

CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services**

July 23, 2015

Joel Hernandez
Tierra West, LLC
5571 Midway Park Place NE
Albuquerque, NM 87109

**Re: Broadstone Cottonwood Building 14
10800 Cibola Loop, NW
Certificate of Occupancy – Transportation Development
Administrative Amendment dated 1-22-13 (A13-D022)
Certification dated 7-16-15**

Dear Mr. Hernandez,

PO Box 1293

Based upon the information provided in your submittal received 7-20-15, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

Albuquerque

If you have any questions, please contact me at (505)924-3630.

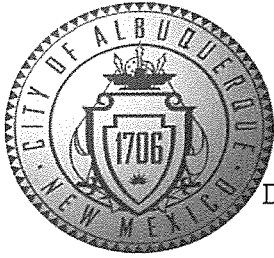
New Mexico 87103

Sincerely,

www.cabq.gov

Racquel M. Michel, P.E.
Senior Engineer, Planning Dept.
Development Review Services

c: File
CO Clerk



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: Broadstone Cottonwood Building 14 City Drainage #: _____
DRB#: _____ EPC#: _____ Work Order#: _____
Legal Description: Tract B-9H-1B-1 Vista Del Parque Subdivision
City Address: 10800 Cibola Loop NE, Albuquerque

Engineering Firm: Tierra West, LLC Contact: Ronald R. Bohannon
Address: 5571 Midway Park Place NE Albuquerque, NM 87109
Phone#: 505-858-3100 Fax#: 505-858-1118 E-mail: rrb@tierrawestllc.com

Owner: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

Architect: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

Surveyor: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

Contractor: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEER'S CERT (TCL)
- ☒ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ ENGINEER'S CERT (ESC)
- ☐ SO-19
- ☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TCL TEMP)
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ GRADING CERTIFICATION
- ☐ SO-19 APPROVAL
- ☐ ESC PERMIT APPROVAL
- ☐ ESC CERT. ACCEPTANCE
- ☐ OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED: _____ Yes _____ No _____ Copy Provided

DATE SUBMITTED: 7/16/15 By: Joel Hernandez

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development

5571 Midway Park Place NE Albuquerque, NM 87109
(505) 858-3100 Fax (505) 858-1118 1-800-245-3102
tierrawestllc.com

TIERRA WEST, LLC

July 16, 2015

Ms. Racquel Michel, P.E.
Development and Building Services
City of Albuquerque
P.O. Box 1293
Albuquerque, NM 87103

**RE: SITE PLAN FOR BUILDING PERMIT
CERTIFICATION FOR PERMENANT CERTIFICATE OF OCCUPANCY
BROADSTONE COTTONWOOD APARTMENTS, 10800 CIBOLA LOOP NW
BUILDING 14**

Dear Ms. Michel:

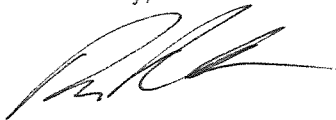
I, Ronald R. Bohannon, NMPE #7868, of the firm Tierra West LLC, hereby request approval of the Approved Administrative Amended Site Plan for Building Permit for issuance of the Permanent Certificate of Occupancy for Building 14 for the project referenced above. This project is in substantial compliance as inspected on July 16, 2015, and is in accordance with the design intent of the Approved AA Site plan for Building Permit dated 1/22/13. This certification is submitted in support of the request for Permanent Certificate of Occupancy to allow tenants to occupy the completed building.

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

Enclosed, please find the information sheet and the as-built AA Site Plan for Building Permit. Therefore, we request approval of the as-built AA Site Plan for Building Permit for a Permanent Certificate of Occupancy for the referenced buildings.

If you have any questions or need additional information regarding this matter, please do not hesitate to contact me.

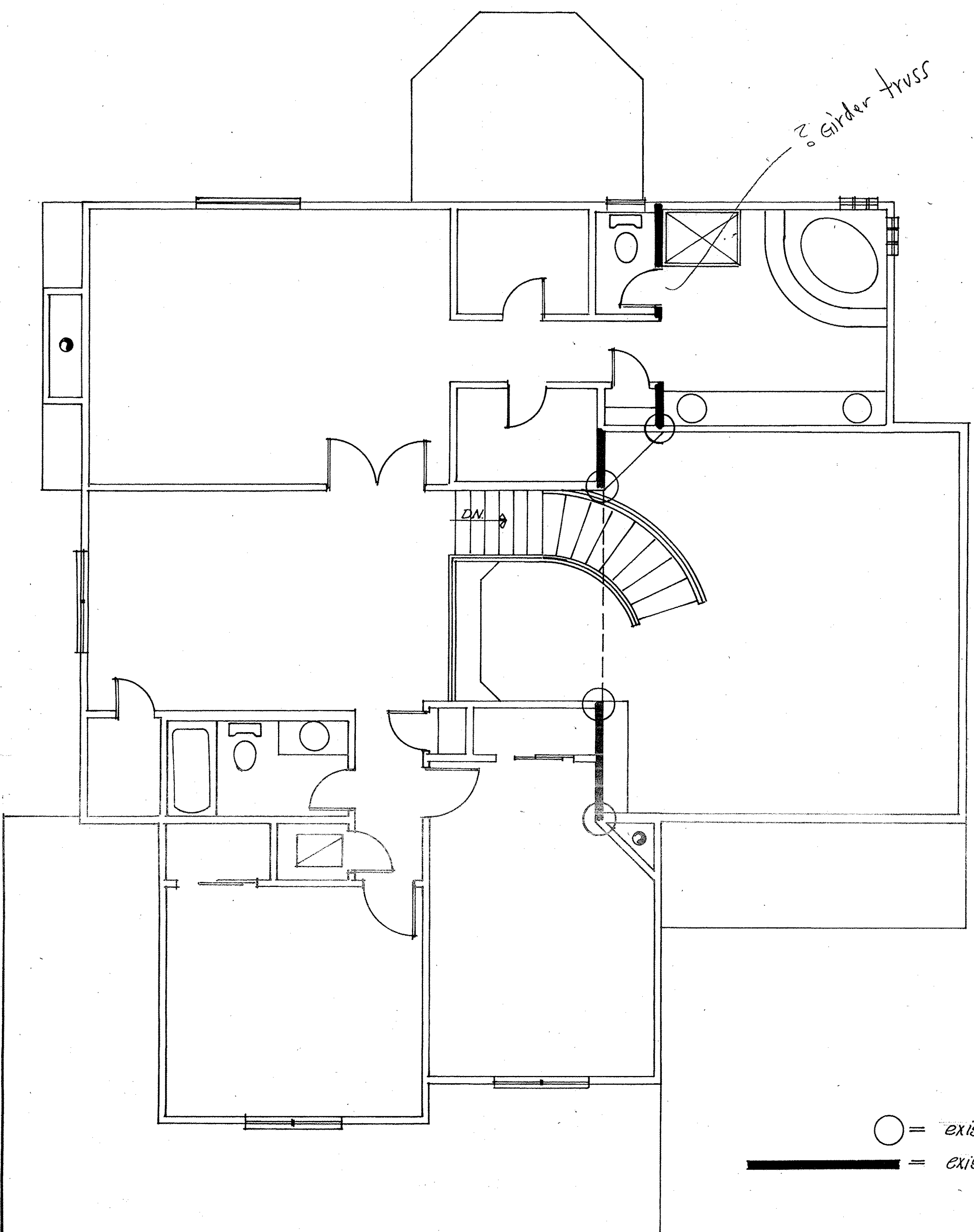
Sincerely,



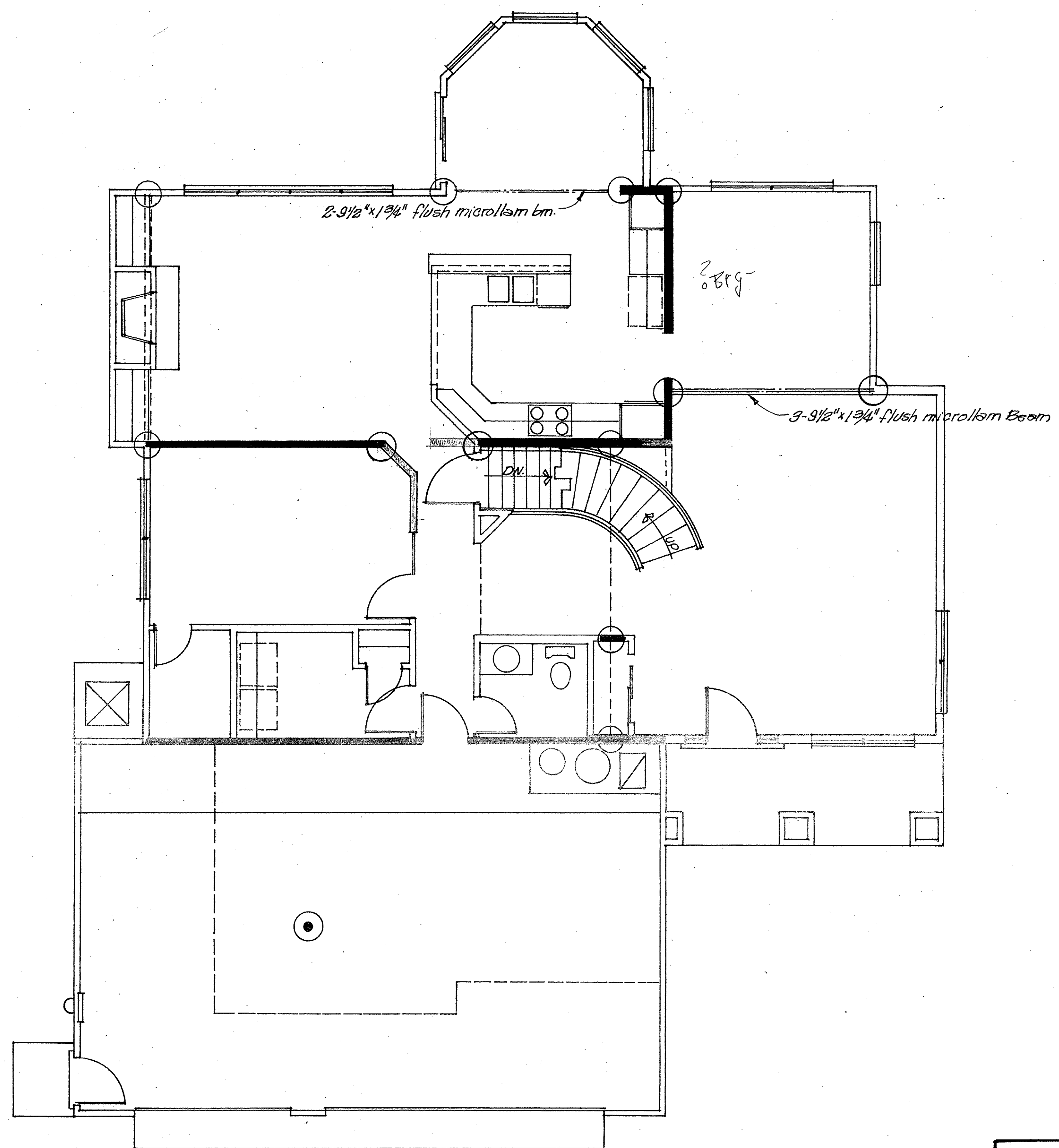
Ronald R. Bohannon, P.E.

Enclosure/s

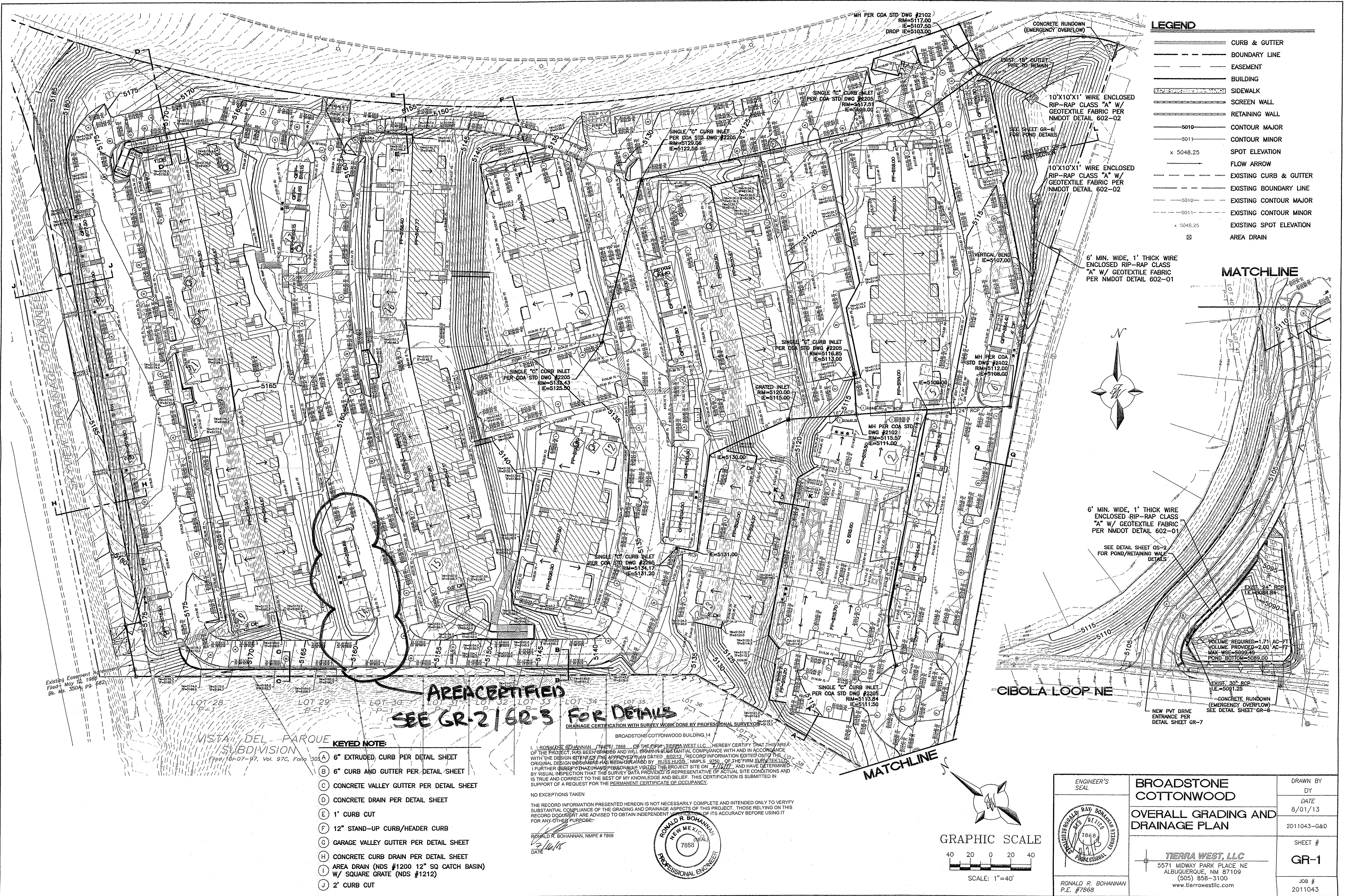
JN: 2011043
RRB/JH/bf



UPPER LEVEL FLOOR PLAN



MAIN LEVEL FLOOR PLAN



LEGEND

- CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- BUILDING
- SIDEWALK
- SCREEN WALL
- RETAINING WALL
- 5010 CONTOUR MAJOR
- 5011 CONTOUR MINOR
- x 5048.25 SPOT ELEVATION
- FLOW ARROW
- EXISTING CURB & GUTTER
- EXISTING BOUNDARY LINE
- 5010 EXISTING CONTOUR MAJOR
- 5011 EXISTING CONTOUR MINOR
- x 5048.25 EXISTING SPOT ELEVATION
- AREA DRAIN

MATCHLINE

AREACERTIFIED
SEE GR-2/60-3 FOR DETAILS
DRAINAGE CERTIFICATION WITH SURVEY WORK DONE BY PROFESSIONAL SURVEYOR

KEYED NOTE:

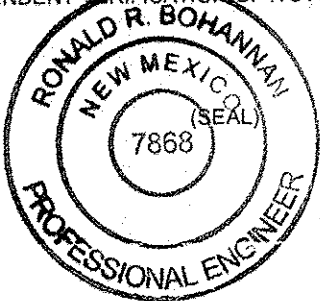
- (A) 6" EXTRUDED CURB PER DETAIL SHEET
- (B) 6" CURB AND GUTTER PER DETAIL SHEET
- (C) CONCRETE VALLEY GUTTER PER DETAIL SHEET
- (D) CONCRETE DRAIN PER DETAIL SHEET
- (E) 1' CURB CUT
- (F) 12" STAND-UP CURB/HEADER CURB
- (G) GARAGE VALLEY GUTTER PER DETAIL SHEET
- (H) CONCRETE CURB DRAIN PER DETAIL SHEET
- (I) AREA DRAIN (NDS #1200 12" SQ CATCH BASIN) W/ SQUARE GRATE (NDS #1212)
- (J) 2' CURB CUT

I, RONALD R. BOHANNAN, (NMEPE #7868), OF THE FIRM TERRA WEST, LLC, HEREBY CERTIFY THAT THIS AREA OF THE PROJECT HAS BEEN GRADDED AND WILL COMPLY WITH THE DESIGN AND CONSTRUCTION REQUIREMENTS OF THE PROJECT. I HAVE VISITED THE PROJECT SITE ON 7/16/18 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR THE PERMANENT CERTIFICATE OF OCCUPANCY.

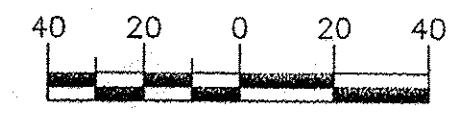
NO EXCEPTIONS TAKEN

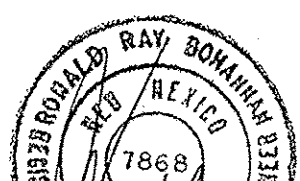
THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

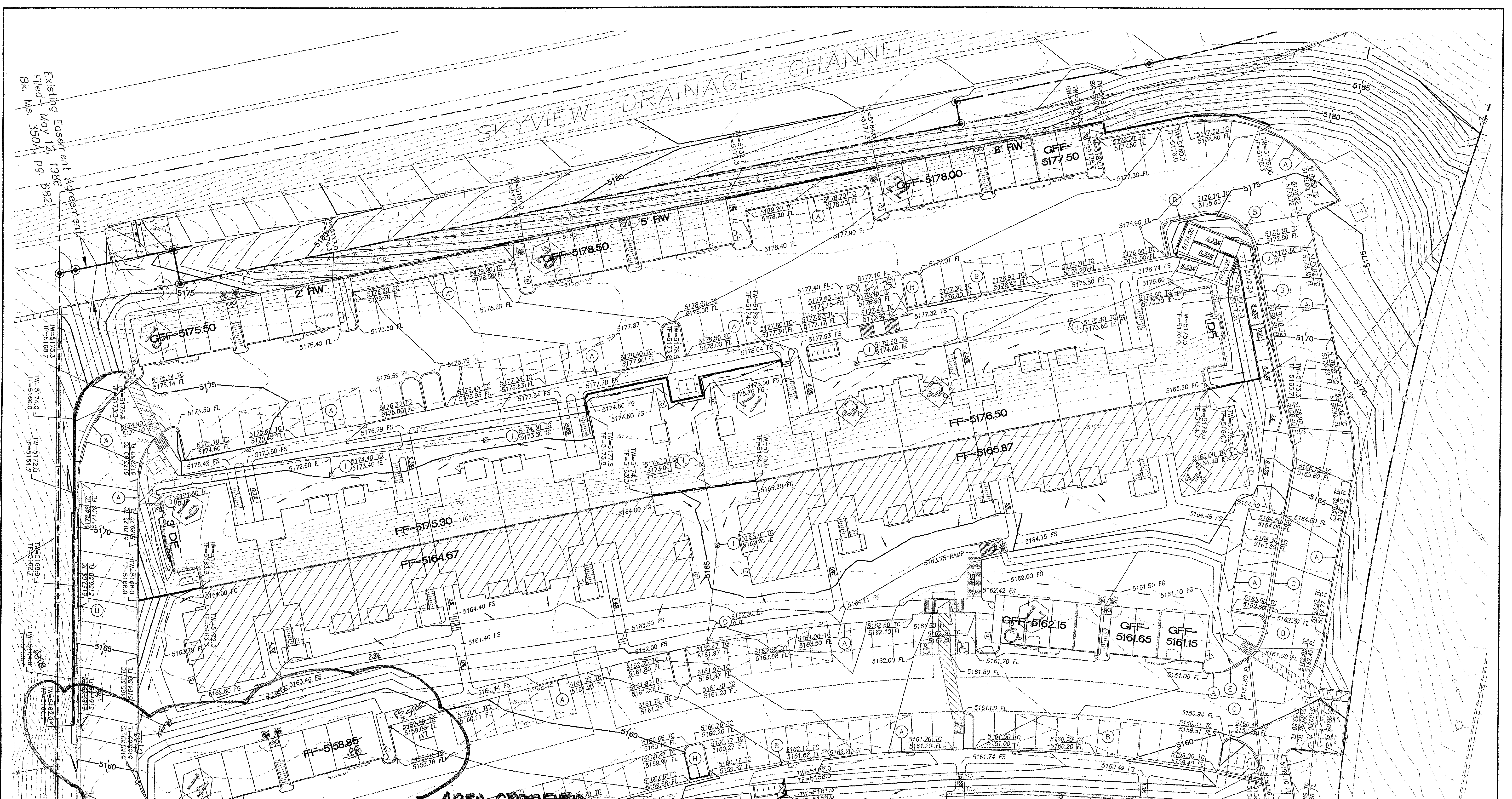
RONALD R. BOHANNAN, NMEPE #7868
DATE 7/16/18



GRAPHIC SCALE



ENGINEER'S SEAL  RONALD R. BOHANNAN P.E. #7868	BROADSTONE COTTONWOOD OVERALL GRADING AND DRAINAGE PLAN  <i>TIERRO WEST, LLC</i> 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrowestllc.com		DRAWN BY DY
			DATE 8/01/13
			2011043—G&D
			SHEET # GR-1
		JOB # 2011043	



Existing Easement Agreement
Filed May 12, 1986
Bk. Ms. 3504 pg. 682

- KEYED NOTE:**
- (A) 6" EXTRUDED CURB PER DETAIL SHEET
 - (B) 6" CURB AND GUTTER PER DETAIL SHEET
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W/ SQUARE GRATE (NDS #1212)
 - (J) 2' CURB CUT

AREA CERTIFIED SEE GR-3

MATCHLINE SEE SHEET GR-3

DRAINAGE CERTIFICATION WITH SURVEY WORK DONE BY PROFESSIONAL SURVEYOR

BROADSTONE COTTONWOOD BUILDING 14

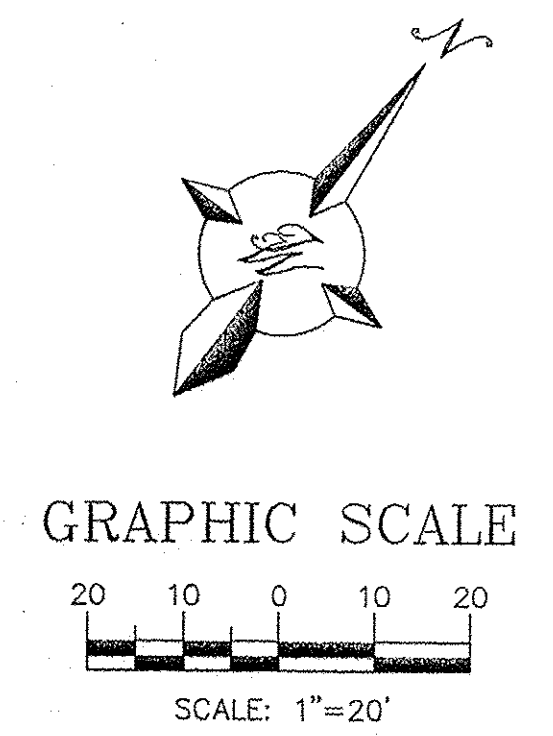
I, RONALD R. BOHANNAN, NMPE 7868, OF THE FIRM TERRA WEST LLC, HEREBY CERTIFY THAT THIS AREA OF THE PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 8/20/13. RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY RUSS HUGG, NMPLS 9780, OF THE FIRM SURV-TEK LLC. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 7/18/13 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR THE PERMANENT CERTIFICATE OF OCCUPANCY.

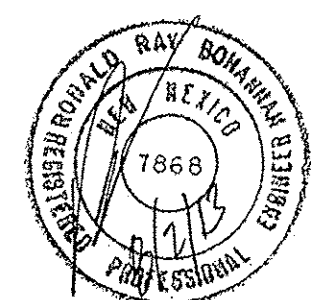
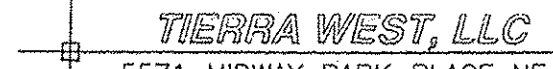
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RONALD R. BOHANNAN, NMPE # 7868
DATE 7/18/13

NEW MEXICO
SEAL 7868
PROFESSIONAL ENGINEER



ENGINEER'S SEAL  RONALD R. BOHANNAN P.E. #7868	BROADSTONE COTTONWOOD GRADING AND DRAINAGE PLAN TERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrowestllc.com	DRAWN BY DY
		DATE 7/18/13
		2011043-G&D
		SHEET # GR-2
		JOB # 2011043

AREA CERTIFIED
SEE GR-2

MATCHLINE SEE SHEET GR-2



KEYED NOTE:

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MATCHLINE SEE SHEET GR-4

DRAINAGE CERTIFICATION WITH SURVEY WORK DONE BY PROFESSIONAL SURVEYOR

BROADSTONE COTTONWOOD BUILDING 14

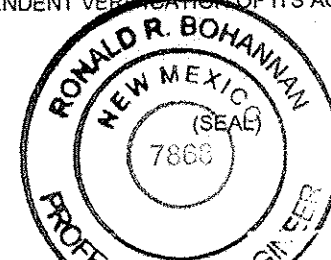
I, RONALD R. BOHANNAN, NMPE #7868, OF THE FIRM TIERRA WEST, LLC, HEREBY CERTIFY THAT THIS AREA OF THE PROJECT, HAS BEEN GRADED AND WILL DRAW IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 8/2/13. RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY RUSS HUGG, NMPLS #9760, OF THE FIRM SURV-TEK, LLC. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 7/16/14, AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR THE PERMANENT CERTIFICATE OF OCCUPANCY.

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DATE 7/16/14



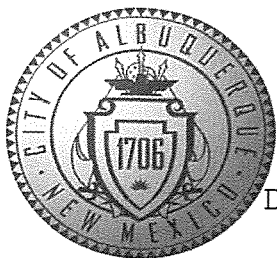
MATCHLINE SEE SHEET GR-5

GRAPHIC SCALE



SCALE: 1"=20'

ENGINEER'S SEAL	BROADSTONE COTTONWOOD	DRAWN BY DY
	GRADING AND DRAINAGE PLAN	DATE 7/18/13
RONALD R. BOHANNAN P.E. #7868	TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com	SHEET # GR-3 JOB # 2011043-G&D



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

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DRB#: _____ EPC#: _____ Work Order#: _____

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Address: 5571 Midway Park Place NE Albuquerque, NM 87109

Phone#: 505-858-3100 Fax#: 505-858-1118 E-mail: rrb@tierrawestllc.com

Owner: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Architect: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Surveyor: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Contractor: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
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DATE SUBMITTED: 7/16/15 By: Joel Hernandez

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GENERAL NOTES

1. CONSTRUCTION TYPE FOR APARTMENT BUILDINGS WILL BE VA AND VB FOR REC/LEASING, FITNESS AND CARRIAGE BUILDINGS.
2. PARKING LOT LIGHTING WILL BE LIMITED TO 14 FEET IN HEIGHT AND WILL BE DIRECTED AWAY FROM ANY EXISTING RESIDENTIAL UNITS AND/OR ANY PUBLIC RIGHT-OF-WAY.
3. MECHANICAL UNITS SHALL BE ROOF MOUNTED AND SCREENED.

DEVELOPMENT DATA

NET SITE AREA:

TRACT 2 (APARTMENTS) 13.0524 ACRES (568,563 S.F.)

ZONING:

CURRENT: SU-1 FOR R-2

BUILDING HEIGHT:

ALLOWED: 26/38 FEET
PROVIDED: 26/38 FEET

DENSITY:

ALLOWED: 30 DU/ACRE
PROPOSED: 19.46 DU/ACRE 254 DU

SETBACKS PROVIDED:

	SIDE (SE)	REAR (NW)	SIDE (NE)	FRONT (SW)
BUILDINGS	43'-4"	10'	39'-11"	15'
PARKING	9'	19'	15'-6"	15'

LEGEND

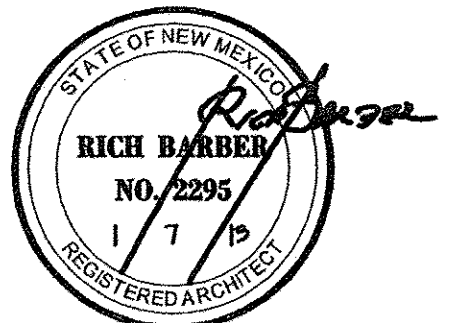
- DENOTES PROPERTY LINE
- ① BUILDING NUMBER
- TYPE 2 BUILDING TYPE
- ◇ NO. OF PARKING SPACES
NO. OF COVERED SPACES
- ♿ DENOTES ACCESSIBLE PARKING
- ***** DENOTES ACCESSIBLE ROUTE
- ⌒ CURB RADIUS

TITAN 528 APARTMENTS

CIBOLA LOOP ROAD
ALBUQUERQUE, NEW MEXICO

Office of Rich Barber
ORB
Architecture, LLC

WorldHQ@ORBArch.com



TITAN
DEVELOPMENT
ALLIANCE
RESIDENTIAL COMPANY

ADMINISTRATIVE AMENDMENT
FILE # 13-10145 PROJECT # 1004541
minor site plan adjustments
APPROVED BY *Chimone* DATE 11/22/13

KEYNOTES ①

1. 9'x16' PARKING SPACE WITH 2' OVERHANG, TYPICAL.
2. 11'x18' ACCESSIBLE PARKING SPACE WITH 2' OVERHANG.
3. ACCESSIBLE DRIVEWAY CROSSING MARKING. INDICATES LOCATION OF CARPORT PARKING STRUCTURE.
4. DOUBLE TRASH ENCLOSURE SURROUNDED BY 6" CMU WALL PAINTED TO MATCH BUILDINGS. TRASH COMPACTOR YARD SURROUNDED BY 6" CMU WALL PAINTED TO MATCH BUILDINGS. ELECTRONIC ENTRY GATE TO BE EQUIPPED FOR FIRE DEPARTMENT ACCESS.
5. GATE CONTROL BOX AND SITE DIRECTORY MAP. PROVIDE KEY BOX FOR FIRE DEPARTMENT ACCESS.
6. PEDESTRIAN ENTRY GATE.
7. POOL GATE.
8. W/ FENCE.
9. 4' SIDEWALK, AT BUILDING APPROACH.
10. 6' SIDEWALK, TYPICAL ON SITE.
11. 6' SIDEWALK, TYPICAL AT PARKING.
12. BICYCLE PARKING RACK FOR 8 BICYCLES. SCORE CONCRETE.
13. RETAINING WALL, REFER TO GRADING PLANS.
14. POOL EQUIPMENT ROOM IN FITNESS BUILDING. ACCESSIBLE RAMP.
15. EXIT ONLY GATE TO BE EQUIPPED WITH AUTOMATIC OPENER.
16. 6" CMU PERIMETER WALL PAINTED TO MATCH BUILDINGS.

USABLE OPEN SPACE

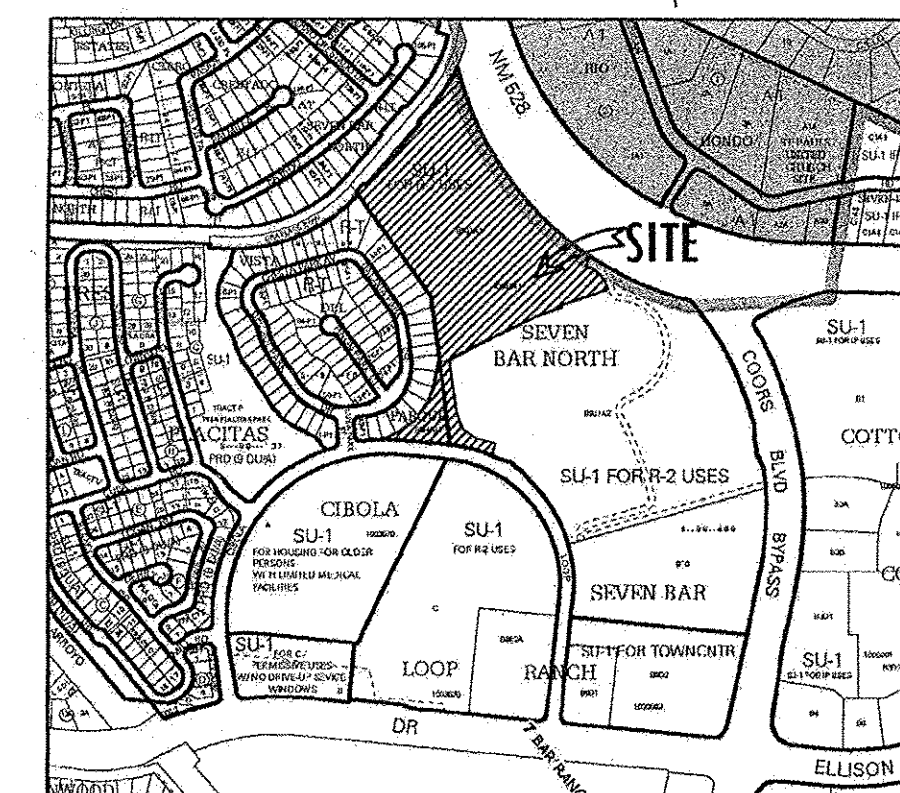
SITE OPEN SPACE	267,041
PRIVATE BALCONIES & PATIOS	17,540
TOTAL	284,581

MINIMUM ON-LOT USABLE OPEN SPACE REQUIRED AND PROVIDED

	SF REQ. PER DU	# OF DU'S	TOTAL SF REQUIRED	TOTAL SF PROVIDED
1 BEDROOM	400	112	44,800	
2 BEDROOM	500	112	56,000	
3 BEDROOM	600	30	18,000	
SITE OPEN SPACE				267,041
PRIVATE BALCONIES & PATIOS				17,540
TOTAL (excess of 165,781 SF)	254	118,800	284,581	

PARKING SPACE REQUIREMENTS

	PARKING RATIO REQUIRED	PARKING SPACES
UNIT A1&A2 < 1,000 SF	112 - 1 BR / 1 BATH	1.5 / 1
UNIT B1&B2 > 1,000 SF	112 - 2 BR / 2 BATH	2 / 2
UNIT C1 > 1,000 SF	30 - 3 BR / 2 BATH	2 / 2
Total Parking Spaces Required		452
OPEN PARKING PROVIDED		219
CARPORT PARKING PROVIDED		166
GARAGE PARKING PROVIDED		88
Total Parking Provided		473
Accessible Parking Required		12
OPEN ACCESSIBLE PARKING PROVIDED		6
CARPORT ACCESSIBLE PARKING PROVIDED		4
GARAGE ACCESSIBLE PARKING PROVIDED		2
Total Accessible Parking Provided		12
Bicycle Parking Required		127
(1 SPACE FOR EVERY 2 DWELLING UNITS)		
GARAGE BICYCLE RACK		88
Total Bicycle Parking Provided		128



VICINITY MAP
NOT TO SCALE

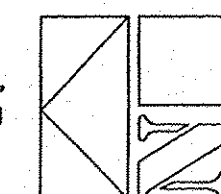
DATE: JANUARY 7, 2013 ORB # 11-227

A1.10

SITE PLAN DEVELOPMENT PLAN
FOR BUILDING PERMIT

SITE PLAN DEVELOPMENT PLAN FOR BUILDING PERMIT

SCALE: 1" = 60'-0"



CITY OF ALBUQUERQUE



July 23, 2015

Ronald R. Bohannon, PE
Tierra West, LLC
5571 Midway Park Place NE
Albuquerque, NM 87109

**Re: Broadstone Cottonwood Building 14
10800 Cibola Loop NW
Request Permanent C.O. - Accepted
Engineer's Stamp dated: 8-2-13 (A13D022)
Certification dated: 7-16-15**

Dear Mr. Bohannon,

Based on the Certification received 7/20/2015, the above referenced site is acceptable for release of Certificate of Occupancy by Hydrology.

If you have any questions, you can contact me at 924-3999 or Rudy Rael at 924-3977.

PO Box 1293

Albuquerque

New Mexico 87103

Sincerely,

Shahab Biazar, P.E.
City Engineer, Albuquerque
Planning Department

www.cabq.gov

C: RR/SB
email
CO Clerk

GENERAL NOTES

1. CONSTRUCTION TYPE FOR APARTMENT BUILDINGS WILL BE VA AND VB FOR REC/LEASING, FITNESS AND CARRIAGE BUILDINGS.
2. PARKING LOT LIGHTING WILL BE LIMITED TO 14 FEET IN HEIGHT AND WILL BE DIRECTED AWAY FROM ANY EXISTING RESIDENTIAL UNITS AND/OR ANY PUBLIC RIGHT-OF-WAY.
3. MECHANICAL UNITS SHALL BE ROOF MOUNTED AND SCREENED.

DEVELOPMENT DATA

NET SITE AREA:

TRACT 2 (APARTMENTS) 13.0524 ACRES (568,563 S.F.)

ZONING:

CURRENT: SU-1 FOR R-2

BUILDING HEIGHT:

ALLOWED: 26/38 FEET
PROVIDED: 26/38 FEET

DENSITY:

ALLOWED: 30 DU/ACRE
PROPOSED: 19.46 DU/ACRE 254 DU

SETBACKS PROVIDED:

	SIDE (SE)	REAR (NW)	SIDE (NE)	FRONT (SW)
BUILDINGS	43'-4"	10'	39'-11"	15'
PARKING	9'	19'	15'-6"	15'

LEGEND

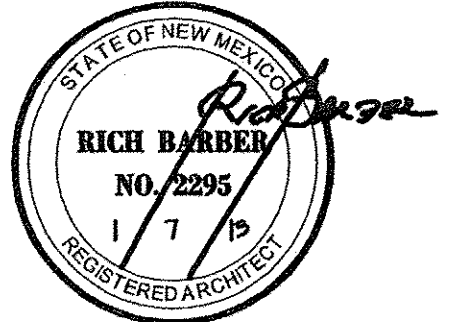
- DENOTES PROPERTY LINE
- ① BUILDING NUMBER
- TYPE 2 BUILDING TYPE
- ◇ NO. OF PARKING SPACES
NO. OF COVERED SPACES
- ♿ DENOTES ACCESSIBLE PARKING
- ***** DENOTES ACCESSIBLE ROUTE
- ⌒ CURB RADIUS

TITAN 528 APARTMENTS

CIBOLA LOOP ROAD
ALBUQUERQUE, NEW MEXICO

Office of Rich Barber
ORB
Architecture, LLC

WorldHQ@ORBArch.com



TITAN
DEVELOPMENT
ALLIANCE
RESIDENTIAL COMPANY

ADMINISTRATIVE AMENDMENT
FILE # 13-10145 PROJECT # 1004541
minor site plan adjustments
Chimone 1/22/13
APPROVED BY DATE

KEYNOTES ①

1. 9'x16' PARKING SPACE WITH 2' OVERHANG, TYPICAL.
2. 11'x18' ACCESSIBLE PARKING SPACE WITH 2' OVERHANG.
3. ACCESSIBLE DRIVEWAY CROSSING MARKING. INDICATES LOCATION OF CARPORT PARKING STRUCTURE.
4. DOUBLE TRASH ENCLOSURE SURROUNDED BY 6" CMU WALL PAINTED TO MATCH BUILDINGS. TRASH COMPACTOR YARD SURROUNDED BY 6" CMU WALL PAINTED TO MATCH BUILDINGS. ELECTRONIC ENTRY GATE TO BE EQUIPPED FOR FIRE DEPARTMENT ACCESS.
5. GATE CONTROL BOX AND SITE DIRECTORY MAP. PROVIDE KEY BOX FOR FIRE DEPARTMENT ACCESS.
6. PEDESTRIAN ENTRY GATE.
7. POOL GATE.
8. W/ FENCE.
9. 4' SIDEWALK, AT BUILDING APPROACH.
10. 6' SIDEWALK, TYPICAL ON SITE.
11. 6' SIDEWALK, TYPICAL AT PARKING.
12. BICYCLE PARKING RACK FOR 8 BICYCLES. SCORE CONCRETE.
13. RETAINING WALL, REFER TO GRADING PLANS.
14. POOL EQUIPMENT ROOM IN FITNESS BUILDING. ACCESSIBLE RAMP.
15. EXIT ONLY GATE TO BE EQUIPPED WITH AUTOMATIC OPENER.
16. 6" CMU PERIMETER WALL PAINTED TO MATCH BUILDINGS.

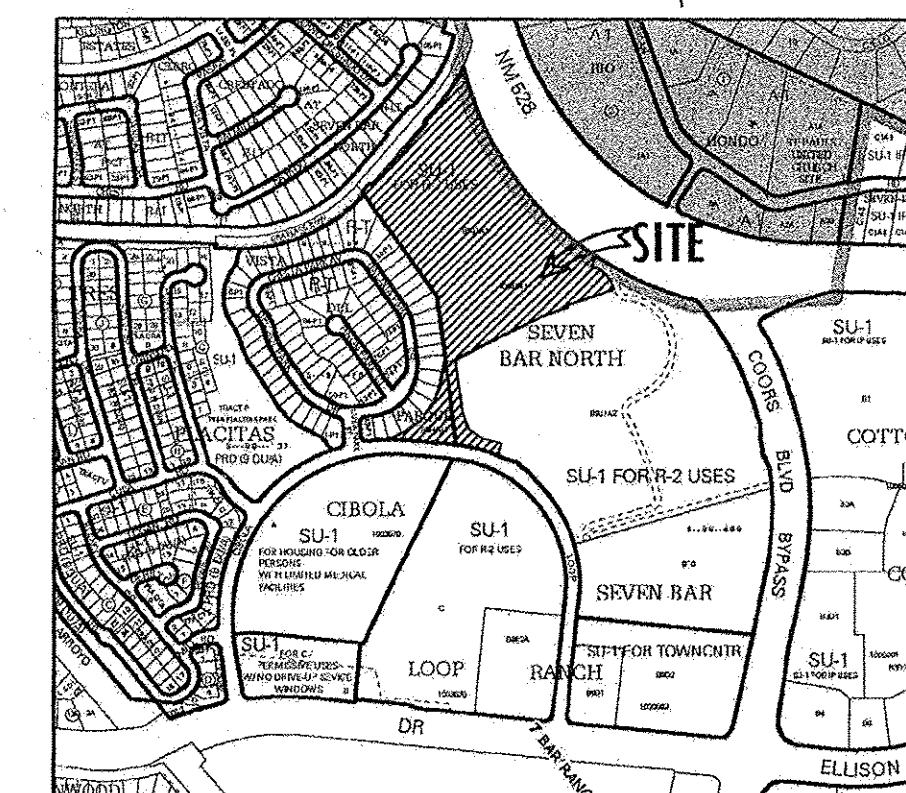
USABLE OPEN SPACE

SITE OPEN SPACE	267,041
PRIVATE BALCONIES & PATIOS	17,540
TOTAL	284,581

	SF REQ. PER DU	# OF DU'S	TOTAL SF REQUIRED	TOTAL SF PROVIDED
1 BEDROOM	400	112	44,800	
2 BEDROOM	500	112	56,000	
3 BEDROOM	600	30	18,000	
SITE OPEN SPACE				267,041
PRIVATE BALCONIES & PATIOS				17,540
TOTAL (excess of 165,781 SF)	254	118,800	284,581	

PARKING SPACE REQUIREMENTS

	PARKING RATIO REQUIRED	PARKING SPACES
UNIT A1&A2 < 1,000 SF	112 - 1 BR / 1 BATH	1.5 / 1 168
UNIT B1&B2 > 1,000 SF	112 - 2 BR / 2 BATH	2 / 2 224
UNIT C1 > 1,000 SF	30 - 3 BR / 2 BATH	2 / 2 60
Total Parking Spaces Required		452
OPEN PARKING PROVIDED		219
CARPORT PARKING PROVIDED		166
GARAGE PARKING PROVIDED		88
Total Parking Provided		473
Accessible Parking Required		12
OPEN ACCESSIBLE PARKING PROVIDED		6
CARPORT ACCESSIBLE PARKING PROVIDED		4
GARAGE ACCESSIBLE PARKING PROVIDED		2
Total Accessible Parking Provided		12
Bicycle Parking Required		127
(1 SPACE FOR EVERY 2 DWELLING UNITS)		
GARAGE		88
BICYCLE RACK		40
Total Bicycle Parking Provided		128



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