

LEGAL DESCRIPTION

PROPOSED TRACT 1-A
LANDS OF 528 INVESTORS

BENCHMARK

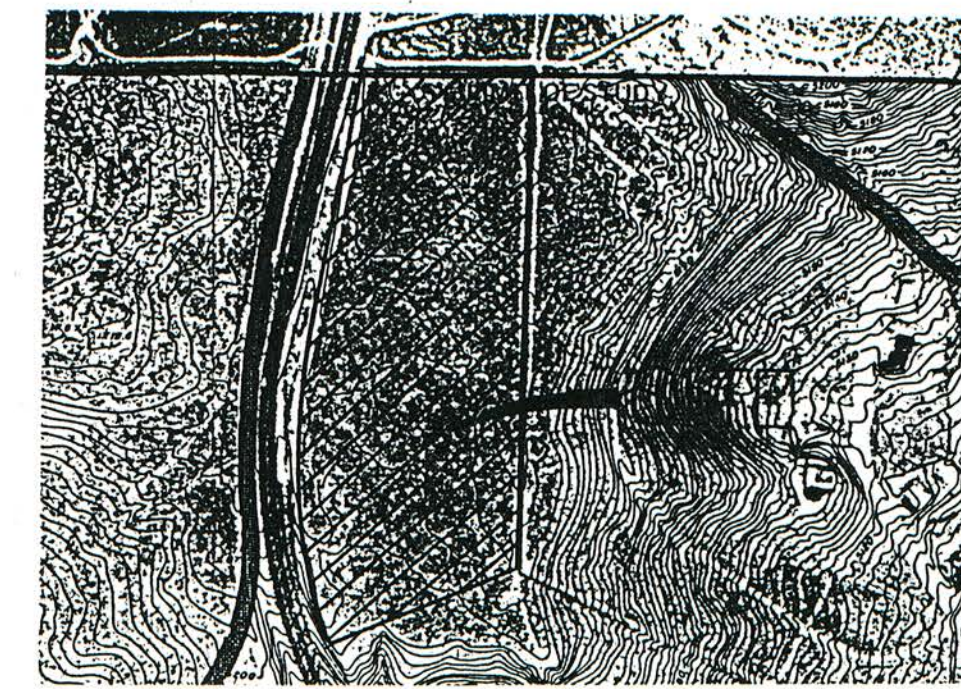
NMSHTD BRASS CAP "N.M. 448-N12" ELEV. 5023.41
LOCATED 60' WEST OF C OF COORS ROAD N.W.
APPROX. 550' SOUTH OF INTERSECTION WITH
CORRALES ROAD N.W. (S.R. 528)

LEGEND

DESCRIPTION	NEW	EXISTING
CONTOURS (1 FT)		
CONTOURS (5 FT)		
SPOT ELEVATIONS		
APPROXIMATE DRAINAGE BASIN BOUNDARY		
DRAINAGE DIVIDE / WATER BLOCK		
DIRECTION OF RUNOFF		
FLOWLINE		
OVERFLOW		
PROPERTY LINE		
STORM DRAIN M.H. & LINE		
STORM INLET		

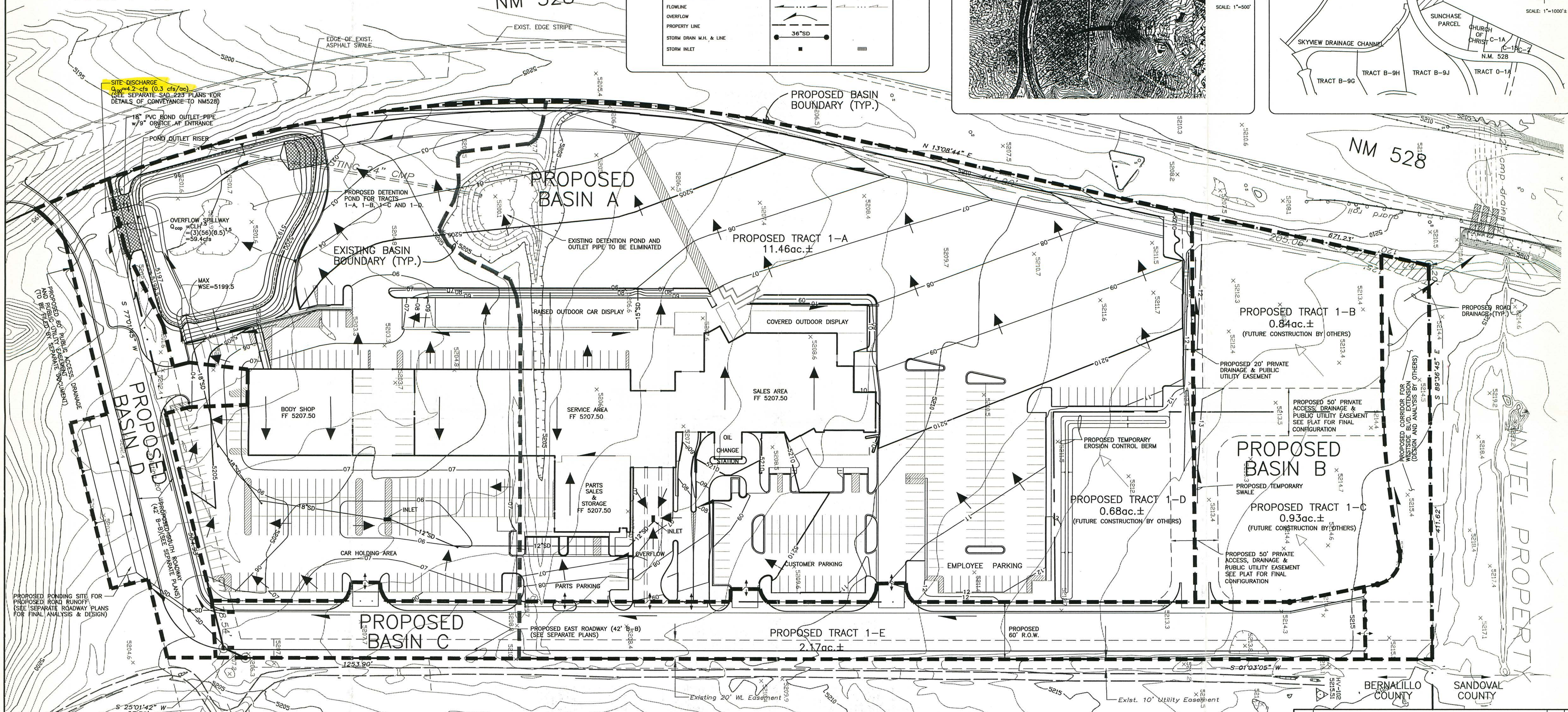
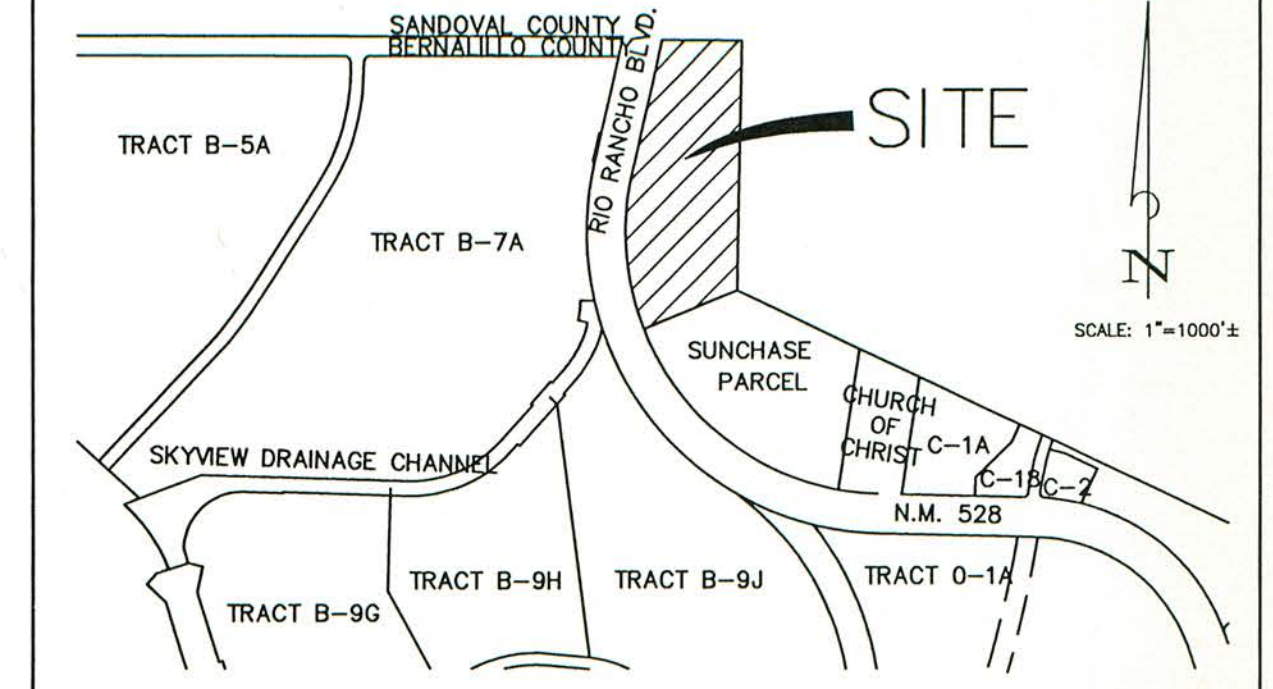
FLOOD HAZARD MAP

FEMA MAP NO. 02



VICINITY MAP

C.O.A. ZONE ATLAS NO. A-13



Drainage Plan

Existing Conditions

The site is partially developed, and serves as a parking lot for the adjacent Intel Plant. Existing drainage is from north to south, with an average slope of about 2% across the site. About two thirds of the site consists of gravel surfacing, which drains to an existing detention pond. The pond in turn discharges via a 24" CMP to the NM 528 R.O.W. The remainder of the site discharges freely to the south and west.

According to FEMA Floodway Map No. 2 for the City of Albuquerque, NM, the site does not lie within a 100-Year Flood Hazard Zone.

Developed Conditions

It is proposed to redevelop the site as an automotive dealership (Tract 1-A). In addition, three separate pad sites (Tracts 1-B, 1-C and 1-D) will be created by the subdivision of the existing property. Detailed grading and drainage plans for these pad sites will be prepared separately as they develop; however a preliminary drainage analysis is included herein in the analysis for Tract 1-A.

The site ultimately discharges to the Cabezon Channel and is included in the **Cabezon Channel Capacity Analysis (CCCA)** (Easterling & Associates, June 1993). The CCCA indicates a **controlled discharge** for the developed site. It is proposed to discharge runoff from the detention pond into an onsite ponding area, with a slow release over 24 hours to the proposed roadway corridor south of the site. Similarly, it is proposed to discharge road runoff from the proposed roadway on the south of the site to a new offsite detention pond south of the site. Detailed analysis and design of this facility will accompany the roadway design by separate submittal.

Computations were performed using City of Albuquerque DPM Vol. 2, Section 22.2, January 1993, and the AHYMO 392 computer program. The attached AHYMO results file demonstrates that the developed runoff is controlled to approximately 0.3 cfs/acre for the combination of Dealership Site and Pad Sites. The drainage from the proposed roadway will be controlled such that the combined developed discharge for the Dealership Site, Pad Sites and Roadway does not exceed 0.5 cfs/acre overall.

HYDROLOGY SUMMARY

BASIN DESCRIPTION	CONDITION	AREA (ACRES)	LAND TREATMENT CLASSIFICATION (% OF TOTAL)				100 YEAR STORM	
			A	B	C	D	PEAK DISCHARGE (CFS)	24 HOUR VOLUME
TRACT 1, NORTH	EXISTING	11.50	0	0	100	0	34.9	44,849
TRACT 1, SOUTH	EXISTING	4.50	50	50	0	0	8.1	9,587
TOTAL AREA:		16.00	TOTALS:				43.0	54,536
CONTROLLED RELEASE RATE:							25.0	

A+B	DEVELOPED	13.74	0	7.5	7.5	85.0	58.8	106,709
C	DEVELOPED	1.81	0	8.5	8.5	83.0	7.7	13,939
D	DEVELOPED	0.73	0	8.5	8.5	83.0	3.1	5,593
TOTAL AREA:		16.28	TOTALS:				69.6	126,241
CONTROLLED RELEASE RATE:							8.1	

NOTE: THIS SHEET IS FOR INFORMATION AND REFERENCE PURPOSES.
FOR CONSTRUCTION, REFER TO THE DETAILED GRADING
PLANS, SHEETS C1, C2,C3 & C4.

NO.	REVISIONS	BY	DATE
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DON CHALMERS FORD
RIO RANCHO, NEW MEXICO

DRAINAGE PLAN

EASTERLING & ASSOCIATES, INC.
CONSULTING ENGINEERS

10131 Coors Rd., NW, Suite H-7/8
ALBUQUERQUE, NEW MEXICO 87114
(505) 898-8021 FAX (505) 898-8501

DESIGNED BY: JML	DRAWN BY: DWG	CHECKED BY: CME	SHEET D1
JOB NO.: 3585.1		DATE: 9/95	

D1.1