

CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services**

February 24, 2015

Ronald Bohannon, P.E.
Tierra West
5571 Midway Park Place NE
Albuquerque, NM 87109

**Re: Broadstone Cottonwood Bldgs 11 & 13, 10800 Cibola Loop NE
Certificate of Occupancy – Transportation Development
Administrative Amendment Dated 1/22/13 (A13-D022)
Certification dated 02-23-15**

Dear Mr. Bohannon,

Based upon the information provided in your submittal received 02-24-15, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

If you have any questions, please contact me at (505)924-3991.

Sincerely,

Kristal D. Metro, P.E.
Traffic Engineer, Planning Dept.
Development Review Services

c: File
CO Clerk

5571 Midway Park Place NE Albuquerque, NM 87109
(505) 858-3100 Fax (505) 858-1118 1-800-245-3102
tierrawestllc.com

TIERRA WEST, LLC

February 23, 2015

Ms. Kristal Metro, P.E.
Development and Building Services
City of Albuquerque
P.O. Box 1293
Albuquerque, NM 87103

**RE: SITE PLAN FOR BUILDING PERMIT
CERTIFICATION FOR PERMANENT CERTIFICATE OF OCCUPANCY
BROADSTONE COTTONWOOD APARTMENTS, 10800 CIBOLA LOOP NW
BUILDINGS 11 AND 13**

Dear Ms. Metro:

I, Ronald R. Bohannon, NMPE #7868, of the firm Tierra West LLC, hereby request approval of the Approved Administrative Amended Site Plan for Building Permit for issuance of the Permanent Certificate of Occupancy for Buildings 11 and 13, of the project referenced above. This project is in substantial compliance as inspected on February 23, 2015, and is in accordance with the design intent of the Approved AA Site plan for Building Permit dated 1/22/13. This certification is submitted in support of the request for Permanent Certificate of Occupancy to begin leasing operations. Occupied buildings are separated from the construction areas by security fencing.

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

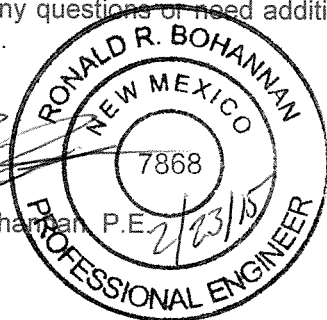
Enclosed, please find the information sheet, the as-built AA Site Plan for Building Permit. Therefore, we request approval of the as-built AA Site Plan for Building Permit for a Permanent Certificate of Occupancy for the referenced phase and buildings.

If you have any questions or need additional information regarding this matter, please do not hesitate to contact me.

Sincerely,

Ronald R. Bohannon, P.E.

Enclosure/s



JN: 2011043
RRB/JH/bf

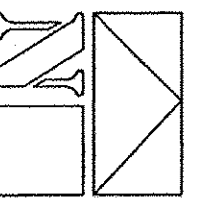
ADMINISTRATIVE AMENDMENT
FILE # 18-10145-PROJECT # 1004541
minor site plan adjustments
DATE 1/22/13
APPROVED BY [Signature]

- KEYNOTES ①
- 9'x16' PARKING SPACE WITH 2' OVERHANG, TYPICAL
 - 11'x16' ACCESSIBLE PARKING SPACE WITH 2' TYPICAL
 - OVERHANG INDICATES LOCATION OF CARPORT PARKING
 - TRASH COMPACTOR VARD SURROUNDED BY DOUBLE TRASH ENCLOSURE SURROUNDED BY STRUCTURE
 - EXIT ONLY GATE TO BE EQUIPPED WITH AUTOMATIC OPERATOR
 - 6' GUY WALL PAINTED TO MATCH BUILDINGS
 - 6' GUY WALL PAINTED TO MATCH BUILDINGS
 - ELECTRONIC ENTRY GATE TO BE EQUIPPED FOR FIRE DEPARTMENT ACCESS
 - GATE CONTROL BOX AND SITE DIRECTORY MAP, PROVIDE KEY BOX FOR FIRE DEPARTMENT ACCESS
 - PEDESTRIAN ENTRY GATE
 - POOL GATE
 - W/ FENCE
 - 6' SIDEWALK, AT BUILDING APPROACH
 - 6' SIDEWALK, TYPICAL ON SITE

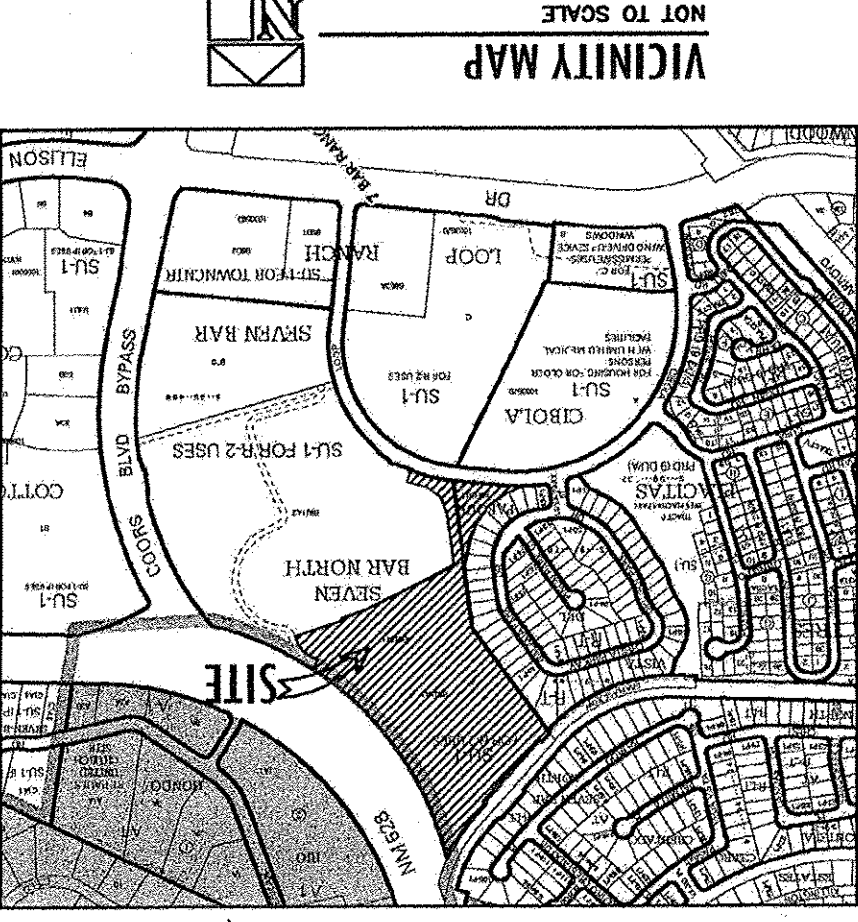
- GENERAL NOTES
- CONSTRUCTION TYPE FOR APARTMENT BUILDINGS WILL BE VA AND V8 FOR BUILDINGS, FITNESS AND GARAGE
 - PARKING LOT LIGHTING WILL BE LIMITED TO 14 FEET IN HEIGHT AND WILL BE DIRECTED AWAY FROM ANY EXISTING RESIDENTIAL UNITS AND/OR ANY PUBLIC RIGHT-OF-WAY
 - MECHANICAL UNITS SHALL BE ROOF MOUNTED AND SCREENED.

SITE PLAN DEVELOPMENT PLAN FOR BUILDING PERMIT

SCALE: 1" = 60'-0"



VICINITY MAP



SITE PLAN DEVELOPMENT PLAN FOR BUILDING PERMIT

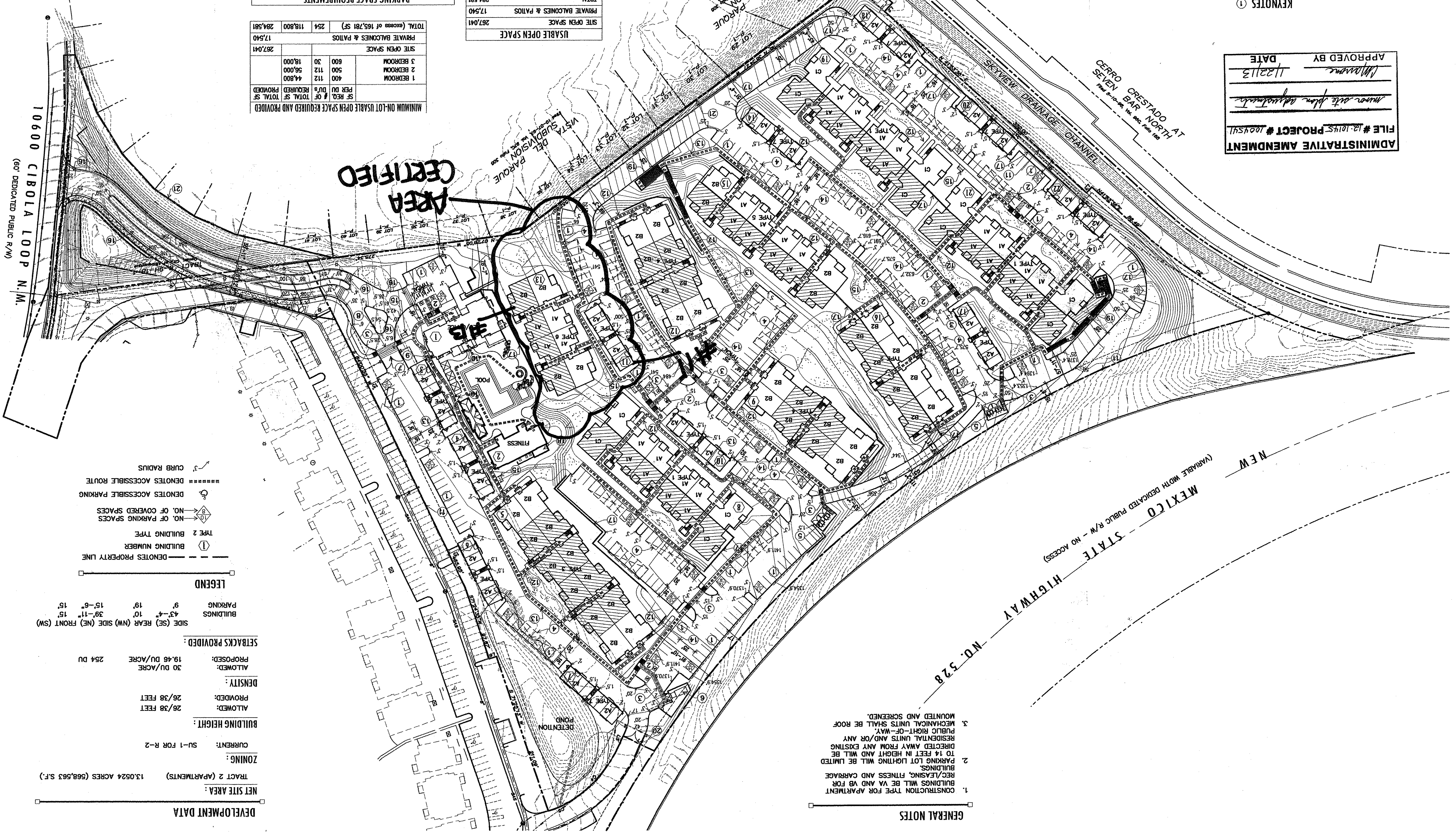
DATE: JANUARY 7, 2013 ORR # 11-227

A1.10

PARKING SPACE REQUIREMENTS			
UNIT A1/A2 < 1,000 SF	112 - 1 BR / 1 BATH	1.5 / 1	168
UNIT B1/B2 > 1,000 SF	112 - 2 BR / 2 BATH	2 / 2	224
UNIT C1 > 1,000 SF	30 - 3 BR / 2 BATH	2 / 2	60
Total Parking Spaces Required			
452			
Total Parking Provided			
473			
Accessible Parking Required			
12			
Open Accessible Parking Provided			
6			
Garport Accessible Parking Provided			
4			
Total Accessible Parking Provided			
12			
Bicycle Parking Required			
127			
Bicycle Parking Provided			
128			
Total Bicycle Parking Provided			
128			

USABLE OPEN SPACE	
SITE OPEN SPACE	267,041
PRIVATE BALCONIES & PATIOS	17,540
TOTAL	284,581

MINIMUM ON-LOT USABLE OPEN SPACE REQUIRED AND PROVIDED			
1 BEDROOM	400	112	44,800
2 BEDROOM	500	112	56,000
3 BEDROOM	600	30	18,000
TOTAL (maximum of 165,781 SF)			
254			
TOTAL (maximum of 165,781 SF)			
254			



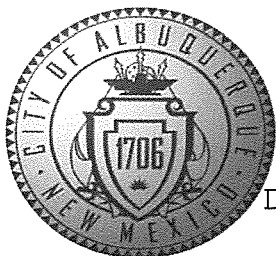
- LEGEND
- 1 DENOTES PROPERTY LINE
 - 2 BUILDING TYPE
 - 3 NO. OF PARKING SPACES
 - 4 NO. OF COVERED SPACES
 - 5 DENOTES ACCESSIBLE ROUTE
 - 6 CURB RADIUS

DEVELOPMENT DATA			
NET SITE AREA:			
TRACT 2 (APARTMENTS) 13.0524 ACRES (568,563 S.F.)			
ZONING:			
CURRENT: SU-1 FOR R-2			
BUILDING HEIGHT:			
ALLOWED:	26/38 FEET		
PROVIDED:	26/38 FEET		
DENSITY:			
ALLOWED:	30 DU/ACRE		
PROPOSED:	19.46 DU/ACRE		
STREETS PROVIDED:			
ALLOWED:	254 DU		
PROPOSED:	19.46 DU/ACRE		
SIDE (SE) REAR (NW) SIDE (NE) FRONT (SW)			
9'-4"	10'	39'-11"	15'
9'-4"	10'	39'-11"	15'
9'-4"	10'	39'-11"	15'



WorldHQ@ORBarb.com

Office of Rich Barber
Architecture, PLLC
CIBOLA LOOP ROAD
ALBUQUERQUE, NEW MEXICO
TITAN 528 APARTMENTS



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: Broadstone Cottonwood Buildings 11 and 13 City Drainage #: _____

DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: Tract B-9H-1B-1 Vista Del Parque Subdivision

City Address: 10800 Cibola Loop NE, Albuquerque

Engineering Firm: Tierra West, LLC Contact: Ronald R. Bohannon

Address: 5571 Midway Park Place NE Albuquerque, NM 87109

Phone#: 505-858-3100 Fax#: 505-858-1118 E-mail: rrb@tierrawestllc.com

Owner: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Architect: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Surveyor: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Contractor: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEER'S CERT (TCL)
- ☒ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ ENGINEER'S CERT (ESC)
- ☐ SO-19
- ☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TCL TEMP)
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ GRADING CERTIFICATION
- ☐ SO-19 APPROVAL
- ☐ ESC PERMIT APPROVAL
- ☐ ESC CERT. ACCEPTANCE
- ☐ OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED: _____ Yes _____ No _____ Copy Provided

DATE SUBMITTED: 02/23/15 By: Joel Hernandez

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development