

# CITY OF ALBUQUERQUE

*Planning Department*  
Brennon Williams, Director



*Mayor Timothy M. Keller*

December 31, 2019

Jacky Lin, P.E.  
WHPacific, Inc.  
6501 Americas Parkway NE, Suite 400  
Albuquerque, NM 87110

**RE: 6<sup>th</sup> Area Command HQ Remediation**  
**10401 Cibola Loop NW**  
**Grading Plan Stamp Date: 12/1/19**  
**Hydrology File: A13D020**

Dear Mr. Lin:

Based on the submittal received on 12/19/19, the Grading Plan is approved for Grading Permit.

PO Box 1293

If you have any questions, please contact me at 924-3695 or [dpeterson@cabq.gov](mailto:dpeterson@cabq.gov).

Albuquerque

Sincerely,

NM 87103

Dana Peterson, P.E.  
Senior Engineer, Planning Dept.  
Development Review Services

[www.cabq.gov](http://www.cabq.gov)



# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 11/2018)

**Project Title:** \_\_\_\_\_ **Building Permit #:** \_\_\_\_\_ **Hydrology File #:** \_\_\_\_\_

**DRB#:** \_\_\_\_\_ **EPC#:** \_\_\_\_\_ **Work Order#:** \_\_\_\_\_

**Legal Description:** \_\_\_\_\_

**City Address:** \_\_\_\_\_

**Applicant:** \_\_\_\_\_ **Contact:** \_\_\_\_\_

**Address:** \_\_\_\_\_

**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

**Owner:** \_\_\_\_\_ **Contact:** \_\_\_\_\_

**Address:** \_\_\_\_\_

**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

**TYPE OF SUBMITTAL:** \_\_\_\_\_ PLAT (\_\_\_\_# OF LOTS) \_\_\_\_\_ RESIDENCE \_\_\_\_\_ DRB SITE \_\_\_\_\_ ADMIN SITE

**IS THIS A RESUBMITTAL?:** \_\_\_\_\_ Yes \_\_\_\_\_ No

**DEPARTMENT:** \_\_\_\_\_ TRAFFIC/ TRANSPORTATION \_\_\_\_\_ HYDROLOGY/ DRAINAGE

Check all that Apply:

### TYPE OF SUBMITTAL:

- \_\_\_\_\_ ENGINEER/ARCHITECT CERTIFICATION
- \_\_\_\_\_ PAD CERTIFICATION
- \_\_\_\_\_ CONCEPTUAL G & D PLAN
- \_\_\_\_\_ GRADING PLAN
- \_\_\_\_\_ DRAINAGE MASTER PLAN
- \_\_\_\_\_ DRAINAGE REPORT
- \_\_\_\_\_ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- \_\_\_\_\_ ELEVATION CERTIFICATE
- \_\_\_\_\_ CLOMR/LOMR
- \_\_\_\_\_ TRAFFIC CIRCULATION LAYOUT (TCL)
- \_\_\_\_\_ TRAFFIC IMPACT STUDY (TIS)
- \_\_\_\_\_ OTHER (SPECIFY) \_\_\_\_\_
- \_\_\_\_\_ PRE-DESIGN MEETING?

### TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- \_\_\_\_\_ BUILDING PERMIT APPROVAL
- \_\_\_\_\_ CERTIFICATE OF OCCUPANCY
- \_\_\_\_\_ PRELIMINARY PLAT APPROVAL
- \_\_\_\_\_ SITE PLAN FOR SUB'D APPROVAL
- \_\_\_\_\_ SITE PLAN FOR BLDG. PERMIT APPROVAL
- \_\_\_\_\_ FINAL PLAT APPROVAL
- \_\_\_\_\_ SIA/ RELEASE OF FINANCIAL GUARANTEE
- \_\_\_\_\_ FOUNDATION PERMIT APPROVAL
- \_\_\_\_\_ GRADING PERMIT APPROVAL
- \_\_\_\_\_ SO-19 APPROVAL
- \_\_\_\_\_ PAVING PERMIT APPROVAL
- \_\_\_\_\_ GRADING/ PAD CERTIFICATION
- \_\_\_\_\_ WORK ORDER APPROVAL
- \_\_\_\_\_ CLOMR/LOMR
- \_\_\_\_\_ FLOODPLAIN DEVELOPMENT PERMIT
- \_\_\_\_\_ OTHER (SPECIFY) \_\_\_\_\_

**DATE SUBMITTED:** \_\_\_\_\_ **By:** \_\_\_\_\_

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_

FEE PAID: \_\_\_\_\_

December 20, 2019

Dana Peterson, P.E.  
Senior Engineer, Planning Dept.  
Development Review Services  
PO Box 1293  
Albuquerque, New Mexico 87103

**Re: Sixth Area Command Headquarters Remediation  
10401 Cibola Loop NW, Albuquerque, NM 87114  
Grading and Drainage Plan  
Hydrology File:**

Dear Dana:

Per our meeting with Shahab Biazar, Planning Department & Stacy Herrera, City of Albuquerque Municipal Development regarding to the reference project above, attached is the grading and drainage submittal for review and/or Grading Permit Approval as required.

- One (1) Copy of the Drainage Information Sheet
- One (1) Copy of the Existing Grading Plan (For Reference)
- One (1) Copy of the Grading Plan

Here is the proposed project summary regarding to grading & drainage:

**Project Overview:**

The scope of this project is to repair existing exterior damage due to settlement of soils, stabilization of existing foundations with helical piers, remediate site grading and drainage around perimeter of the existing building.

Grading for this project will be remove existing gravel surface and landscaping along east side of the existing building for stabilization. Impervious liners will be place along the same edge along the building with gravel surface to minimize the storm water into the existing foundation; new or relocated landscape will be placed on areas that will not have liners.

**Existing Drainage Condition:**

The existing drainage area between east side of the building and sidewalk located along Cibola Loop drains with swale through the existing sidewalk culverts located along Cibola Loop. The existing drainage area northeast of the site that collect offsite drainage with an existing detention with over flow through an existing curb cut. All runoffs collected in the existing curb inlet along Cibola Loop.

**Proposed Drainage Condition:**

The proposed drainage pattern for the work areas remain the same. With the new impervious liner installation under the new gravel area, the proposed swale will be located on top of the liner to minimize the runoff into the soil around the foundation area. Runoff will convert through the same sidewalk culvert.

December 20, 2019

Page 2

Please contact me if you have any questions or comments.

Sincerely,

**WHPacific, Inc.**

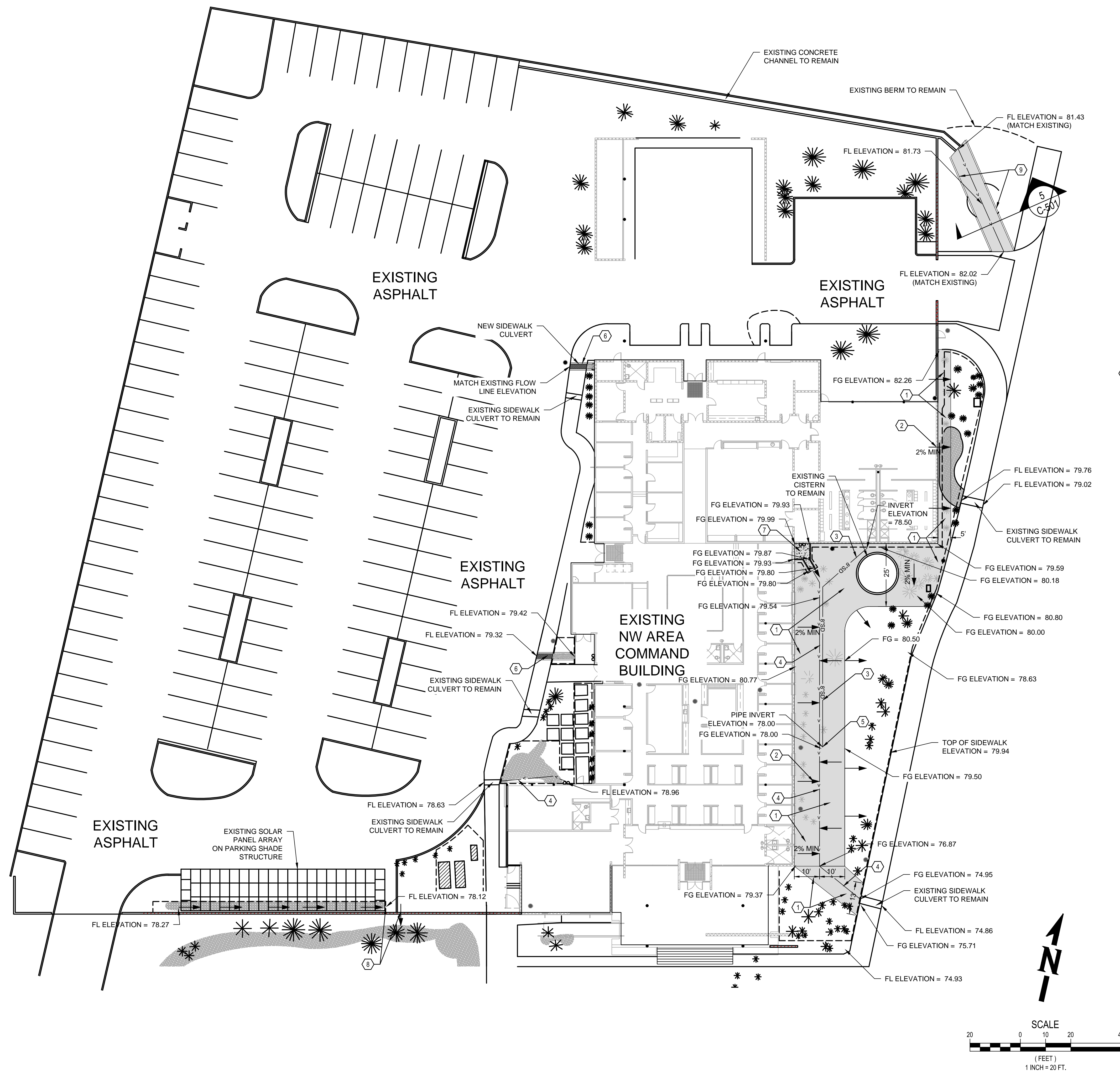


**By:**

*Minxuan (Jacky) Lin, PE  
Civil Engineer, Development Services  
6501 Americas Pkwy NE, Ste 400  
Albuquerque, NM 87110*

*cc: Pam Lentini, PE  
David Grieves, PE*





GENERAL NOTES:

1. EXISTING CONSTRUCTION IS PER AVAILABLE EXISTING DRAWINGS. ALL EXISTING CONSTRUCTION AND DIMENSIONS SHALL BE FIELD VERIFIED PRIOR TO CONSTRUCTION. SHOULD CONDITIONS VARY FROM THOSE SHOWN, CONTACT ENGINEER BEFORE PROCEEDING.
2. CONTRACTOR SHALL FIELD VERIFY SITE FOR EXISTING CONDITIONS.
3. CONTRACTOR SHALL FIELD VERIFY EXISTING UTILITY LOCATION AND DEPTH PRIOR TO CONSTRUCTION. CALL "NEW MEXICO ONE CALL AT 1-800-321-2537" & PRIVATE UTILITY LINE SPOT FOR ONSITE UTILITIES PRIOR TO ANY EXCAVATION ACTIVITIES.
4. ALL DIMENSIONS ARE REFERENCE TO EDGE OF ROAD AND EDGE OF WALKWAYS UNLESS OTHERWISE NOTED.
5. ALL CONSTRUCTION SHALL BE COMPLETED IN ACCORDANCE TO THE CURRENT EDITION OF THE CITY OF ALBUQUERQUE STANDARDS AND SPECIFICATIONS.
6. CONTRACTOR SHALL FIELD VERIFY EXISTING FLOWLINE ELEVATIONS @ NEW SIDEWALK CULVERT, EXISTING SIDEWALK CULVERT AND EXISTING DRAINAGE CHANNEL AND CURB CUTS.

**1** KEYNOTES:

1. INSTALL 60 MIL HDPE LINER UNDER NEW GRAVEL SURFACE. SECURE LINER TO BUILDING, EXISTING CONCRETE CISTERN AND OVERLAP SEAMS PER DETAILS 2, 3 AND 4, SHEET C-501.
2. GRADE AREA TO SLOPE AWAY FROM BUILDING AT MINIMUM OF 2% SLOPE AS SHOWN.
3. REPIPE DOWNSPOUT WITH NEW 8" DIA SCHEDULE 40 PVC PIPE WITH 6" MINIMUM COVER FROM FINISHED GRADE UNTIL DAY LIGHTING PIPE AS SHOWN. RUN AT 0.5% SLOPE MINIMUM.
4. CONSTRUCT NEW DRAINAGE SWALE.
5. INSTALL 8" ROUND GRATE CAP ON PVC PIPE AT DAYLIGHT OUTLET, AND SECURE PIPE & GRATE CAP WITH FASTENERS.
6. INSTALL NEW 24" SIDEWALK CULVERT AND CONCRETE RUNDOWN PER DETAIL 1, SHEET C-501.
7. REMOVE AND REPLACE EXISTING CONCRETE SPLASH PAD, SEE STRUCTURAL PLAN SHEET S-401 FOR SPLASH BLOCK DIMENSIONS.
8. REMOVE & REPLACE EXISTING COBBLE, PLACE COBBLE WITH POSITIVE SLOPE FOR DRAINAGE TO GO THROUGH EXISTING CURB OPENING AND THROUGH EXISTING CHAINLINK FENCE.
9. INSTALL 60 MIL HDPE LINER UNDER NEW GRAVEL SWALE PER DETAIL 5, SHEET C-501.



**WHPacific**  
AN NIVIS COMPANY



**Chavez-Grieves**  
consulting engineers, inc.  
4700 Lincoln Road NE, Suite 102 • Albuquerque, NM 87109  
505-344-4080 505-343-8759 fax

CITY OF ALBUQUERQUE  
CAPITAL IMPLEMENTATION PROGRAM

PROJECT TITLE: **SIXTH AREA COMMAND HEADQUARTERS DISTRESS REMEDIATION**

DRAWING TITLE:	GRADING PLAN
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Design Review Committee	City Engineer Approval	Last Design Update	Mo./Day/Yr.		Mo./Day/Yr.	
FINAL CD'S	City Project No. 7641.04	Zone Map No. A-13	DWG. C-131	Sheet 14 OF 47		



BASIN B1					
POND VOLUMES AND ELEVATIONS					
POND #	BOTTOM ELEV. (ft.)	CURB CUT FL. (ft.)	OVERFLOW ELEV. (ft.)	VOLUME (cu. ft.)	AREA (sq. ft.)
SMALL PONDS					
P1	80.00	80.25	80.50	1,121	244.3
P2	79.25	79.50	79.75	342	484.3
P3	78.80	79.05	79.30	267	533.2
P4	78.40	78.65	78.90	337	656.6
P5	78.00	78.25	78.50	61	130.0
P6	77.60	77.85	78.10	63	130.0
P7	76.45	76.70	76.95	163	150.0
P8	76.42	76.67	76.92	131	130.0
P9	76.42	76.67	76.92	23	383.6
P10	75.78	76.03	76.28	305	610.0
P11	75.30	75.55	75.80	14	281.4
TOTAL SMALL POND VOLUMES					
P12	73.00	73.00	73.00	19,288	
STORM DRAIN MAIN LINE VOLUME					
270 FT 18" OD PVC = 270 LK. FT X 1.67 SQ. FT.				451	CU. FT.
TOTAL STORMWATER STORAGE VOLUME IN B1 (CU. FT.)				22,014	

+ ADD 2000 cft SOUTH SURFACE POND 2000 22,014 + 2000 = 24,014

BASIN B5			
CISTERN AND CHECK DAMS			
CISTERN	DEPTH TO OVERFLOW (ft.)	AREA (sq. ft.)	VOLUME (cu. ft.)
	7.50	189	1414
CHECK	AVERAGE DEPTH (ft.)	AREA (sq. ft.)	VOLUME (cu. ft.)
DAMS	0.67	2374	1591
TOTAL STORMWATER STORAGE IN B5 (CU. FT.)			3005

DISCHARGE POINTS

- 1 EXISTING STORM DRAIN
- 2 SHEET FLOW OFFSITE TO ELUSION
- 3 SOUTHERN DRIVE PAD TO CIBOLA
- 4 SIDEWALK CULVERT #1 TO CIBOLA
- 5 SIDEWALK CULVERT #2 TO CIBOLA
- 6 NORTHERN DRIVE PAD TO CIBOLA

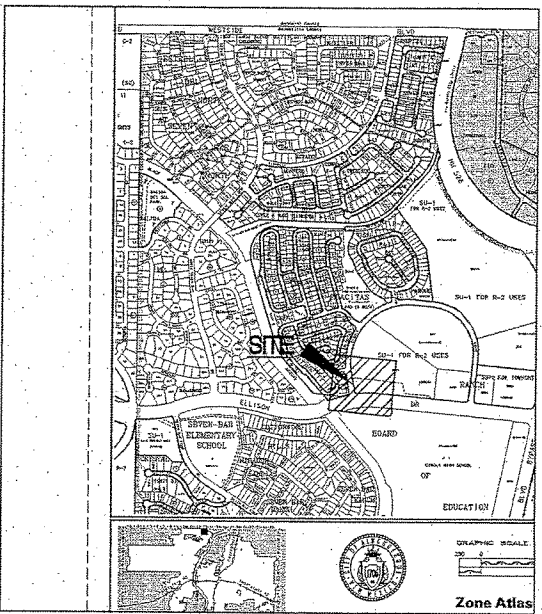
This is a City of Albuquerque Record Drawing (Public Information) as of the dates noted, and furnished the Contractor as a courtesy and for permitting. These drawings were not prepared by Chavez-Grievies or WH Pacific and have not been updated. The Contractor may request an entire set of the Record Drawings furnished in electronic format. The Contractor cannot assume that these drawings are accurate as any work done at the site since the production of these drawings is not known other than that furnished on the Contract Documents. The contractor shall use at their own risk and shall verify information as needed to perform work under this contract.

The user of these documents agrees to indemnify and hold harmless RMKMA, its Officers, Employees, Consultants, and Sub Consultants against all damages, liabilities or costs, including reasonable attorneys' fees and defense costs, arising out of or in any way connected with the use or reference of these Record Documents.

RMKMA, and the assembled A/E Consultants, have acted in good faith in the discharge of these duties and have attempted to compile an accurate and thorough set of Record Documents for the existing building. However, because these Record Documents are based in part upon non-verifiable information, RMKMA and the assembled A/E Consultants cannot and do not warrant their accuracy and/or completeness and furthermore, shall not be responsible for any errors or omissions that may be incorporated in these Record Documents. Further investigation and verification will be required by other parties using or referencing these materials.

OWNER CITY OF ALBUQUERQUE ALBUQUERQUE POLICE DEPARTMENT	SCALE 1" = 30'
PROJECT SIXTH AREA COMMAND HEADQUARTERS 4501 Cibola Loop NW Albuquerque, New Mexico	RECORDING PROJECT NO. 0604
	DRAWING FILE NO. SIXTH AREA CMD. FINAL C
	DATE MAY 06, 2009
	PROJECT MANAGER STEPHEN LEOS, LEED AP, AIA
	DRAWN BY

CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING DEVELOPMENT GROUP			
TITLE: GRADING AND DRAINAGE PLAN			
Design Review Committee	City Engineer Approval	Update	MO./DAY/YR.
		Last Design	MO./DAY/YR.
City Project No. 7641.03	Zone Map No. A-13-Z	Sheet RD-7	Of



VICINITY MAP

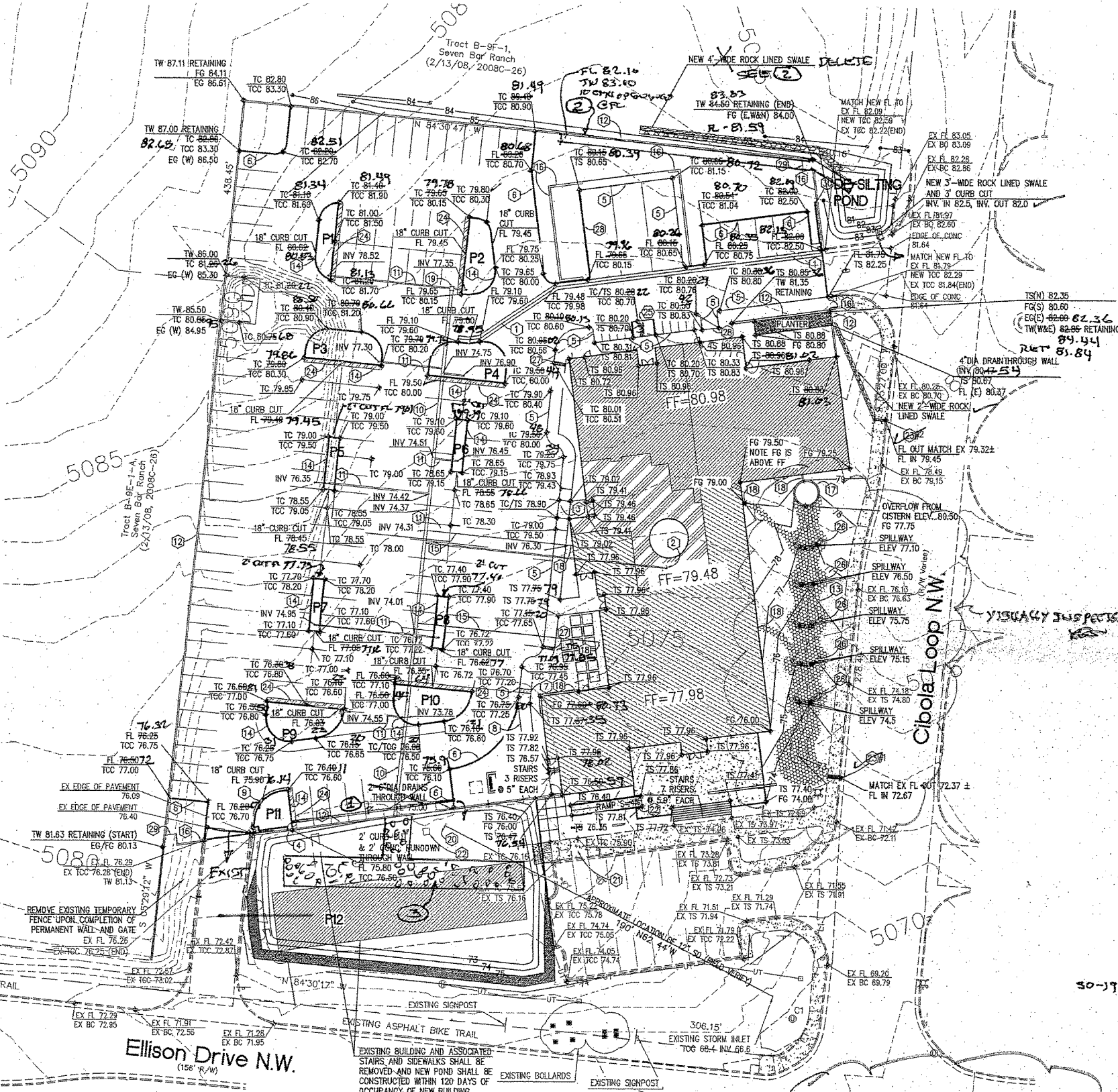
KEYED NOTES:

- 1 INSTALL 3' WIDE CONCRETE VALLEY CUTTER PER DETAIL 1/C2.0.
- 2 3" DRAIN FROM ATRIUM. SEE PLUMBING PLANS FOR DRAINAGE THIS AREA.
- 3 INSTALL NEW HANDICAP RAMP PER DETAIL 3/C2.0.
- 4 INSTALL NEW CONCRETE RUNDOWN PER DETAIL 4/C2.0.
- 5 SIDEWALK WITH TURNDOWN PER DETAIL 5/C2.0.
- 6 CONCRETE HEADER CURB PER DETAIL 6/C2.0.
- 7 INSTALL 24" WIDE SIDEWALK CULVERT PER DETAIL 11/C2.0.
- 8 SIDEWALK PER DETAIL 7/C2.0.
- 9 CURB AND CUTTER PER DETAIL 8/C2.0.
- 10 18" PVC STORM DRAIN: INV IN 75.00, INV OUT 73.50.
- 11 6" PVC STORM DRAIN.
- 12 NEW RETAINING WALL. SEE ARCHITECTURAL PLAN FOR DESIGN DETAILS.
- 13 ROCK LINED SWALE WITH ROCK CHECK DAMS. SEE LANDSCAPE PLAN FOR DETAILS AND ADDITIONAL INFORMATION. THIS OR SIMILAR LANDSCAPE DESIGN REQUIRED FOR EROSION CONTROL.
- 14 POND/LANDSCAPED MEDIAN PER DETAIL 9/C2.0.
- 15 6" PVC STORM DRAIN.
- 16 NEW NON-RETAINING SECURITY WALL. SEE ARCHITECTURAL PLAN FOR DESIGN DETAILS.
- 17 CISTERN DESIGNED BY OTHERS.
- 18 ROOF DOWNSPOUT PER PLUMBING PLAN P101.
- 19 INSTALL 2' X 2' AREA DRAIN INLET PER PLUMBING PLAN P101.
- 20 TRIM BACK EXISTING 12" SD TO MATCH FL TO POND BOTTOM ELEVATION AND INSTALL NEW STEEL 7.5" DIA. ORIFICE PLATE ORIFICE PLATE.
- 21 EXISTING WHEELCHAIR RAMP TO REMAIN.
- 22 REMOVE SAS CLEANOUT.
- 23 CONSTRUCT NEW 12" WIDE SIDEWALK CULVERT PER COA STD DRAWING 2236.
- 24 STROPE 2' WIDE AISLE BETWEEN PARKING SPACE AND FACE OF CURB TYPE ALL MEDIANS.
- 25 INSTALL NEW HANDICAP RAMP PER DETAIL 12/C2.1.
- 26 CONSTRUCT BOLDER CHECK DAM. MINIMUM SIZE BOLDER 1.5 CF. SEE LANDSCAPING DRAWINGS.
- 27 CONSTRUCT 18" WIDE SIDEWALK CULVERT PER DETAIL 11/C2.1.
- 28 ROLL OVER CURB PER DETAIL 10/C2.0.
- 29 CHAIN LINK FENCE PER ARCHITECTURAL PLAN DETAIL J2/A1.2.
- 30 INSTALL CONCRETE RUNNER FOR GATE PER GATE MANUFACTURER'S REQUIREMENTS AND DETAILS.

- 1 Added 3' WIDE RIPRAP CHANNEL THROUGH PARKING DRAIN THROUGH WALL OPENING TO MAIN POND
- 2 Added 3' WIDE CONCRETE CHANNEL TO CONVEY OFFSITE RUNOFF TO SEDIMENT POND. DELETE ALL GRADING ON ADJACENT PARCEL.
- 3 Add 10' x 100' LONG x 6' DEEP ROCK FILLED SUBSURFACE PONDING, ROCK ENCLOSED IN FILTER FABRIC. Vol PROVIDED = 10 x 6 x 100 = 2000 cft

LARRY READ & ASSOCIATES, Inc.  
Civil Engineers  
2430 Midtown Place NE, Suite C  
Albuquerque, New Mexico 87111  
(505) 237-8421

RECORD DOCUMENTS



1 GRADING AND DRAINAGE PLAN

Scale: 1" = 30'-0"

30' 15' 0' 30'



DRAINAGE CERTIFICATION

I, Larry D. Read, NMPE 10998, of the firm Larry Read & Associates, Inc., hereby certify that this project has been graded and will drain in substantial compliance with and in accordance with the design intent of the approved plan Engineer's Stamp dated 11-9-09. The record information edited onto the original design document has been obtained by Will Plotner Jr., NMPS 14271, of the firm Cartesian Survey, Inc. I further certify that I have personally visited the project site on 6-1-2011 and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for Permanent Certificate of Occupancy.

Exceptions: See hand written "as-built" elevations and noted on this sheet.

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the Grading and Drainage aspects of this project. Those relying on this record document are advised to obtain independent verification of its accuracy before using it for any other purpose.