

# CITY OF ALBUQUERQUE



November 4, 2015

Ronald R. Bohannon, PE  
Tierra West, LLC  
5571 Midway Park Place NE  
Albuquerque, NM 87109

**Re: Broadstone Cottonwood Building 17, 20, 21 & 22  
10800 Cibola Loop NW  
Request Permanent C.O. - Accepted  
Engineer's Stamp dated: 8-2-13 (A13D022)  
Certification dated: 10-14-15**

Dear Mr. Bohannon,

Based on the Certification received 10/14/2015, the above referenced site is acceptable for release of Certificate of Occupancy by Hydrology.

If you have any questions, you can contact me at 924-3999 or Totten Elliott at 924-3982.

PO Box 1293

Albuquerque

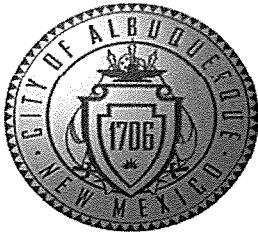
NM 87103

[www.cabq.gov](http://www.cabq.gov)

Sincerely,

Rita Harmon, P.E.  
Senior Engineer, Hydrology  
Planning Department

C: TE/RH  
email  
CO Clerk



# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Project Title: Broadstone Cottonwood Buildings 17, 20, 21, and 22 Building Permit #: \_\_\_\_\_ City Drainage #: \_\_\_\_\_  
DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ Work Order#: \_\_\_\_\_  
Legal Description: Tract B-9H-1B-1 Vista Del Parque Subdivision  
City Address: 10800 Cibola Loop Drive, Albuquerque, NM

Engineering Firm: Tierra West LLC. Contact: Ron Bohannon  
Address: 5571 Midway Park PI NE Albuquerque, NM 87109  
Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: rrb@tierrawestllc.com

Owner: \_\_\_\_\_ Contact: \_\_\_\_\_  
Address: \_\_\_\_\_  
Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

Architect: \_\_\_\_\_ Contact: \_\_\_\_\_  
Address: \_\_\_\_\_  
Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

Other Contact: \_\_\_\_\_ Contact: \_\_\_\_\_  
Address: \_\_\_\_\_  
Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

Check all that Apply:

### DEPARTMENT:

☒ HYDROLOGY/ DRAINAGE  
☐ TRAFFIC/ TRANSPORTATION  
☐ MS4/ EROSION & SEDIMENT CONTROL

### TYPE OF SUBMITTAL:

☒ ENGINEER/ ARCHITECT CERTIFICATION  
☐ CONCEPTUAL G & D PLAN  
☐ GRADING PLAN  
☐ DRAINAGE MASTER PLAN  
☐ DRAINAGE REPORT  
☐ CLOMR/LOMR  
☐ TRAFFIC CIRCULATION LAYOUT (TCL)  
☐ TRAFFIC IMPACT STUDY (TIS)  
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)  
☐ OTHER (SPECIFY) \_\_\_\_\_

### CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

☐ BUILDING PERMIT APPROVAL  
☒ CERTIFICATE OF OCCUPANCY  
☐ PRELIMINARY PLAT APPROVAL  
☐ SITE PLAN FOR SUB'D APPROVAL  
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL  
☐ FINAL PLAT APPROVAL  
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE  
☐ FOUNDATION PERMIT APPROVAL  
☐ GRADING PERMIT APPROVAL  
☐ SO-19 APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ GRADING/ PAD CERTIFICATION  
☐ WORK ORDER APPROVAL  
☐ CLOMR/LOMR  
☐ PRE-DESIGN MEETING  
☐ OTHER (SPECIFY) \_\_\_\_\_

IS THIS A RESUBMITTAL?: ☐ Yes ☒ No

DATE SUBMITTED: \_\_\_\_\_ By: \_\_\_\_\_

COA STAFF: \_\_\_\_\_ ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_

5571 Midway Park Place NE Albuquerque, NM 87109  
(505) 858-3100 Fax (505) 858-1118 1-800-245-3102  
tierrawestllc.com

# TIERRA WEST, LLC

October 14, 2015

Ms. Racquel Michel, P.E.  
Development and Building Services  
City of Albuquerque  
P.O. Box 1293  
Albuquerque, NM 87103

**RE: SITE PLAN FOR BUILDING PERMIT  
CERTIFICATION FOR PERMANENT CERTIFICATE OF OCCUPANCY  
BROADSTONE COTTONWOOD APARTMENTS, 10800 CIBOLA LOOP NW  
BUILDINGS 17, 20, 21, AND 22**

Dear Ms. Michel:

I, Ronald R. Bohannon, NMPE #7868, of the firm Tierra West LLC, hereby request approval of the Approved Administrative Amended Site Plan for Building Permit for issuance of the Permanent Certificate of Occupancy for Building 17, 20, 21 and 22 for the project referenced above. This project is in substantial compliance as inspected on October 14, 2015, and is in accordance with the design intent of the Approved AA Site plan for Building Permit dated 1/22/13. This certification is submitted in support of the request for Permanent Certificate of Occupancy to allow tenants to occupy the completed building.

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

Enclosed, please find the information sheet and the as-built AA Site Plan for Building Permit. Therefore, we request approval of the as-built AA Site Plan for Building Permit for a Permanent Certificate of Occupancy for the referenced buildings.

If you have any questions or need additional information regarding this matter, please do not hesitate to contact me.



Ronald R. Bohannon, P.E.

Enclosures

JN: 2011043  
RRB/JH/bf

# GENERAL NOTES

- CONSTRUCTION TYPE FOR APARTMENT BUILDINGS WILL BE VA AND VB FOR REC/LEASING, FITNESS AND CARRIAGE BUILDINGS.
- PARKING LOT LIGHTING WILL BE LIMITED TO 14 FEET IN HEIGHT AND WILL BE DIRECTED AWAY FROM ANY EXISTING RESIDENTIAL UNITS AND/OR ANY PUBLIC RIGHT-OF-WAY.
- MECHANICAL UNITS SHALL BE ROOF MOUNTED AND SCREENED.

# DEVELOPMENT DATA

NET SITE AREA :  
TRACT 2 (APARTMENTS) 13.0524 ACRES (568,563 S.F.)

## ZONING:

CURRENT: SU-1 FOR R-2

## BUILDING HEIGHT:

ALLOWED: 26/38 FEET  
PROVIDED: 26/38 FEET

## DENSITY:

ALLOWED: 30 DU/ACRE  
PROPOSED: 19.46 DU/ACRE 254 DU

## SETBACKS PROVIDED:

	SIDE (SE)	REAR (NW)	SIDE (NE)	FRONT (SW)
BUILDINGS	43'-4"	10'	39'-11"	15'
PARKING	9'	19'	15'-6"	15'

## LEGEND

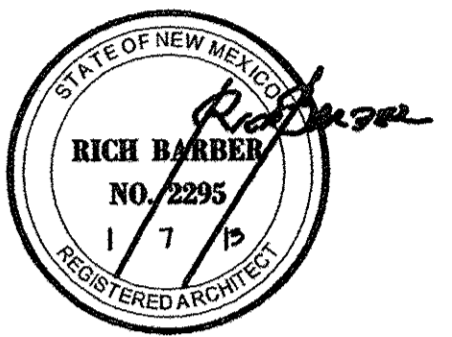
- DENOTES PROPERTY LINE
- ① BUILDING NUMBER
- TYPE 2 BUILDING TYPE
- NO. OF PARKING SPACES
- NO. OF COVERED SPACES
- DENOTES ACCESSIBLE PARKING
- \*\*\*\*\* DENOTES ACCESSIBLE ROUTE
- 3' CURB RADIUS

# TITAN 528 APARTMENTS

CIBOLA LOOP ROAD  
ALBUQUERQUE, NEW MEXICO

Office of Rich Barber  
**ORB**  
Architecture, LLC

WorldHQ@ORBArch.com



## ADMINISTRATIVE AMENDMENT FILE #12-10145 PROJECT #1004541

*minor site plan adjustments*  
*Manone* 1/22/13  
APPROVED BY DATE

## KEYNOTES ①

- 9'x16' PARKING SPACE WITH 2' OVERHANG, TYPICAL.
- 11'x18' ACCESSIBLE PARKING SPACE WITH 2' OVERHANG.
- ACCESSIBLE DRIVEWAY CROSSING MARKING.
- INDICATES LOCATION OF CARPORT PARKING STRUCTURE.
- DOUBLE TRASH ENCLOSURE SURROUNDED BY 6" CMU WALL PAINTED TO MATCH BUILDINGS.
- TRASH COMPACTOR YARD SURROUNDED BY 6" CMU WALL PAINTED TO MATCH BUILDINGS.
- ELECTRONIC ENTRY GATE TO BE EQUIPPED FOR FIRE DEPARTMENT ACCESS.
- GATE CONTROL BOX AND SITE DIRECTORY MAP. PROVIDE KEY BOX FOR FIRE DEPARTMENT ACCESS.
- PEDESTRIAN ENTRY GATE.
- POOL GATE.
- W/ FENCE.
- 4' SIDEWALK, AT BUILDING APPROACH.
- 6' SIDEWALK, TYPICAL ON SITE.
- 6' SIDEWALK, TYPICAL AT PARKING.
- BICYCLE PARKING RACK FOR 8 BICYCLES.
- SCORE CONCRETE.
- RETAINING WALL, REFER TO GRADING PLANS.
- POOL EQUIPMENT ROOM IN FITNESS BUILDING.
- ACCESSIBLE RAMP.
- EXIT ONLY GATE TO BE EQUIPPED WITH AUTOMATIC OPENER.
- 6" CMU PERIMETER WALL PAINTED TO MATCH BUILDINGS.

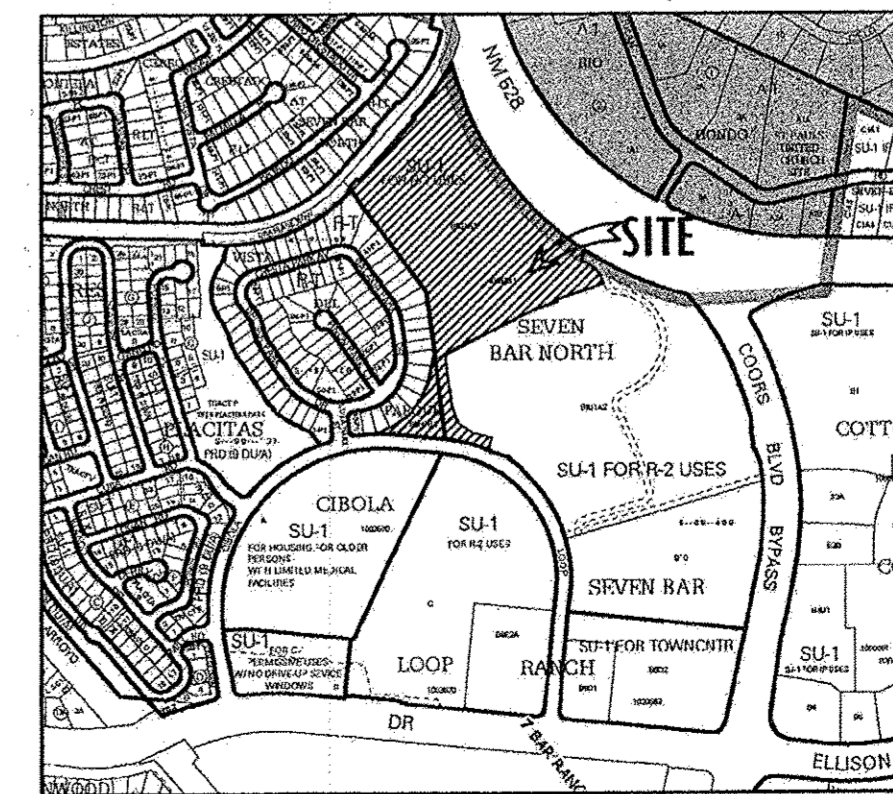
## SITE PLAN DEVELOPMENT PLAN FOR BUILDING PERMIT

SCALE: 1" = 60'-0"

MINIMUM ON-LOT USABLE OPEN SPACE REQUIRED AND PROVIDED				
	SF REQ. PER DU	# OF DU'S	TOTAL SF REQUIRED	TOTAL SF PROVIDED
1 BEDROOM	400	112	44,800	
2 BEDROOM	500	112	56,000	
3 BEDROOM	600	30	18,000	
SITE OPEN SPACE				267,041
PRIVATE BALCONIES & PATIOS				17,540
TOTAL (excess of 165,781 SF)		254	118,800	284,581

## PARKING SPACE REQUIREMENTS

	PARKING RATIO REQUIRED	PARKING SPACES
UNIT A1&A2 < 1,000 SF	112 - 1 BR / 1 BATH	1.5 / 1
UNIT B1&B2 > 1,000 SF	112 - 2 BR / 2 BATH	2 / 2
UNIT C1 > 1,000 SF	30 - 3 BR / 2 BATH	2 / 2
Total Parking Spaces Required		452
OPEN PARKING PROVIDED		219
CARPORT PARKING PROVIDED		166
GARAGE PARKING PROVIDED		88
Total Parking Provided		473
Accessible Parking Required		12
OPEN ACCESSIBLE PARKING PROVIDED		6
CARPORT ACCESSIBLE PARKING PROVIDED		4
GARAGE ACCESSIBLE PARKING PROVIDED		2
Total Accessible Parking Provided		12
Bicycle Parking Required		127
(1 SPACE FOR EVERY 2 DWELLING UNITS)		
GARAGE		88
BICYCLE RACK		40
Total Bicycle Parking Provided		128



VICINITY MAP  
NOT TO SCALE

DATE: JANUARY 7, 2013 ORB# 11-227

# A1.10

SITE PLAN DEVELOPMENT PLAN  
FOR BUILDING PERMIT