



**Planning Department  
Transportation Development Services**

February 24, 2015

Ronald Bohannon, P.E.  
Tierra West  
5571 Midway Park Place NE  
Albuquerque, NM 87109

**Re: Broadstone Cottonwood Bldgs 11 & 13, 10800 Cibola Loop NE  
Certificate of Occupancy – Transportation Development  
Administrative Amendment Dated 1/22/13 (A13-D022)  
Certification dated 02-23-15**

Dear Mr. Bohannon,

Based upon the information provided in your submittal received 02-24-15, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

If you have any questions, please contact me at (505)924-3991.

Sincerely,

Kristal D. Metro, P.E.  
Traffic Engineer, Planning Dept.  
Development Review Services

c: File  
CO Clerk

PO Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

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# TIERRA WEST, LLC

February 23, 2015

Ms. Kristal Metro, P.E.  
Development and Building Services  
City of Albuquerque  
P.O. Box 1293  
Albuquerque, NM 87103

**RE: SITE PLAN FOR BUILDING PERMIT  
CERTIFICATION FOR PERMANENT CERTIFICATE OF OCCUPANCY  
BROADSTONE COTTONWOOD APARTMENTS, 10800 CIBOLA LOOP NW  
BUILDINGS 11 AND 13**

Dear Ms. Metro:

I, Ronald R. Bohannon, NMPE #7868, of the firm Tierra West LLC, hereby request approval of the Approved Administrative Amended Site Plan for Building Permit for issuance of the Permanent Certificate of Occupancy for Buildings 11 and 13, of the project referenced above. This project is in substantial compliance as inspected on February 23, 2015, and is in accordance with the design intent of the Approved AA Site plan for Building Permit dated 1/22/13. This certification is submitted in support of the request for Permanent Certificate of Occupancy to begin leasing operations. Occupied buildings are separated from the construction areas by security fencing.

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

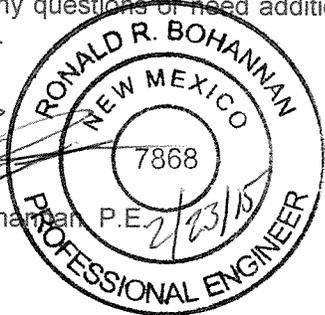
Enclosed, please find the information sheet, the as-built AA Site Plan for Building Permit. Therefore, we request approval of the as-built AA Site Plan for Building Permit for a Permanent Certificate of Occupancy for the referenced phase and buildings.

If you have any questions or need additional information regarding this matter, please do not hesitate to contact me.

Sincerely,



Ronald R. Bohannon, P.E.



Enclosure/s

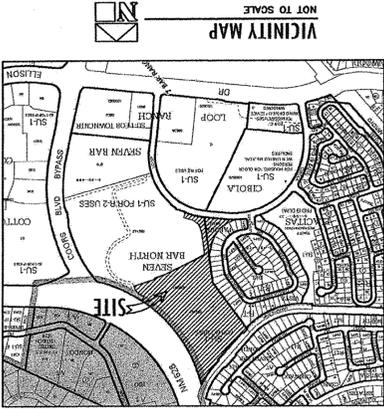
JN: 2011043  
RRB/JH/bf

5571 Midway Park Place NE Albuquerque, NM 87109  
(505) 858-3100 Fax (505) 858-1118 1-800-245-3102  
tierrawestllc.com

**SITE PLAN DEVELOPMENT PLAN FOR BUILDING PERMIT**

DATE: JANUARY 7, 2013 ORR # 11-277

**A1.10**



**PARKING SPACE REQUIREMENTS**

UNIT A1&A2 < 1,000 SF 112 - 1 BR / 1 BATH	1.5 / 1	168
UNIT B1&B2 > 1,000 SF 112 - 2 BR / 2 BATH	2 / 2	224
UNIT C1 > 1,000 SF 30 - 3 BR / 2 BATH	2 / 2	80
<b>Total Parking Spaces Required</b>		<b>472</b>
OPEN PARKING PROVIDED		219
CARPORT PARKING PROVIDED		166
GARAGE PARKING PROVIDED		88
<b>Total Parking Provided</b>		<b>473</b>
Accessible Parking Required		12
OPEN ACCESSIBLE PARKING PROVIDED		6
CARPORT ACCESSIBLE PARKING PROVIDED		4
GARAGE ACCESSIBLE PARKING PROVIDED		2
<b>Total Accessible Parking Provided</b>		<b>12</b>
Bicycle Parking Required		127
(1 SPACE FOR EVERY 2 DWELLING UNITS)		
GARAGE BICYCLE PARKING PROVIDED		88
BIKE RACK BICYCLE PARKING PROVIDED		40
<b>Total Bicycle Parking Provided</b>		<b>128</b>

**MINIMUM ON-LOT USABLE OPEN SPACE REQUIRED AND PROVIDED**

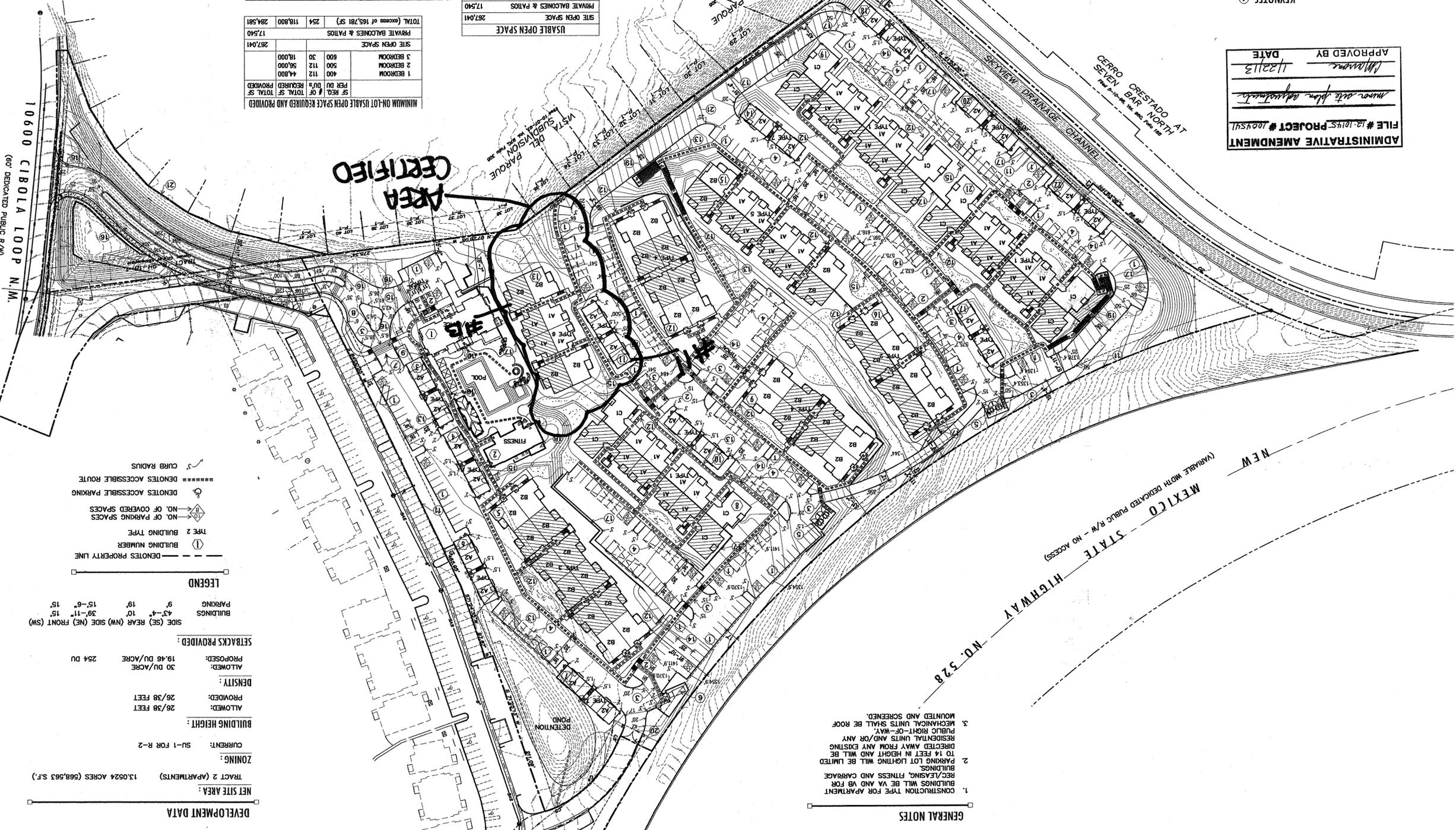
1 BEDROOM	400	112	44,800
2 BEDROOM	500	112	56,000
3 BEDROOM	600	30	18,000
<b>SITE OPEN SPACE</b>			<b>267,041</b>
PRIVATE BALCONIES & PATIOS			17,540
<b>TOTAL (EXCESS OF 165,781 SF)</b>		254	118,800

**USABLE OPEN SPACE**

SITE OPEN SPACE	267,041
PRIVATE BALCONIES & PATIOS	17,540
<b>TOTAL</b>	<b>284,581</b>

**SITE PLAN DEVELOPMENT PLAN FOR BUILDING PERMIT**

SCALE: 1" = 60'-0"



**ADMINISTRATIVE AMENDMENT**

FILE # 18-10145-PROJECT # 1004541

Minor site plan adjustments

APPROVED BY: *[Signature]*

DATE: 1/22/13

- KEYNOTES**
- 9'x18' PARKING SPACE WITH 2' OVERHANG, TYPICAL.
  - 11'x18' ACCESSIBLE PARKING SPACE WITH 2' OVERHANG, TYPICAL.
  - ACCESSIBLE DRIVEWAY CROSSING PARKING.
  - INDICATES LOCATION OF CARPORT PARKING.
  - DOUBLE TRASH ENCLOSURE SURROUNDED BY TRASH COMPACTOR VARD SURROUNDED BY AUTOMATIC OPENER.
  - EXIT ONLY GATE TO BE EQUIPPED WITH STRUCTURE.
  7. ELECTRONIC ENTRY GATE TO BE EQUIPPED FOR FIRE DEPARTMENT ACCESS.
  - GATE CONTROL BOX AND SITE DIRECTORY MAP, PROVIDED KEY BOX FOR FIRE DEPARTMENT ACCESS.
  - PEDESTRIAN ENTRY GATE.
  - POOL GATE.
  - W/ FENCE.
  - 4 SIDEWALK, AT BUILDING APPROACH.
  - 6 SIDEWALK, TYPICAL ON SITE.

- GENERAL NOTES**
- CONSTRUCTION TYPE FOR APARTMENT BUILDINGS WILL BE VA AND V8 FOR RECLASING, FITNESS AND GARAGE.
  - PARKING LOT LIGHTING WILL BE LIMITED TO 14 FEET IN HEIGHT AND WILL BE DIRECTED AWAY FROM ANY EXISTING RESIDENTIAL UNITS AND/OR ANY PUBLIC RIGHT-OF-WAY.
  - MECHANICAL UNITS SHALL BE ROOF MOUNTED AND SCREENED.

- LEGEND**
- DENOTES PROPERTY LINE
  - ① BUILDING NUMBER
  - ② BUILDING TYPE
  - ◇ NO. OF PARKING SPACES
  - ◇ NO. OF COVERED SPACES
  - DENOTES ACCESSIBLE ROUTE
  - DENOTES ACCESSIBLE ROUTE
  - CURB RADIUS

**DEVELOPMENT DATA**

NET SITE AREA: 13.0524 ACRES (568,563 S.F.)

ZONING: TRACT 2 (APARTMENTS)

CURRENT: SU-1 FOR R-2

**BUILDING HEIGHT:**

ALLOWED: 26/38 FEET

PROVIDED: 26/38 FEET

**DENSITY:**

ALLOWED: 30 DU/ACRE

PROPOSED: 19.46 DU/ACRE

254 DU

**TRACKS PROVIDED:**

SIDE (SE) REAR (NW) SIDE (NE) FRONT (SW)

9'-4" 10' 39'-11" 15'

9' 18' 15'-6" 15'



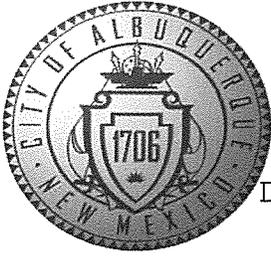
WorldHQ@ORBarth.com



**TITAN 528 APARTMENTS**

CIBOLA LOOP ROAD

ALBUQUERQUE, NEW MEXICO



# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: Broadstone Cottonwood Buildings 11 and 13 City Drainage #: \_\_\_\_\_  
 DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ Work Order#: \_\_\_\_\_  
 Legal Description: Tract B-9H-1B-1 Vista Del Parque Subdivision  
 City Address: 10800 Cibola Loop NE, Albuquerque

**Engineering Firm:** Tierra West, LLC Contact: Ronald R. Bohannan  
 Address: 5571 Midway Park Place NE Albuquerque, NM 87109  
 Phone#: 505-858-3100 Fax#: 505-858-1118 E-mail: rrb@tierrawestllc.com

**Owner:** \_\_\_\_\_ Contact: \_\_\_\_\_  
 Address: \_\_\_\_\_  
 Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

**Architect:** \_\_\_\_\_ Contact: \_\_\_\_\_  
 Address: \_\_\_\_\_  
 Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

**Surveyor:** \_\_\_\_\_ Contact: \_\_\_\_\_  
 Address: \_\_\_\_\_  
 Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

**Contractor:** \_\_\_\_\_ Contact: \_\_\_\_\_  
 Address: \_\_\_\_\_  
 Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

### TYPE OF SUBMITTAL:

- DRAINAGE REPORT
- DRAINAGE PLAN 1st SUBMITTAL
- DRAINAGE PLAN RESUBMITTAL
- CONCEPTUAL G & D PLAN
- GRADING PLAN
- EROSION & SEDIMENT CONTROL PLAN (ESC)
- ENGINEER'S CERT (HYDROLOGY)
- CLOMR/LOMR
- TRAFFIC CIRCULATION LAYOUT (TCL)
- ENGINEER'S CERT (TCL)
- ENGINEER'S CERT (DRB SITE PLAN)
- ENGINEER'S CERT (ESC)
- SO-19
- OTHER (SPECIFY)

### CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- SIA/FINANCIAL GUARANTEE RELEASE
- PRELIMINARY PLAT APPROVAL
- S. DEV. PLAN FOR SUB'D APPROVAL
- S. DEV. FOR BLDG. PERMIT APPROVAL
- SECTOR PLAN APPROVAL
- FINAL PLAT APPROVAL
- CERTIFICATE OF OCCUPANCY (PERM)
- CERTIFICATE OF OCCUPANCY (TCL TEMP)
- FOUNDATION PERMIT APPROVAL
- BUILDING PERMIT APPROVAL
- GRADING PERMIT APPROVAL
- PAVING PERMIT APPROVAL
- WORK ORDER APPROVAL
- GRADING CERTIFICATION
- SO-19 APPROVAL
- ESC PERMIT APPROVAL
- ESC CERT. ACCEPTANCE
- OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:  Yes  No  Copy Provided

DATE SUBMITTED: 02/23/15 By: Joel Hernandez

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development