

Two Copy



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: Broadstone Cottonwood Phase 2-Building 5, 6 and 7 City Drainage #: _____

DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: Tract B-9H-1B-1 Vista Del Parque Subdivision

City Address: 10800 Cibola Loop NE. Albuquerque

Engineering Firm: Tierra West, LLC Contact: Ronald R. Bohannon

Address: 5571 Midway Park Place NE Albuquerque, NM 87109

Phone#: 505-858-3100 Fax#: 505-858-1118 E-mail: rrb@tierrawestllc.com

Owner: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Architect: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Surveyor: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Contractor: _____ Contact: _____

Address: _____

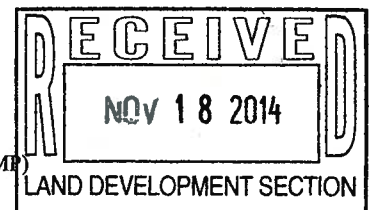
Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEER'S CERT (TCL)
- ☒ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ ENGINEER'S CERT (ESC)
- ☐ SO-19
- ☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TCL TEMP)
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ GRADING CERTIFICATION
- ☐ SO-19 APPROVAL
- ☐ ESC PERMIT APPROVAL
- ☐ ESC CERT. ACCEPTANCE
- ☐ OTHER (SPECIFY) _____



WAS A PRE-DESIGN CONFERENCE ATTENDED: _____ Yes _____ No _____ Copy Provided

DATE SUBMITTED: 11/18/2013 By: BF for R Bohannon

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development

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TIERRA WEST, LLC

November 18, 2014

Ms. Kristal Metro, P.E.
Development and Building Services
City of Albuquerque
P.O. Box 1293
Albuquerque, NM 87103

**RE: SITE PLAN FOR BUILDING PERMIT
CERTIFICATION FOR PERMANENT CERTIFICATE OF OCCUPANCY
BROADSTONE COTTONWOOD APARTMENTS, 10800 CIBOLA LOOP NW
PHASE 2, BUILDINGS 5, 6 AND 7**

Dear Ms. Metro:

I, Ronald R. Bohannon, NMPE #7868, of the firm Tierra West LLC, hereby request approval of the Approved Administrative Amended Site Plan for Building Permit for issuance of the Permanent Certificate of Occupancy for Buildings 5, 6 and 7, Phase 2, of the project referenced above. This project is in substantial compliance as inspected on November 18, 2014, and is in accordance with the design intent of the Approved AA Site plan for Building Permit dated 1/22/13. This certification is submitted in support of the request for Permanent Certificate of Occupancy to begin leasing operations. A paved all-weather road provides access throughout the site.

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

Enclosed, please find the information sheet, Phasing plan and the as-built AA Site Plan for Building Permit. Therefore, we request approval of the as-built AA Site Plan for Building Permit for a Permanent Certificate of Occupancy for the referenced phase and buildings.

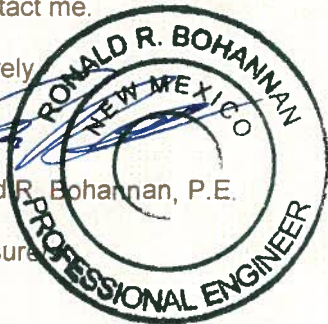
If you have any questions or need additional information regarding this matter, please do not hesitate to contact me.

Sincerely,

Ronald R. Bohannon, P.E.

Enclosure

JN: 2011043
RRB/JH/bf



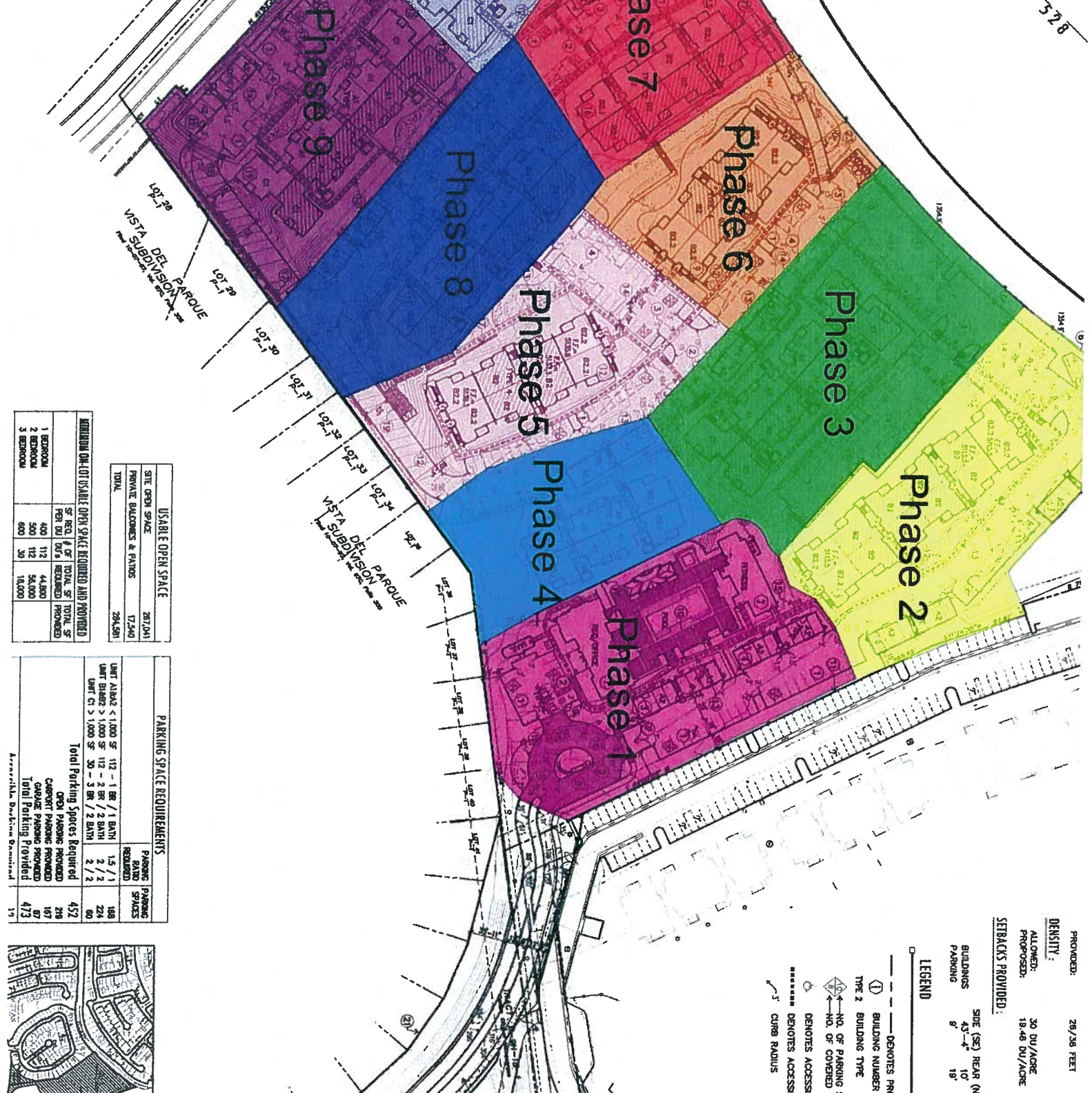
5571 Midway Park Place NE
(505) 858-3100
Albuquerque, NM 87109
Fax (505) 858-1118
1-800-245-3102
tierrawestllc.com

MEXICO STATE HIGHWAY NO. 528
 ABLE WITH DEDICATED PUBLIC R/W - NO ACCESS

CERRO CRESTADO AT SEVEN BAR NORTH
 DRAINAGE CHANNEL
 MAINWAYS

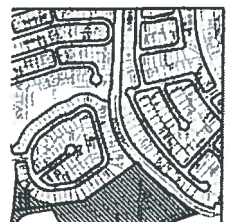
- OVERLAPPING:
 14. 6' SETBACK, TYPICAL AT PARKING
 15. 1' SETBACK, TYPICAL AT PARKING
 16. 1' SETBACK, TYPICAL AT PARKING
 17. 1' SETBACK, TYPICAL AT PARKING
 18. 1' SETBACK, TYPICAL AT PARKING
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 22. 1' SETBACK, TYPICAL AT PARKING
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 22. 1' SETBACK, TYPICAL AT PARKING
 23. 1' SETBACK, TYPICAL AT PARKING



USABLE OPEN SPACE			
SITE OPEN SPACE	287,041		
PRIVATE BALCONIES & PATIOS	17,540		
TOTAL	284,501		

PARKING SPACE REQUIREMENTS			
	PARKING SPACES	PARKING SPACES	PARKING SPACES
UNIT AREA < 1,000 SF	1 BR / 1 BATH	1.5 / 1	188
UNIT AREA > 1,000 SF	2 BR / 2 BATH	2 / 2	224
UNIT C1 > 1,000 SF	30 - 3 BR / 2 BATH	2 / 2	60
Total Parking Spaces Required			472
ON-SITE PARKING PROVIDED			216
OFF-SITE PARKING PROVIDED			107
Total Parking Provided			473



PROVIDED: 28 / 26 FEET
 DENSITY: 30 DU/ACRE
 ALLOWED: 30 DU/ACRE
 PROPOSED: 18.48 DU/ACRE
 SERVICES PROVIDED:

- LEGEND
 DENOTES PRO
 ① BUILDING NUMBER
 TYPE 2 BUILDING TYPE
 NO. OF PARKING SPACES
 NO. OF COVERED SPACES
 DENOTES ACCESS
 DENOTES ACCESS
 CURB RADIUS

MATCHLINE SEE SHEET GR-3

KEYED NOTE:

- (A) 6" EXTRUDED CURB PER DETAIL SHEET
- (B) 6" CURB AND GUTTER PER DETAIL SHEET
- (C) CONCRETE VALLEY GUTTER PER DETAIL SHEET
- (D) CONCRETE DRAIN PER DETAIL SHEET
- (E) 1' CURB CUT
- (F) 12" STAND-UP CURB/HEADER CURB
- (G) GARAGE VALLEY GUTTER PER DETAIL SHEET
- (H) CONCRETE CURB DRAIN PER DETAIL SHEET
- (I) AREA DRAIN (NDS #1200 12" SQ CATCH BASIN)
W/ SQUARE GRATE (NDS #1212)
- (J) 2' CURB CUT

DRAINAGE CERTIFICATION WITH SURVEY WORK DONE BY PROFESSIONAL SURVEYOR

BROADSTONE COTTONWOOD PHASE 2- BUILDINGS 5, 6 AND 7

I, RONALD R. BOHANNAN, NMPE 7868, OF THE FIRM, TIERRA WEST, LLC, HEREBY CERTIFY THAT THIS AREA OF THE PROJECT, HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 8/20/13. RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY RUSS HUGG, NMPLS 9750, OF THE FIRM SURVEY, LLC. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 11/12/14 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR THE PERMANENT CERTIFICATE OF OCCUPANCY.

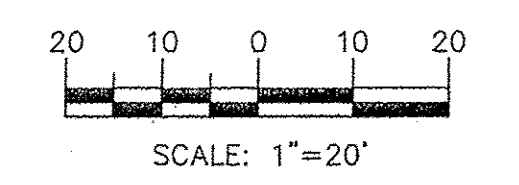
NO EXCEPTIONS TAKEN

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT.

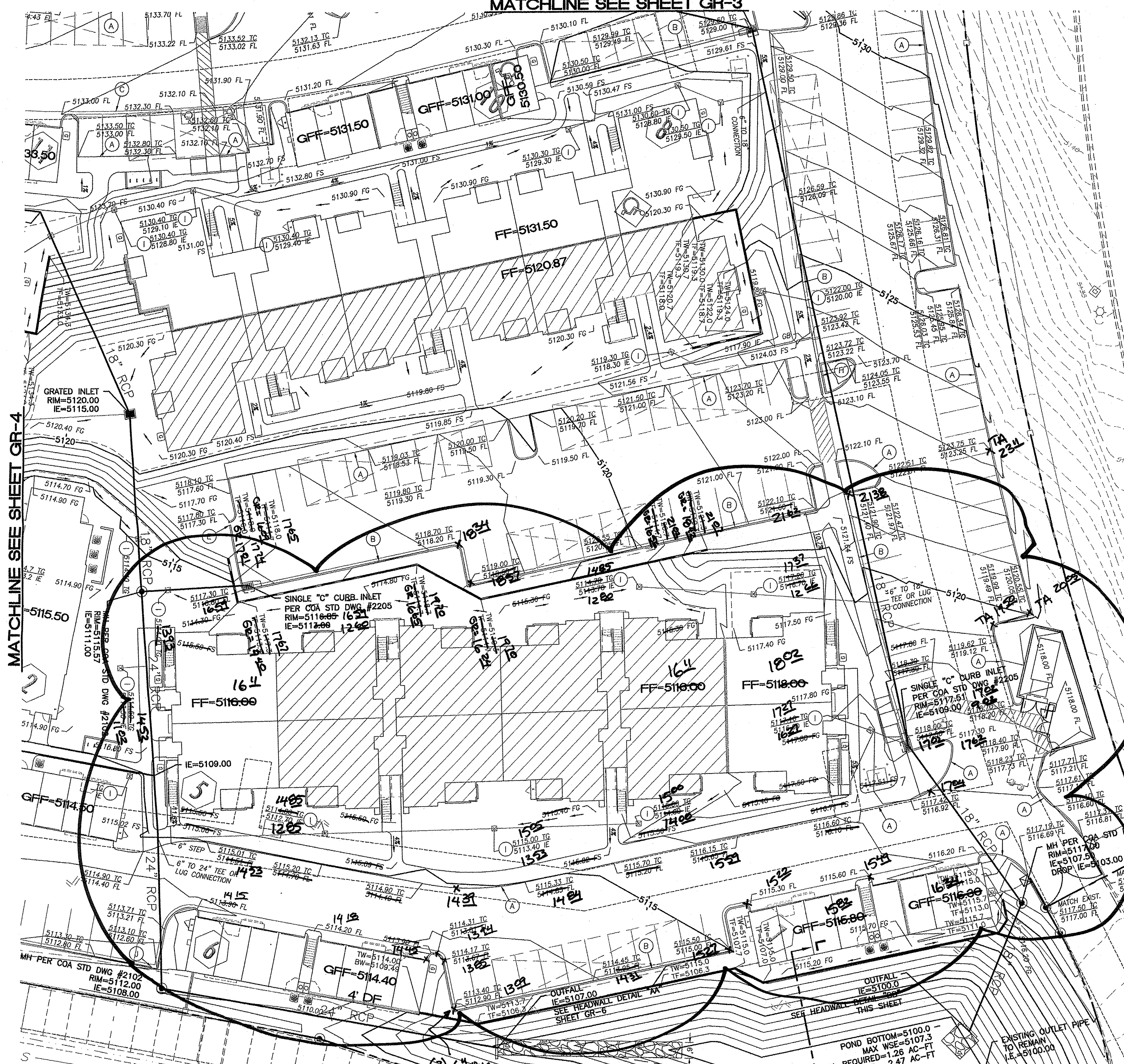
DATE: 11/12/14
SIGNATURE: RONALD R. BOHANNAN, NMPE 7868
(SEAL)

AREA CERTIFIED
PHASE 2
Building 5, 6 AND 7

GRAPHIC SCALE



<p>ENGINEER'S SEAL</p> <p>RONALD R. BOHANNAN P.E. #7868</p>	<p>BROADSTONE COTTONWOOD</p> <p>GRADING AND DRAINAGE PLAN</p> <p>TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com</p>	DRAWN BY	DY
		DATE	5/08/13
		2011043-G&D	
		SHEET #	GR-5
		JOB #	2011043



MATCHLINE SEE SHEET GR-6



City of Albuquerque

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Address: 5571 Midway Park Place NE Albuquerque, NM 87109

Phone#: 505-858-3100 Fax#: 505-858-1118 E-mail: rrb@tierrawestllc.com

Owner: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Architect: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Surveyor: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Contractor: _____ Contact: _____

Address: _____

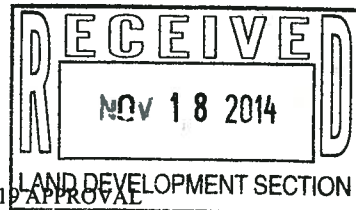
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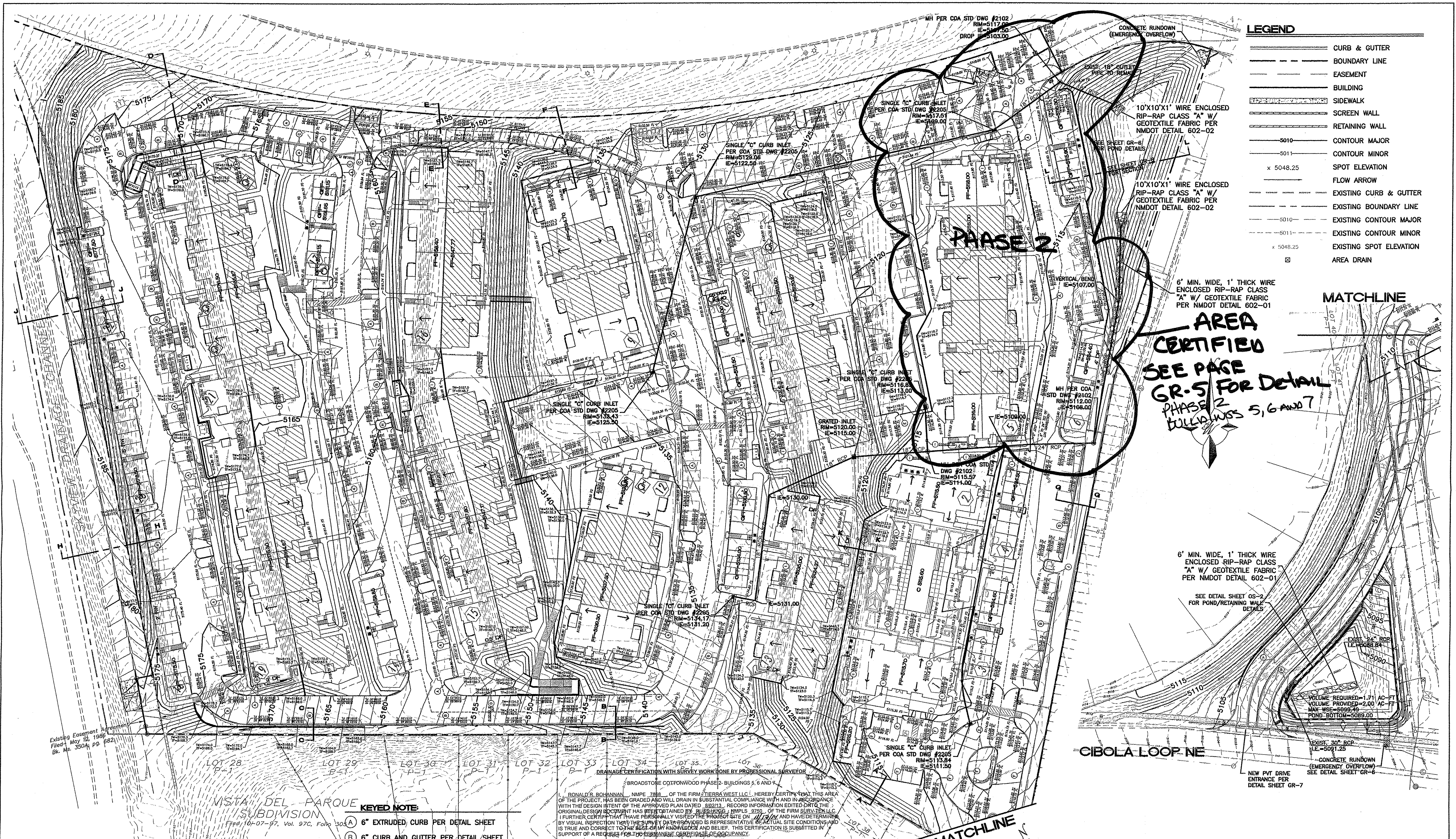


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DATE SUBMITTED: 11/18/2014 By: BF for Ron Bohannon

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 - (J) 2' CURB CUT

DRAINAGE CERTIFICATION WITH SURVEY WORK DONE BY PROFESSIONAL SURVEYOR

BROADSTONE COTTONWOOD PHASE 2 - BUILDINGS 5, 6 AND 7

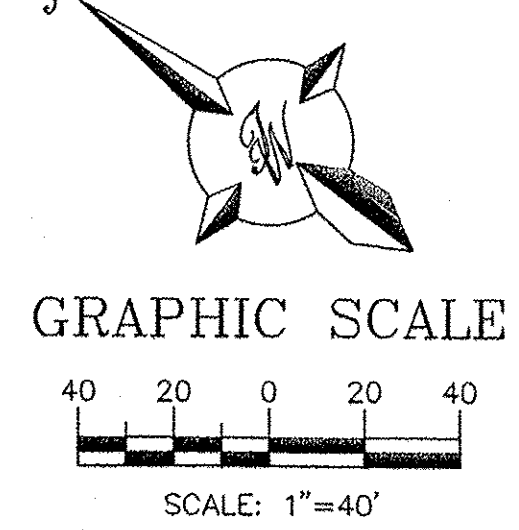
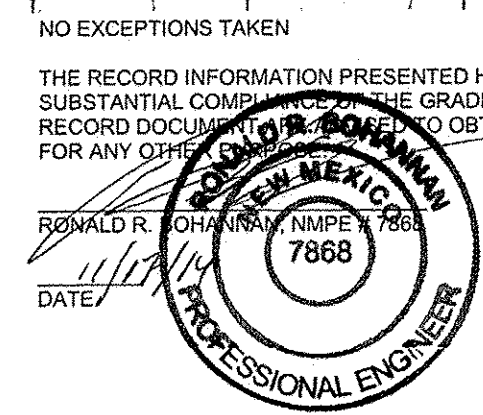
I, RONALD R. BOHANNAN, NMPE 7868, OF THE FIRM TIERRA WEST LLC, HEREBY CERTIFY THAT THIS AREA OF THE PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 8/22/13. RECORD INFORMATION EDITED DUE TO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY BUREAU OF LAND MANAGEMENT, U.S. DEPARTMENT OF THE INTERIOR, AND I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 7/11/14 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA FROM JOB IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUIREMENT FOR THE PERMANENT CERTIFICATE OF OCCUPANCY.

NO EXCEPTIONS TAKEN

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RONALD R. BOHANNAN, NMPE 7868
DATE: 8/1/13

(SEAL)



 ENGINEER'S SEAL RONALD R. BOHANNAN P.E. #7868	BROADSTONE COTTONWOOD	DRAWN BY DY
	OVERALL GRADING AND DRAINAGE PLAN	DATE 8/01/13
	TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrewestllc.com	2011043-G&D
		SHEET # GR-1 JOB # 2011043

GENERAL NOTES

1. CONSTRUCTION TYPE FOR APARTMENT BUILDINGS WILL BE VA AND VB FOR REC/LEASING, FITNESS AND CARRIAGE BUILDINGS.
2. PARKING LOT LIGHTING WILL BE LIMITED TO 14 FEET IN HEIGHT AND WILL BE DIRECTED AWAY FROM ANY EXISTING RESIDENTIAL UNITS AND/OR ANY PUBLIC RIGHT-OF-WAY.
3. MECHANICAL UNITS SHALL BE ROOF MOUNTED AND SCREENED.

DEVELOPMENT DATA

NET SITE AREA:

TRACT 2 (APARTMENTS) 13.0524 ACRES (568,563 S.F.)

ZONING:

CURRENT: SU-1 FOR R-2

BUILDING HEIGHT:

ALLOWED: 26/38 FEET
PROVIDED: 26/38 FEET

DENSITY:

ALLOWED: 30 DU/ACRE
PROPOSED: 19.46 DU/ACRE 254 DU

SETBACKS PROVIDED:

	SIDE (SE)	REAR (NW)	SIDE (NE)	FRONT (SW)
BUILDINGS	4'-4"	10'	3'-11"	15'
PARKING	9'	19'	15'-6"	15'

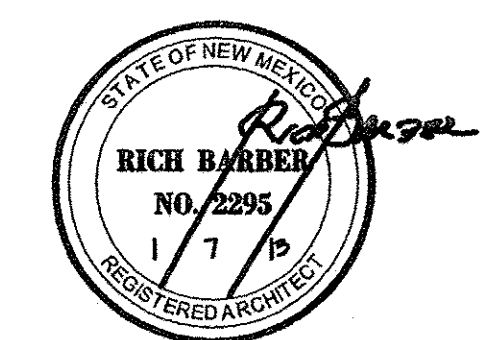
LEGEND

- DENOTES PROPERTY LINE
- ① BUILDING NUMBER
- TYPE 2 BUILDING TYPE
- ◇ NO. OF PARKING SPACES
- ◊ NO. OF COVERED SPACES
- ♿ DENOTES ACCESSIBLE PARKING
- ===== DENOTES ACCESSIBLE ROUTE
- 3' CURB RADIUS

TITAN 528 APARTMENTS

CIBOLA LOOP ROAD
ALBUQUERQUE, NEW MEXICO

Office of Rich Barber
ORB
Architecture, LLC
WorldHQ@ORBArch.com



TITAN
DEVELOPMENT
ALLIANCE
RESIDENTIAL COMPANY

ADMINISTRATIVE AMENDMENT
FILE # 12-10145 PROJECT # 1004541
minor site plan adjustments
Manone 1/22/13
APPROVED BY DATE

KEYNOTES ①

1. 9'x10' PARKING SPACE WITH 2' OVERHANG, TYPICAL.
2. 11'x18' ACCESSIBLE PARKING SPACE WITH 2' OVERHANG.
3. ACCESSIBLE DRIVEWAY CROSSING MARKING.
4. INDICATES LOCATION OF CARPORT PARKING STRUCTURE.
5. DOUBLE TRASH ENCLOSURE SURROUNDED BY 6" CMU WALL PAINTED TO MATCH BUILDINGS.
6. TRASH COMPACTOR YARD SURROUNDED BY 6" CMU WALL PAINTED TO MATCH BUILDINGS.
7. ELECTRONIC ENTRY GATE TO BE EQUIPPED FOR FIRE DEPARTMENT ACCESS.
8. GATE CONTROL BOX AND SITE DIRECTORY MAP. PROVIDE KEY BOX FOR FIRE DEPARTMENT ACCESS.
9. PEDESTRIAN ENTRY GATE.
10. POOL GATE.
11. W.I. FENCE.
12. 4' SIDEWALK, AT BUILDING APPROACH.
13. 6' SIDEWALK, TYPICAL ON SITE.
14. 6" SIDEWALK, TYPICAL AT PARKING.
15. BICYCLE PARKING RACK FOR 8 BICYCLES.
16. SCORE CONCRETE.
17. RETAINING WALL, REFER TO GRADING PLANS.
18. POOL EQUIPMENT ROOM IN FITNESS BUILDING.
19. ACCESSIBLE RAMP.
20. EXIT ONLY GATE TO BE EQUIPPED WITH AUTOMATIC OPENER.
21. 6" CMU PERIMETER WALL PAINTED TO MATCH BUILDINGS.

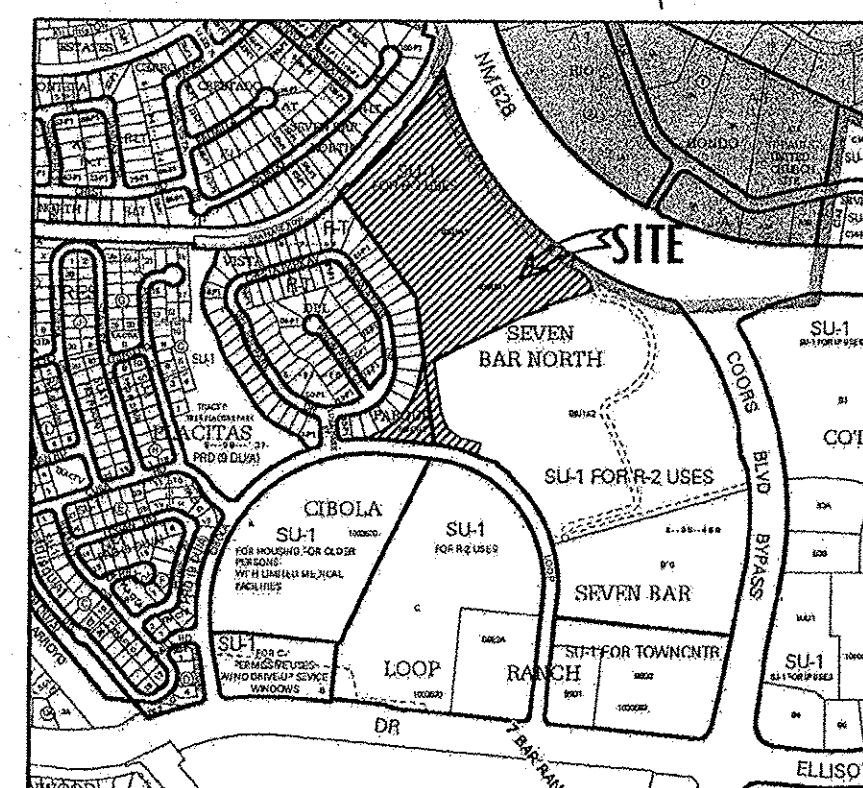
USABLE OPEN SPACE

SITE OPEN SPACE	267,041
PRIVATE BALCONIES & PATIOS	17,540
TOTAL	284,581

	SF REQ. PER DU	# OF DU'S	TOTAL SF REQUIRED	TOTAL SF PROVIDED
1 BEDROOM	400	112	44,800	
2 BEDROOM	500	112	56,000	
3 BEDROOM	600	30	18,000	
SITE OPEN SPACE				267,041
PRIVATE BALCONIES & PATIOS				17,540
TOTAL (excess of 165,781 SF)	254	118,800	284,581	

PARKING SPACE REQUIREMENTS

	PARKING RATIO REQUIRED	PARKING SPACES
UNIT A1&A2 < 1,000 SF 112 - 1 BR / 1 BATH	1.5 / 1	168
UNIT B1&B2 > 1,000 SF 112 - 2 BR / 2 BATH	2 / 2	224
UNIT C1 > 1,000 SF 30 - 3 BR / 2 BATH	2 / 2	60
Total Parking Spaces Required		452
OPEN PARKING PROVIDED		219
CARPORT PARKING PROVIDED		166
GARAGE PARKING PROVIDED		88
Total Parking Provided		473
Accessible Parking Required		12
OPEN ACCESSIBLE PARKING PROVIDED		6
CARPORT ACCESSIBLE PARKING PROVIDED		4
GARAGE ACCESSIBLE PARKING PROVIDED		2
Total Accessible Parking Provided		12
Bicycle Parking Required		127
(1 SPACE FOR EVERY 2 DWELLING UNITS)		
GARAGE		88
BICYCLE RACK		40
Total Bicycle Parking Provided		128



VICINITY MAP

NOT TO SCALE

DATE: JANUARY 7, 2013 ORB # 11-227

A1.10

SITE PLAN DEVELOPMENT PLAN
FOR BUILDING PERMIT

SITE PLAN DEVELOPMENT PLAN FOR BUILDING PERMIT

SCALE: 1" = 60'-0"

CITY OF ALBUQUERQUE



January 15, 2015

Ronald R. Bohannon, PE
Tierra West, LLC
5571 Midway Park Place NE
Albuquerque, NM 87109

**Re: Broadstone Cottonwood – Buildings 8 & 10.
10800 Cibola Loop NE
Request Permanent C.O. - Accepted
Engineer's Stamp dated: 8-2-13 (A13D022)
Certification dated: 1-14-15**

Dear Mr. Bohannon,

Based on the Certification received 1/15/2014, the above mentioned buildings are acceptable for release of Certificate of Occupancy by Hydrology.

If you have any questions, you can contact me at 924-3695 or Rudy Rael at 924-3977.

PO Box 1293

Albuquerque

New Mexico 87103

Sincerely,

Curtis Cherne, P.E.
Principal Engineer, Planning Dept.
Development and Review Services

www.cabq.gov C: RR/CC
email