

CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services Section**

February 23, 2006

Ronald R. Bohannon, P.E.
8509 Jefferson NE
Albuquerque, NM 87113

Re: Certification Submittal for Final Building Certificate of Occupancy for
Sam Club Fueling Station (Cottonwood Corners), [A-13 / D15A]
10600 Coor By-Pass
Engineer's Stamp Dated 02/23/06

Dear Mr. Bohannon:

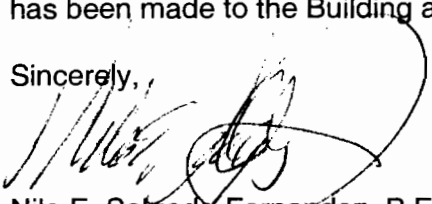
P.O. Box 1293

The TCL / Letter of Certification submitted on February 22, 2006 is sufficient for acceptance by this office for final Certificate of Occupancy (C.O.). Notification has been made to the Building and Safety Section.

Albuquerque

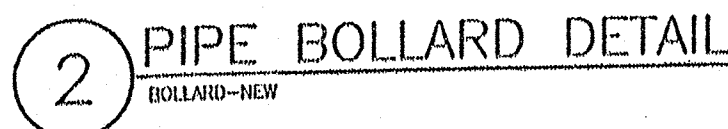
Sincerely,

New Mexico 87103

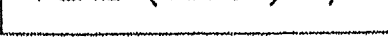

Nilo E. Salgado-Fernandez, P.E.
Senior Traffic Engineer
Development and Building Services
Planning Department

www.cabq.gov

c: Engineer
Hydrology file
CO Clerk



CURVE TABLE						
CURVE	LENGTH	RADIUS	TANGENT	DELTA	CHORD BEARING	CHORD LENGTH
C1	234.57	641.46	118.61	20°57'07"	N21°08'23"E	233.26
C2	157.50	793.29	79.01	11°22'33"	N65°02'40"W	157.24



1. ALL CONSTRUCTION MATERIALS AND TECHNIQUES OF INSTALLATION SHALL MEET PERFORMANCE VALUES OF THE MATERIALS SPECIFIED AND APPLICABLE CODES.
2. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR INSURING THAT THIS PROJECT IS CONSTRUCTED IN ACCORDANCE WITH THESE DOCUMENTS AND IN COMPLIANCE WITH CODES INDICATED HEREIN. THE QUALITY OF WORKMANSHIP AND INSTALLATION OF MATERIALS SPECIFIED BY THE ARCHITECT ARE THE RESPONSIBILITY OF THE CONTRACTOR. THE ARCHITECT WILL NOT BE HELD RESPONSIBLE FOR NON-CONFORMANCE OR DEFICIENT WORKMANSHIP OF MATERIALS OR SERVICES PROVIDED IN THE EXECUTION OF ANY PHASE OF CONSTRUCTION OF THIS PROJECT.
3. ALL MATERIALS ARE TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S REQUIREMENTS AND ALL SUBCONTRACTORS ARE TO INSURE THAT ALL MANUFACTURER'S WARRANTIES WILL BE HONORED.
4. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR INSURING THE SAFETY OF ALL PERSONS ON THE JOB SITE AT ALL TIMES INCLUDING (BUT NOT LIMITED TO) ALL SUBCONTRACTORS, VENDORS, DESIGN STAFF PROFESSIONALS AND INSPECTION PERSONNEL.
5. EACH SUBCONTRACTOR IS RESPONSIBLE FOR HAVING A THOROUGH KNOWLEDGE OF ALL DRAWINGS AND SPECIFICATIONS IN THEIR RELATED FIELD. THE FAILURE TO ACQUAINT HIMSELF WITH THIS KNOWLEDGE DOES NOT RELIEVE HIM OF ANY RESPONSIBILITY FOR PERFORMING HIS WORK PROPERLY. NO ADDITIONAL COMPENSATION SHALL BE ALLOWED BECAUSE OF CONDITIONS THAT OCCUR DUE TO FAILURE TO FAMILIARIZE WORKERS WITH THIS KNOWLEDGE.
6. SAWCUT AND REMOVE A PORTION OF EXISTING ASPHALT PAVING AS REQUIRED TO INSTALL NEW UTILITIES TO NEW FUELING STATION - REPLACE TO MATCH EXISTING FLUSH AND SMOOTH.
7. ALL CONTRACTORS SHALL FIELD VERIFY THE EXACT LOCATION OF ALL EXISTING UTILITIES PRIOR TO THE START OF ANY DEMOLITION OR CONSTRUCTION. COORDINATE RELOCATION OF ANY UTILITIES WITH SAM'S CONSTRUCTION MANAGER AND ARCHITECT.
8. PROVIDE TEMPORARY CONSTRUCTION FENCING AROUND ENTIRE AREA OF CONSTRUCTION. FIELD VERIFY EXACT LOCATION WITH SAM'S CONSTRUCTION MANAGER. COORDINATE FENCING SPECS WITH SAM'S CONSTRUCTION MANAGER PRIOR TO START OF CONSTRUCTION. REMOVE FENCING AT COMPLETION OF PROJECT AND COLD PATCH ASPHALT PAVING AS REQUIRED AT FENCE POST HOLES. ATTACH "COMING SOON" SIGN TO FENCE REFER TO B-A4.
9. COORDINATE PROJECT PHASING AND STORAGE OF MATERIALS WITH SAM'S CONSTRUCTION MANAGER.
10. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING THE AREA CLEAN AND FREE OF DEBRIS AT ALL TIMES DURING CONSTRUCTION. THE GENERAL CONTRACTOR SHALL MAINTAIN THE ENTIRE FUELING STATION CONSTRUCTION AREA PRIOR TO TURNOVER TO SAM'S.
11. GENERAL CONTRACTOR SHALL FIELD VERIFY ALL EXISTING AND PROPOSED UTILITIES PRIOR TO THE START OF CONSTRUCTION. ANY DISCREPANCIES SHALL BE SUBMITTED TO THE ARCHITECT FOR REVIEW.

12. THE PROPOSED CANOPY COLUMN FOOTINGS SHALL BE PROVIDED BY AND INSTALLED BY THE GENERAL CONTRACTOR. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR COORDINATING TOP OF FOOTING ELEVATIONS TO ACCOMMODATE ALL NEW UNDERGROUND PIPING AND DISCHARGE SUMPS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INSURE THAT THE CANOPY COLUMN ANCHOR BOLTS ARE STRAIGHT, CLEAN AND CORRECTLY LOCATED PRIOR TO THE ARRIVAL OF THE CANOPY INSTALLATION CREW.
13. SALVAGE RIGHTS FOR DEMOLISHED LIGHT POLES SHALL BE OFFERED... FIRST TO CLUB MANAGER THEN TO THE GENERAL CONTRACTOR. IF THE CLUB MANAGER REFUSES SALVAGE RIGHTS THEN IT BECOMES THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO REMOVE ALL DEMOLISHED LIGHT POLES FROM THE SITE. IF THE PLANS INDICATE LIGHT POLES TO BE REMOVED AND POWER IS INTERRUPTED TO OTHER POLES IN THE PROCESS, THE OTHER POLES MUST BE REENERGIZED THE SAME DAY.
14. GENERAL CONTRACTOR SHALL HAVE ALL EXISTING PUBLIC AND PRIVATE UTILITIES LOCATED PRIOR TO THE START OF ANY DEMOLITION OR CONSTRUCTION. THIS INCLUDES ALL IRRIGATION PIPING AND LIGHT POLE CONDUITS.
15. THE GENERAL CONTRACTOR SHALL SEED AND STRAW ALL AREAS OF DISTURBED SOIL AND IS RESPONSIBLE FOR ESTABLISHING TURF. FIELD VERIFY THESE AREAS WITH SAM'S CONSTRUCTION MANAGER.
16. USE OF WOODEN BLOCKS ARE ACCEPTABLE TO LEVEL DISPENSER ISLAND; ALL WOOD MUST BE REMOVED PRIOR TO FINAL PLACEMENT OF CONCRETE.
17. AREAS OF EXISTING DAMAGED ASPHALT THAT IS REMOVED AND REPLACED SHALL BE SAW CUT THEN REMOVED AND REPLACED.
18. EXISTING PAVING THAT WILL REMAIN AFTER CONSTRUCTION TO BE PROTECTED FROM EXCAVATING EQUIPMENT STABILIZER, BUCKET AND TRUCK DAMAGE.
19. ALL TRASH SHALL BE PICKED UP DAILY BY SAM'S CLUB AND DISPOSED AT THE COMPACTOR ON SITE.
20. NEW AND REPLACEMENT LIGHTING SHALL BE FULL CUT-OFF FIXTURES (SHOE BOX) TO MINIMIZE FUGITIVE LIGHT. THE MAXIMUM HEIGHT OF LIGHT STANDARDS WITHIN 100 FEET OF RESIDENCES SHALL BE 16 FEET.
21. THE FUELING CANOPY CEILING SHALL BE OF A NON-REFLECTIVE SURFACE. UNDER CANOPY LIGHT FIXTURE LENSES MUST NOT PROJECT BELOW THE CANOPY SURFACE. THE FASCIA SHOULD PROJECT A MINIMUM OF 6" BELOW CANOPY CEILING. THE LIGHTING MUST COMPLY WITH ZONING 14-1B-3-9 REGARDING AREA LIGHTING REGULATIONS. SIGNIFICANTLY CUT-OFF LIGHTING SHALL BE SUCH THAT IT DOES NOT SHINE DIRECTLY ON ANY PUBLIC RIGHT-OF-WAY OR RESIDENTIAL PREMISES AND SHALL NOT HAVE AN OFF-SITE LUMINANCE GREATER THAN 1000 FOOT LAMBERTS AND IT SHALL NOT HAVE AN OFF-SITE LUMINANCE GREATER THAN 200 FOOT LAMBERTS MEASURED FROM ANY PRIVATE PROPERTY IN THE RESIDENTIAL ZONE. THE MAXIMUM HEIGHT OF THE TOP OF THE CANOPY SHALL BE 22 FEET AND THE MAXIMUM HEIGHT OF THE BOTTOM OF THE CANOPY SHALL BE 18 FEET.
22. ALL PEDESTRIAN CROSSINGS AT DRIVE AISLES SHALL BE TEXTURED SURFACE A MINIMUM 6 FEET WIDE OF A MATERIAL OTHER THAN ASPHALT AND ASPHALT WITH WHITE PAINT.
23. SIGNAGE SHALL BE INDIVIDUAL CHANNEL LETTERS, NO ILLUMINATED PLASTIC PANEL SIGNS ARE ALLOWED EXCEPT LOGOS.

4. AMENDED ELEVATIONS

1 SITE PLAN FOR BUILDING PERMIT

2 GRADING PLAN

3 LANDSCAPE PLAN

4 ELEVATIONS

5 ELEVATIONS

6 SIGNAGE DETAILS

7 APPROVED SITE PLAN FOR SUBDIVISION & BUILDING PERMIT (SHEET 1 THRU 9)

[illegible]

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