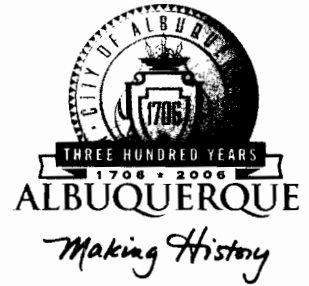


CITY OF ALBUQUERQUE



March 25, 2005

Ronald R. Bohannon, P.E.
Tierra West, LLC
8509 Jefferson NE
Albuquerque, NM 87113

**Re: Wal-Mart Store #1397 Stockroom Expansion, 10224 Coors Bypass Blvd.
Grading and Drainage Plan - Engineer's Stamp dated 02-08-05 (A13-D19)**

Dear Mr. Bohannon,

Based upon the information provided in your submittal dated 02-22-05, the above referenced plan is approved for Building Permit and Grading Permit.

Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology and prior to release of the Certificate of Occupancy an Engineer's Certification of the grading plan per the DPM checklist will be required.

If you have any questions, you can contact me at 924-3990.

Sincerely,

Phillip J. Lovato, E.I.
Associate Engineer, Planning Department
Development and Building Services

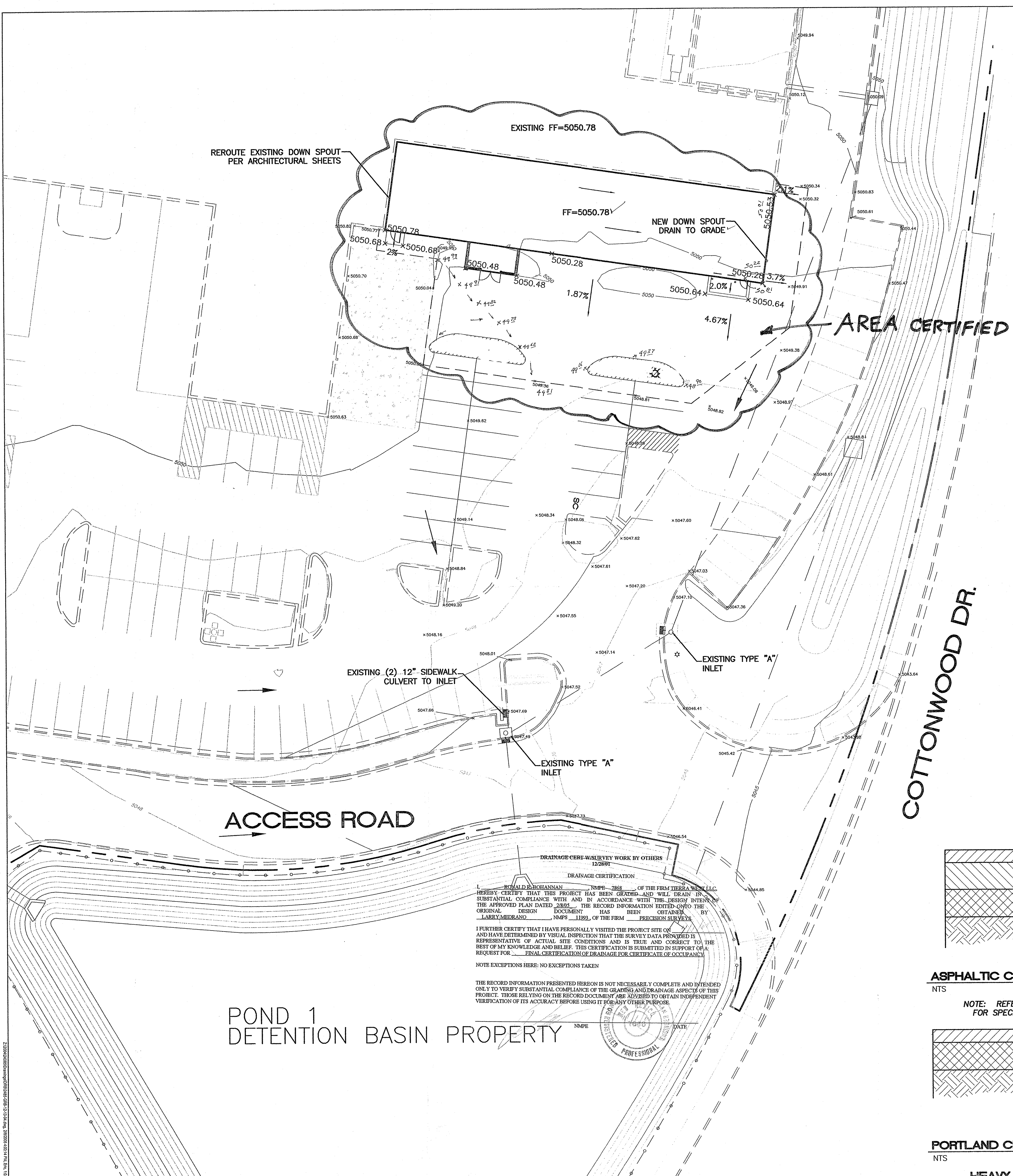
C: file

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov



FOUNDATION SUBSURFACE PREPARATION PROPOSED STOCKROOM ADDITION
EXISTING WAL-MART STORE #1397
SOUTHEAST QUADRANT OF COORS BOULEVARD BYPASS AND ELLISON DRIVE
ALBUQUERQUE, NEW MEXICO
TERRACON PROJECT NO. 66055004
02/02/05

UNLESS SPECIFICALLY INDICATED OTHERWISE IN THE DRAWINGS AND/OR SPECIFICATIONS, THE LIMITS OF THIS SUBSURFACE PREPARATION ARE CONSIDERED TO BE THAT PORTION OF THE SITE DIRECTLY BENEATH AND 10 FEET BEYOND THE BUILDING ADDITION AND APPURTENANCES.

APPURTENANCES ARE THOSE ITEMS ATTACHED TO THE BUILDING PROPER (REFER TO DRAWING SHEET SP1), TYPICALLY INCLUDING, BUT NOT LIMITED TO, THE BUILDING SIDEWALKS, PORCHES, RAMPS, AND STOOPS. THE SUBBASE AND THE VAPOR BARRIER, WHERE REQUIRED, DO NOT EXTEND BEYOND THE LIMITS OF THE ACTUAL BUILDING ADDITION AND THE APPURTENANCES.

ESTABLISH THE FINAL SUBGRADE ELEVATION TO ALLOW FOR THE SLAB THICKNESS AND A 6 INCH SUBBASE FOR EXPOSED CONCRETE SLABS CONSISTING OF 4 INCH COARSE AGGREGATE AND 2 INCH FINE AGGREGATE. THE INTERIOR SLAB SUBBASE SHALL CONSIST OF 4 INCHES OF COARSE AGGREGATE MEETING THE GRADATION REQUIREMENTS OF OPEN GRADED BASE COURSE (OGBC) AS DEFINED BY NMDOT, SECTION 304 COVERED WITH 2 INCHES OF FINE AGGREGATE MEETING THE GRADATION REQUIREMENTS OF ASTM D-448, SIZE 10 AGGREGATE WITH 6 PERCENT TO 12 PERCENT PASSING THE NO. 200 SIEVE. THE EXTERIOR SLAB SUBBASE SHALL CONSIST OF 4 INCHES OF COARSE AGGREGATE MEETING THE GRADATION REQUIREMENT OF OGBC AS DEFINED BY NMDOT, SECTION 304 COVERED WITH 2 INCHES OF FINE AGGREGATE MEETING THE GRADATION REQUIREMENTS OF ASTM D-448, SIZE 10 AGGREGATE WITH 6 PERCENT TO 12 PERCENT PASSING THE NO. 200 SIEVE. D-448, SIZE 10 AGGREGATE WITH 6 PERCENT TO 12 OBTAINING ACCURATE MEASUREMENTS FOR ALL CUT AND FILL DEPTHS REQUIRED.

REMOVE EXISTING ASPHALT AND DELETERIOUS MATERIALS, ECT., FROM THE BUILDING ADDITION AREA. UPON REMOVAL OF SURFACE MATERIALS, EXISTING SOILS SHOULD BE REMOVED WITHIN THE LIMITS OF THE FOOTINGS AND SLAB AND 32 INCHES BEYOND THE OUTSIDE EDGE OF PERIMETER FOOTINGS. UPON REMOVAL OF THE EXISTING SOILS, THE SPREAD FOUNDATIONS SHOULD BEAR ON A MINIMUM OF 2 FEET OF ENGINEERED FILL. THE INTERIOR SLABS SHOULD BEAR ON A MINIMUM OF 2 FEET OF ENGINEERED FILL. PROOFROLL EXPOSED SUBGRADE. REMOVE AND REPLACE UNSUITABLE AREAS AND BACKFILL OVEREXCAVATION WITH SUITABLE MATERIAL. SUBGRADE AND ENGINEERED FILL MATERIAL SHALL BE FREE OF ORGANIC AND OTHER DELETERIOUS MATERIALS AND SHALL MEET THE FOLLOWING REQUIREMENTS:

	P.I.	L.L.
FILL WITHIN LIMITS OF BUILDING PAD	12 MAX.	35 MAX.

MAX PARTICLE SIZE (ASTM C136)

3"	100
No. 4 Sieve	50-100
No. 200 Sieve	50 (max)

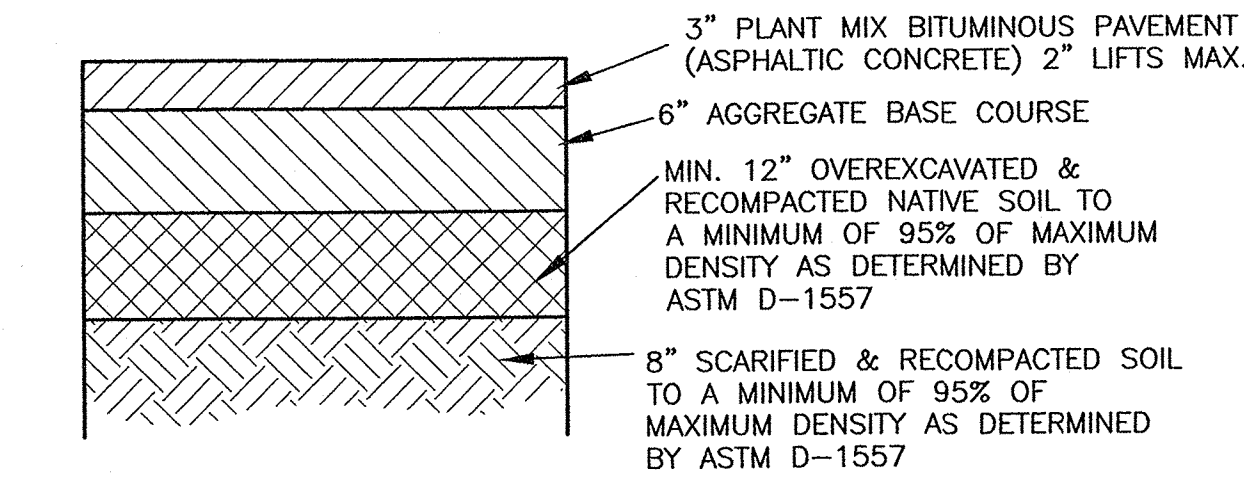
THE SUBGRADE MATERIAL SHALL BE PLACED IN LOOSE LIFTS NOT EXCEEDING 10 INCHES IN THICKNESS IF SOIL HAS NO PI AND 8 INCHES FOR SOILS WITH PI AND COMPACTED TO AT LEAST 95 PERCENT OF THE MODIFIED PROCTOR MAXIMUM DRY DENSITY (ASTM D1557) AT A MOISTURE CONTENT WITHIN 1 PERCENT BELOW TO 3 PERCENT ABOVE THE OPTIMUM FOR SOILS WITH A PLASTICITY INDEX GREATER THAN 5 AND AT A MOISTURE CONTENT WITHIN 3 PERCENT BELOW TO OPTIMUM FOR ALL OTHER SOILS. THE CONTRACTOR SHOULD ACKNOWLEDGE BOTH COMPACTION AND SOIL MOISTURE CONTENT REQUIREMENTS MUST BE MET TO ACHIEVE A SUITABLE ENGINEERED FILL.

THE FOUNDATION SYSTEM SHALL BE ISOLATED SPREAD FOOTINGS AT COLUMNS AND CONTINUOUS SPREAD FOOTINGS AT WALLS.

THIS FOUNDATION SUBSURFACE PREPARATION DOES NOT CONSTITUTE A COMPLETE SITE WORK SPECIFICATION. IN CASE OF CONFLICT, INFORMATION COVERED IN THIS PREPARATION SHALL TAKE PRECEDENCE OVER THE WAL-MART SPECIFICATION. REFER TO THE SPECIFICATIONS FOR SPECIFIC INFORMATION NOT COVERED IN THIS PREPARATION. THIS INFORMATION WAS TAKEN FROM A GEOTECHNICAL REPORT PREPARED BY TERRACON, DATED FEBRUARY 1, 2005. (GEOTECHNICAL REPORT IS FOR INFORMATION ONLY AND IS NOT A CONSTRUCTION SPECIFICATION).

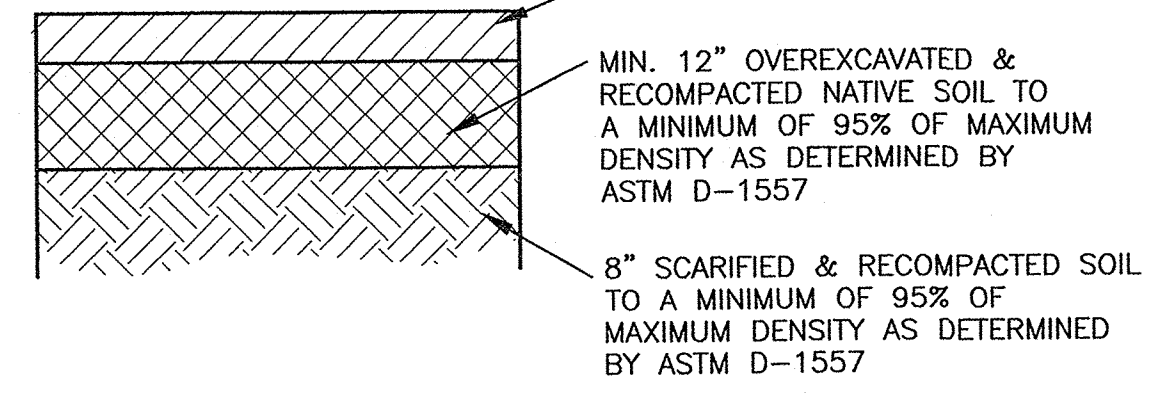
EROSION CONTROL NOTES

- CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
- CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT OUT OF EXISTING RIGHT-OF-WAY.
- CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL STORM RUN OFF ON SITE.
- REPAIR OF DAMAGED FACILITIES AND CLEAN-UP OF SEDIMENT ACCUMULATION ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING NPDES PERMIT FOR THE SITE.



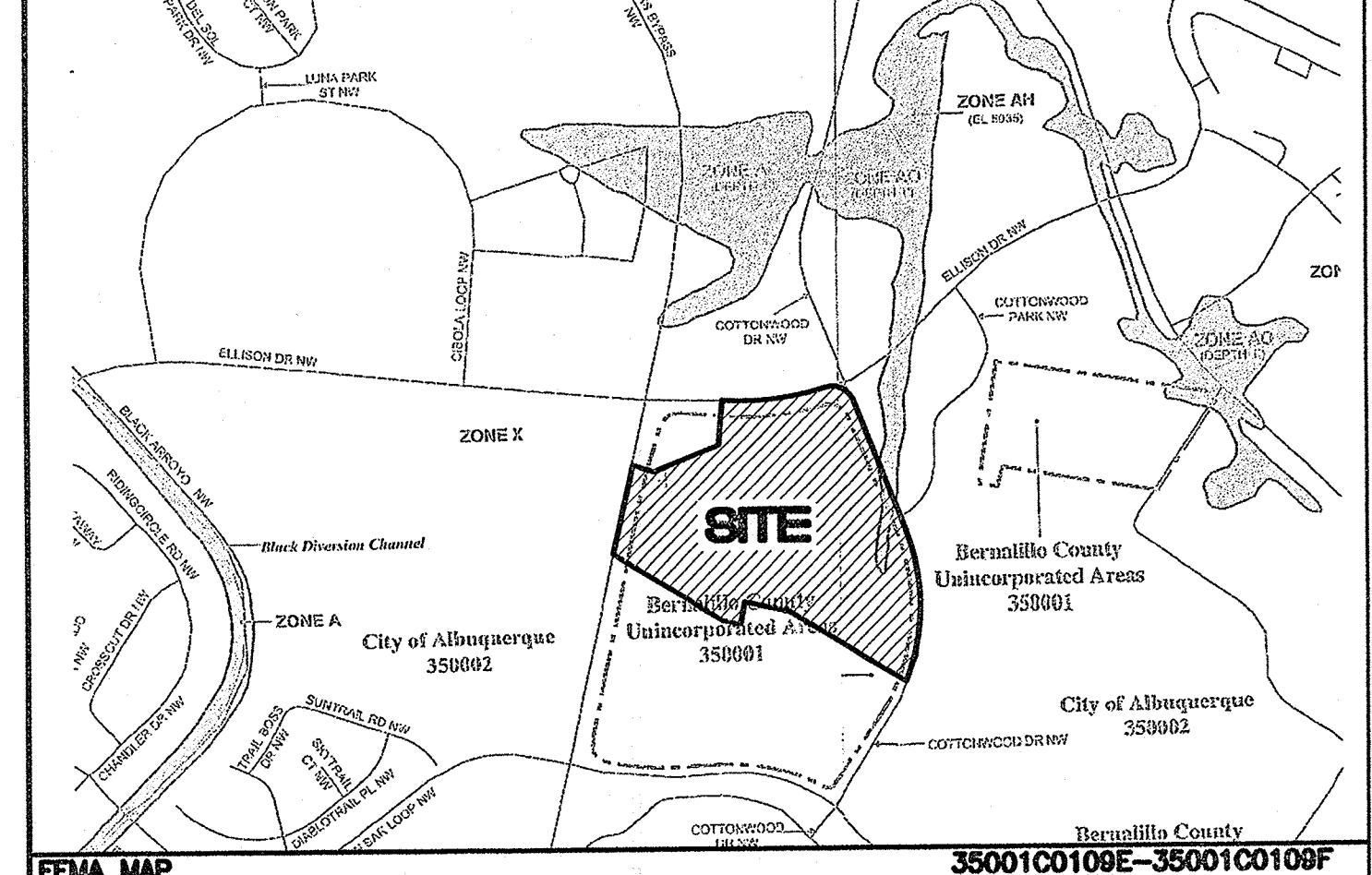
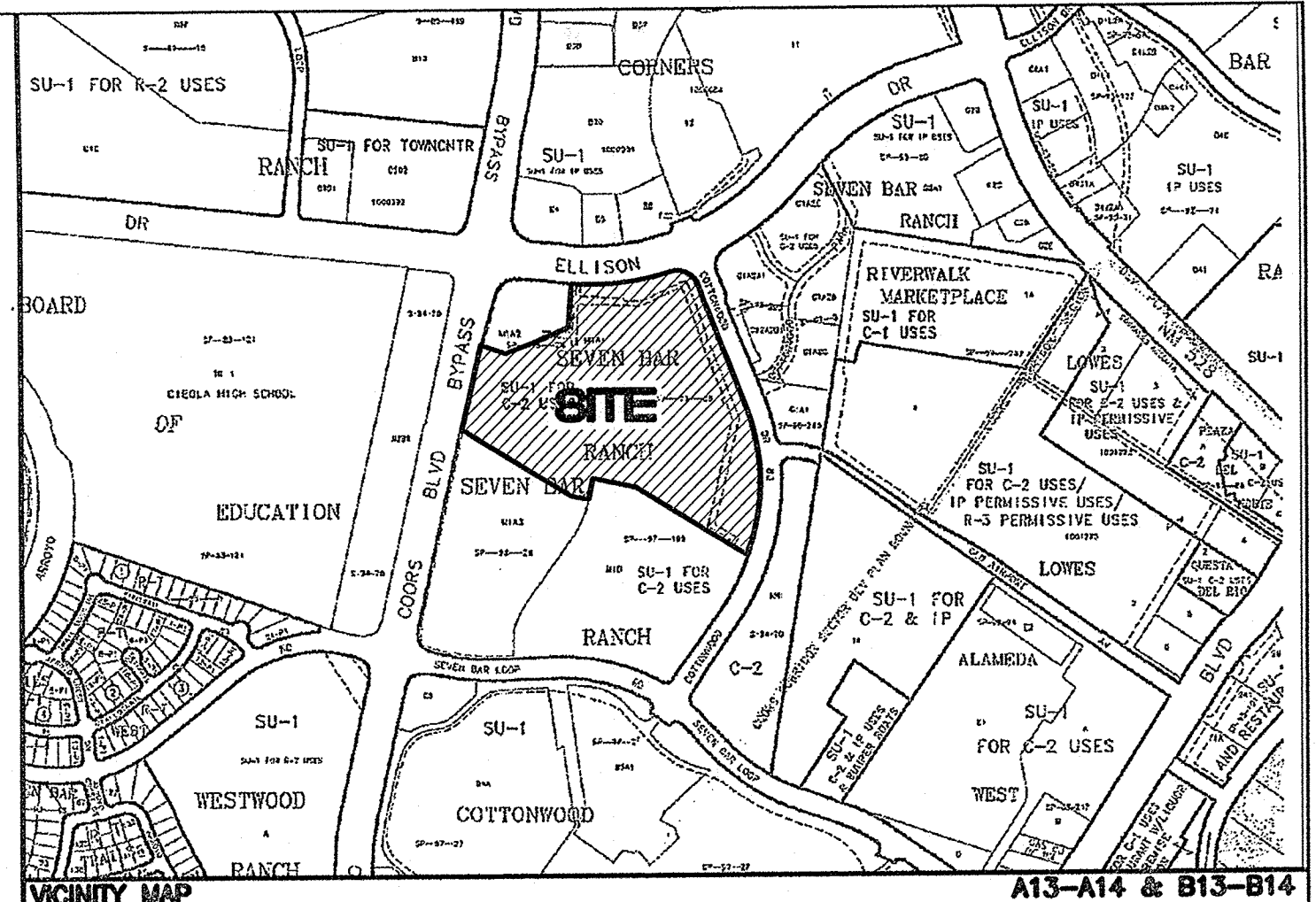
ASPHALTIC CONCRETE PAVING SECTION

NOTE: REFER TO GEOTECHNICAL REPORTS FOR SPECIFICATIONS.



PORTLAND CEMENT PAVING SECTION

HEAVY DUTY PAVEMENT

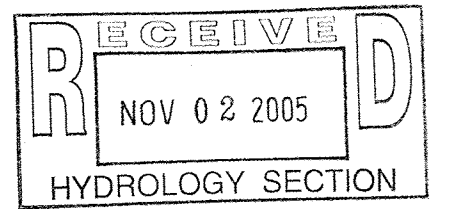


NOTES:
1. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.

LEGEND



- | | |
|--|------------------------------|
| | EXISTING SAS MANHOLE |
| | EXISTING SANITARY SEWER LINE |
| | EXISTING FIRE HYDRANT |
| | EXISTING WATER LINE |
| | EXISTING STORM SEWER MANHOLE |
| | EXISTING STORM SEWER INLET |
| | EXISTING STORM SEWER LINE |
| | EXISTING CURB & GUTTER |
| | EXISTING BOUNDARY LINE |
| | EASEMENT |
| | EXISTING SIDEWALK |
| | EXISTING CONTOUR |
| | EXISTING INDEX CONTOUR |
| | EXISTING SPOT ELEVATION |
| | CENTERLINE |
| | RIGHT-OF-WAY |
| | GRADE BREAK |

ROUGH GRADING APPROVAL



CAUTION:
ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

02-09-05
PERMIT ISSUE

ENGINEER'S SEAL	WAL-MART #1397 STOCKROOM ADDITION		DRAWN BY EMT
	GRADING AND DRAINAGE PLAN ENLARGED		DATE 01-07-05
			2485-GRB-12-13-04
	 TIERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100		SHEET # C107
			JOB # 24085
RONALD R. BOHANNAN P.E. #7668			