOTES	
CONTRACTOR	DATE	ACCS ALUMINUM TABLE STAMPED "A-813" (NOV 1971)	DATE	NO.	BY	NO.	BY
WALKER	3/18/00	N.M. STATE PLANE COORD. (CENTRAL ZONE)					
INSPECTOR'S WALKER	3/18/00	UTM 14Q UTM 14Q 55 000-000 FACTOR 9999705					
VERIFICATION BY WALKER	3/18/00	DELTA ALPHA = 0°14'25" ELEVATION 5165.51'					
DATE		UTM 14Q UTM 14Q 55 000-000 FACTOR 9999705					
DATE		DELTA ALPHA = 0°14'25" ELEVATION 5165.51'					
DATE		UTM 14Q UTM 14Q 55 000-000 FACTOR 9999705					
DATE		DELTA ALPHA = 0°14'25" ELEVATION 5165.51'					
DATE		UTM 14Q UTM 14Q 55 000-000 FACTOR 9999705					
DATE		DELTA ALPHA = 0°14'25" ELEVATION 5165.51'					

REVISIONS		DESIGN		CHECKED BY	
NO.	DATE	NO.	DATE	NO.	DATE
1	01/99	1	01/99	1	01/99
2	01/99	2	01/99	2	01/99
3	01/99	3	01/99	3	01/99
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8	01/99	8	01/99	8	01/99
9	01/99	9	01/99	9	01/99
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