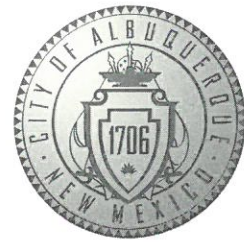


# CITY OF ALBUQUERQUE



December 26, 2018

Casa Design Studio  
Freddie P. Montoya R.A.  
222 Camino De La Tierra  
Corrales, NM 87048

**Re: Sandia View Cottonwood**  
**10401 Vista Del Sol Dr. NW 87114**  
**Traffic Circulation Layout**  
Engineer's/Architect's Stamp 12-10-18 (A13D023)

Dear Mr. Montoya,

Based upon the information provided in your submittal received 12-18-18, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. The ADA access aisles shall have the words **"NO PARKING"** in capital letters, each of which shall be at least one foot high and at least two inches wide, placed at the rear of the parking space so as to be close to where an adjacent vehicle's rear tire would be placed. (66-1-4.1.B NMSA 1978)
2. The minimum distance between two drives on one lot is 22' of full height curb. ( 6' is necessary for two curb height transitions for a total of 28' between the two drive pads. ( The width of drive allowed is 12' to 22") Please dimension width of drive pad.
3. Please include one copy of the traffic circulation layout at the next submittal.

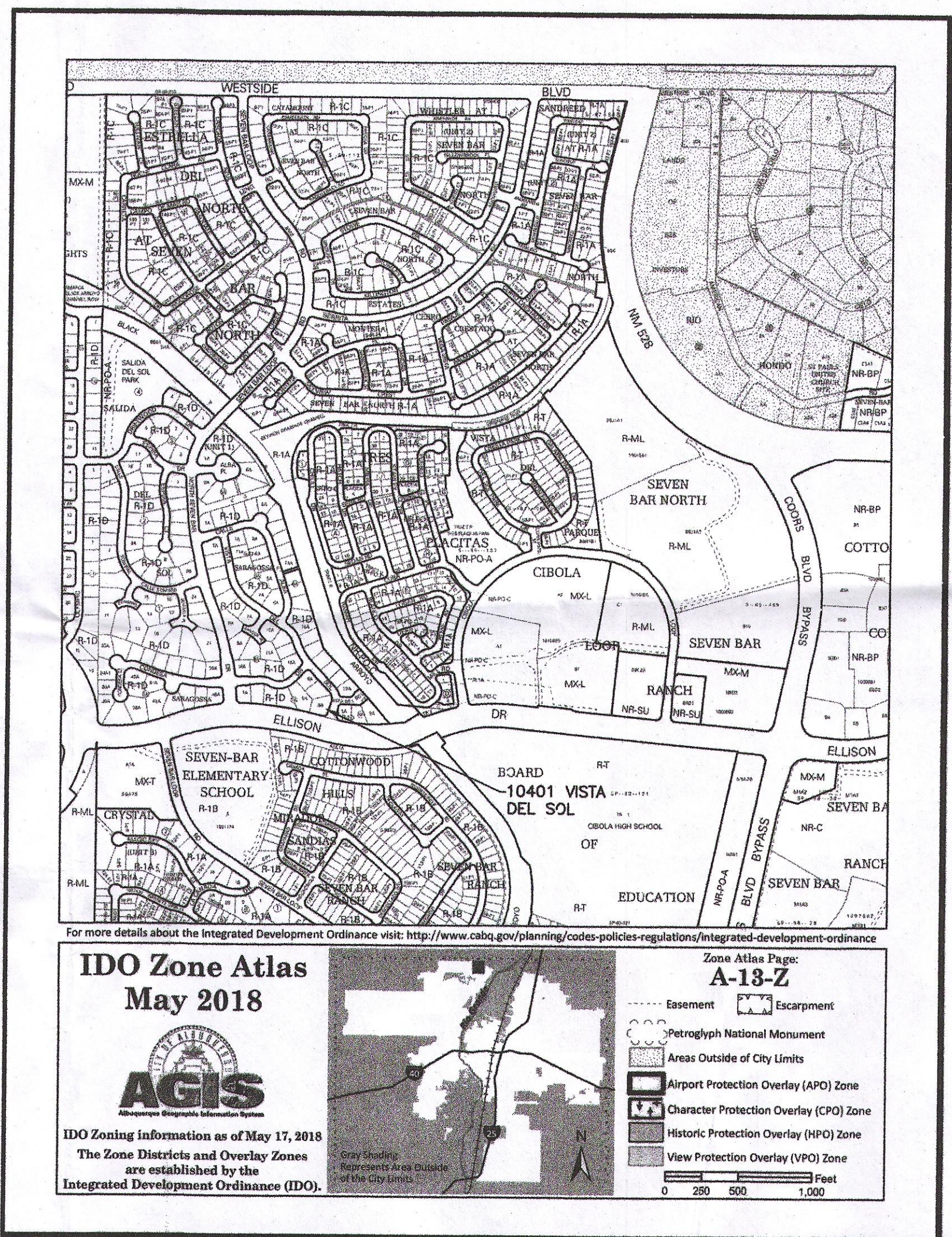
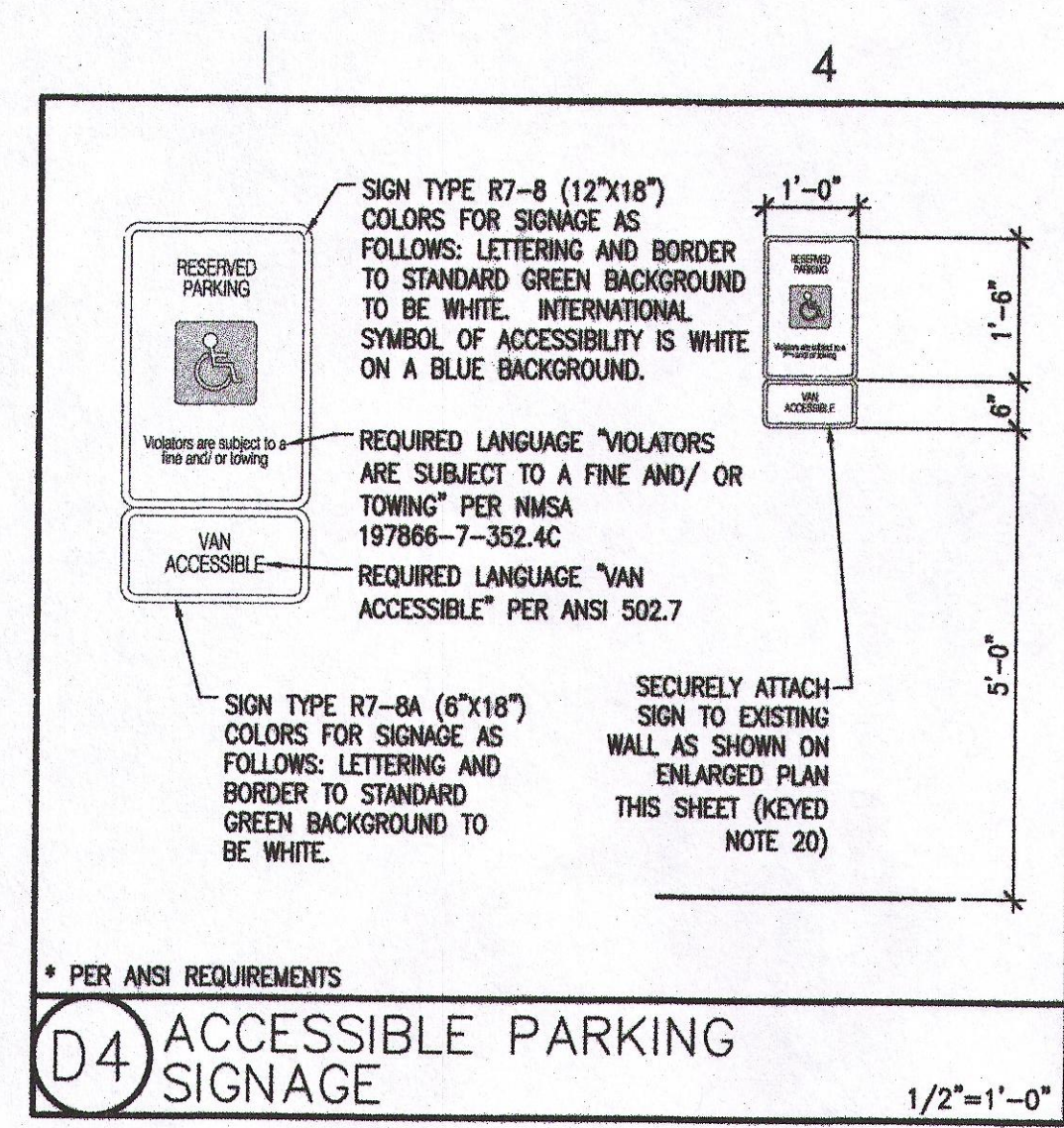
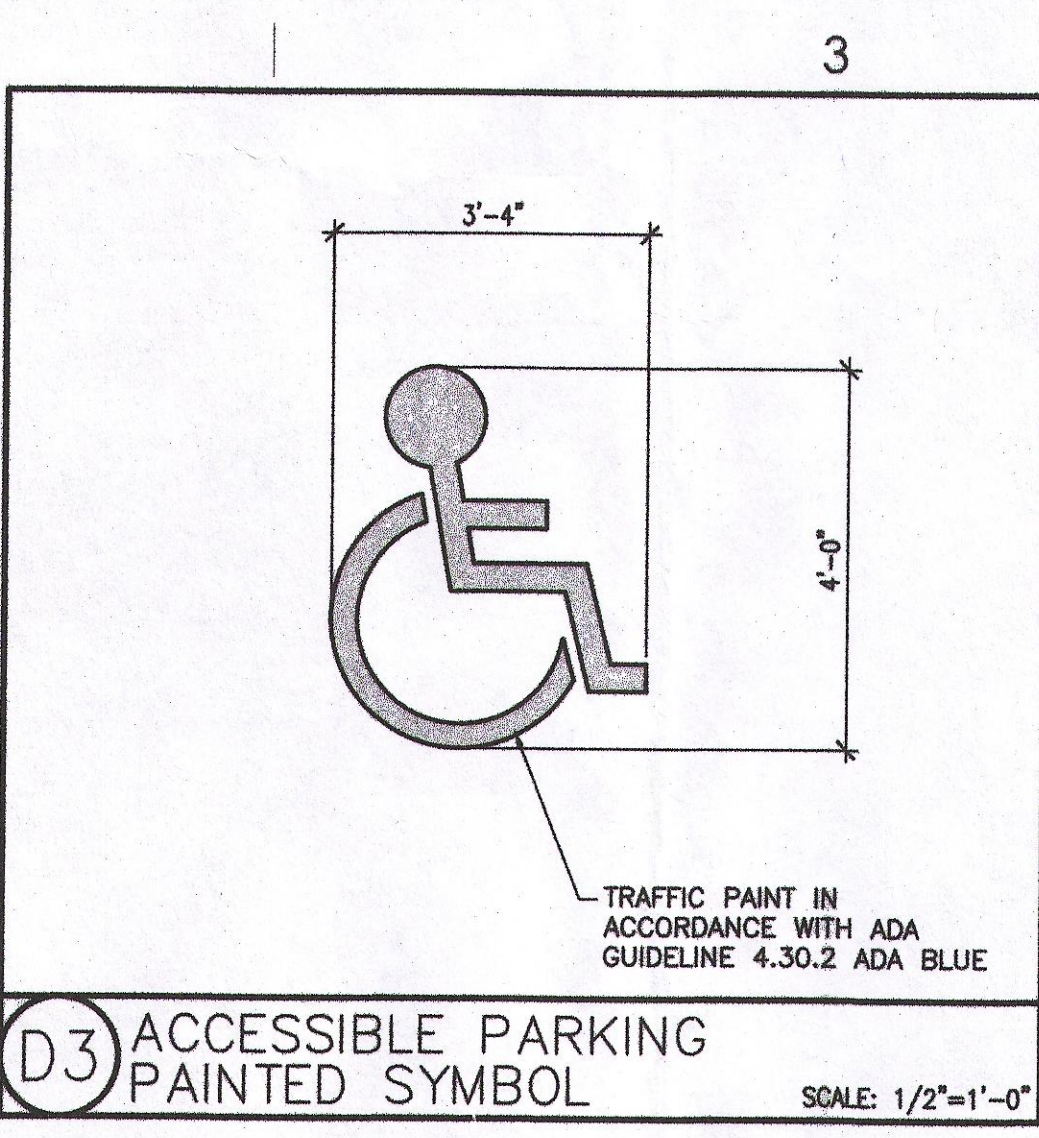
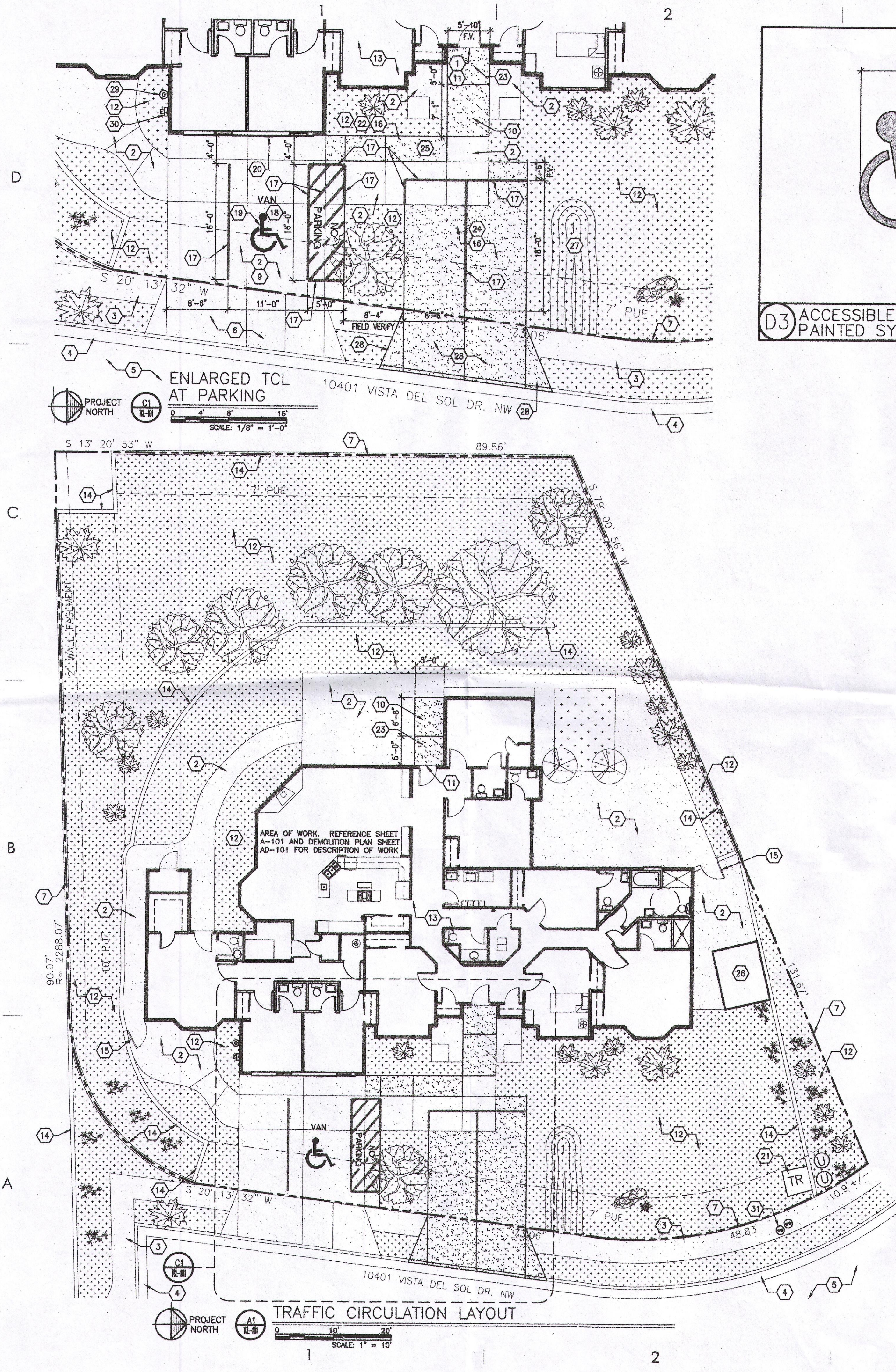
Resubmit a revised plan along with fully completed Drainage Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation. PDF copies of the plans and submittal package must be emailed to [PLNDRS@cabq.gov](mailto:PLNDRS@cabq.gov) at time of resubmittal. If you have any questions, please contact Ernie Gomez (505) 924-3981.

Sincerely,

Ernie Gomez  
Plan Checker, Transportation & Hydrology  
Development Review Services

EG via: email  
C: CO Clerk, File





GENERAL NOTES

- A. ALL SIDEWALK, CURB & GUTTER AND RAMPS ALONG VISTA DEL SOL DRIVE MUST BE CONSTRUCTED PER CITY OF ALBUQUERQUE STANDARDS. UNUSED CURB CUTS MUST BE REPLACED WITH SIDEWALK AND CURB & GUTTER. ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK CURB & GUTTER. IF REPLACEMENT IS NEEDED, SEE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION - 1986 - SECTION 2400 STANDARD DETAILS, AND 2430 - SIDEWALK DETAILS.
- B. THIS DRAWING WAS DERIVED AT BY A PLAT SURVEY PROVIDED BY THE OWNER. FIELD VERIFY ALL DIMENSIONS AND REPORT ANY INCONSISTENCIES TO THE DESIGNER AND OWNER.

PROPERTY INFORMATION

ADDRESS: 10401 VISTA DEL SOL DRIVE NW, ALBUQUERQUE, NM 87114

LEGAL DESCRIPTION: LOT EIGHT-A (8-A) IN BLOCK NUMBERED SEVEN-A (7-A) OF SARAGOSSA, SITUATE WITHIN THE ALAMEDA GRANT, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT OF SAID SUBDIVISION, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON APRIL 12, 1989, IN PLAT BOOK C39, PAGE 1.

DEVELOPMENT TYPE: EXISTING HOME RENOVATION TO AN ASSISTED LIVING RESIDENCE

DEVELOPMENT SIZE: 3,771 SQUARE FEET (TOTAL AREA)

LOT SIZE: 14,714 SQUARE FEET (INCLUDES HOME)

EXECUTIVE SUMMARY

- A. GENERAL PROJECT LOCATION: NORTHEAST TO THE INTERSECTION OF GOLF COURSE ROAD AND ELLISON DRIVE. NORTHWEST TO THE INTERSECTION OF COORS BYPASS AND ELLISON DRIVE.
- B. DEVELOPMENT CONCEPT FOR THE SITE: REMODEL/ UPDATE INTERIOR SPACES TO NEW ASSISTED LIVING RESIDENCE. 3 STANDARD PARKING SPACE WITH 1 ACCESSIBLE PARKING SPACE WILL BE MARKED AT RESIDENCE FRONT (2 EXISTING, 2 NEW).
- C. TRAFFIC CIRCULATION CONCEPT FOR THE SITE: TO REMAIN AS IS. PARKING IS MAINLY FOR STAFF. RESIDENTS DO NOT DRIVE BUT ARE PICKED UP AND DROPPED OFF BY FAMILY.
- D. IMPACT ON THE ADJACENT SITES: ACCESSIBLE PARKING SPACES MARKINGS/ ACCESSIBLE SIGN WILL BE VISIBLE OFF OF VISTA DEL SOL DRIVE.

PARKING CALCULATIONS

CITY OF ALBUQUERQUE COMPREHENSIVE CITY ZONING CODE: 14-16-3-1 (A) (7)

ONE SPACE + ONE SPACE PER 4 CLIENTS

NINE BEDS TOTAL PROVIDED

PARKING SPACES REQUIRED: 4 (3 STANDARD + 1 ACCESSIBLE)

ACCESSIBLE SPACES REQUIRED: 1

PARKING SPACES (OFF STREET) PROVIDED: 4 (3 STANDARD + 1 ACCESSIBLE)

ACCESSIBLE PARKING SPACES PROVIDED: 1

LANDSCAPE REQUIREMENTS

TOTAL LOT AREA: 14,714 SQ.FT.

BUILDING AREA: 3,771 SQ.FT.

NET LOT AREA: 10,943 SQ.FT.

LANDSCAPE AREA REQUIRED (15% OF NET LOT AREA) 10,943 SQ.FT. X .15 = 1,641 SQ.FT.

(80% MINIMUM VEGETATED GROUND COVERAGE TO BE PROVIDED= 1,313 SQ.FT.)

LANDSCAPE AREA PROVIDED = 7,622 SQ.FT.

FRONT YARD = GRAVEL/ SHRUBS/ TREES = 2,553 SQ.FT.

BACKYARD LAWN = 145 SQ.FT.

BACKYARD AND SIDES GRAVEL/ SHRUBS/ TREES = 4,921 SQ.FT.

TOTAL = 7,622 SQ.FT. (1,313 SQ.FT. TO BE VEGETATED GROUND COVERAGE)

NUMBER OF RESIDENTS TO OCCUPY

10 RESIDENTS + 2 STAFF

12 TOTAL OCCUPANTS

KEYED NOTES

1. EXISTING RESIDENCE MAIN ENTRY.
2. EXISTING CONCRETE PAVING.
3. EXISTING CONCRETE SIDEWALK TO REMAIN.
4. EXISTING CONCRETE CURB AND GUTTER TO REMAIN.
5. EXISTING ASPHALT PAVED STREET TO REMAIN.
6. EXISTING CONCRETE DRIVE/ RAMP TO MEET COA STANDARDS. SEE GENERAL NOTE A THIS SHEET.
7. EXISTING PROPERTY LINE TO REMAIN.
8. EXISTING WATER METER TO REMAIN.
9. EXISTING DRIVE PARKING.
10. NEW CONCRETE RAMP TO DOOR LANDING TO BE 1:20 MAXIMUM SLOPE (NO HANDRAIL REQUIRED). DIMENSIONS PROVIDED FOR RAMP ARE FOR 1:20 SLOPE IF DIFFERENCE FROM EXTERIOR SLAB TO INTERIOR FINISH FLOOR IS 4". MORE RAMP IS REQUIRED TO ACHIEVE 1:20 IF GREATER THAN 4". SEE NOTE 25 IF 1:20 SLOPE IS NOT POSSIBLE WITH SPACE AVAILABLE.
11. DOOR TRANSITION FROM INTERIOR TOP OF FINISH FLOOR TO EXTERIOR TOP OF NEW CONCRETE PAVING IS NO GREATER THAN 1/2". PROVIDE ADA DOOR THRESHOLD.
12. EXISTING LANDSCAPE AREA TO REMAIN.
13. RESIDENCE.
14. EXISTING SITE WALL TO REMAIN.
15. EXISTING GATE TO REMAIN.
16. NEW 4" CONCRETE PAVING WITH TURNDOWN EDGES AT EXPOSED SIDES.
17. PAINT/ STRIPING AS SHOWN.
18. EXISTING 4" CONCRETE SLAB FOR ACCESSIBLE PARKING. VERIFY COA MAXIMUM SLOPE REQUIREMENTS ARE MET- 1% MINIMUM AND 2% (1:50) MAXIMUM.
19. NEW PAINTED PARKING SYMBOL. SEE DETAIL D4 THIS SHEET.
20. NEW PARKING SIGN. SEE DETAIL D4 THIS SHEET. INSTALL SIGN AT EXTERIOR WALL.
21. EXISTING ELECTRICAL TRANSFORMER TO REMAIN.
22. NEW 4" CONCRETE SIDEWALK. 2% (1:50) SLOPE MAXIMUM.
23. NEW 4" CONCRETE LANDING/ STOOP WITH TURNDOWN EDGES AT EXPOSED SIDES.
24. NEW STANDARD PARKING SPACES.
25. SLOPE CONCRETE 1:20 SLOPE TO MEET 1:20 RAMP TO FRONT ENTRY ONLY IF RAMP IS NOT MET OTHERWISE MAKE PAVING FLAT.
26. EXISTING SHED TO REMAIN.
27. EXISTING DETENTION POND TO REMAIN.
28. NEW CONCRETE DRIVE/ RAMP TO MEET COA STANDARDS. SEE GENERAL NOTE A THIS SHEET.
29. EXISTING GAS METER TO REMAIN.
30. EXISTING ELECTRICAL METER TO REMAIN.
31. EXISTING WATER METER TO REMAIN.

LANDSCAPING LEGEND

- SOD/ GRASS LAWN
- GRAVEL GROUND COVER
- BUSH/ JUNIPER PLANT/ GROUNDCOVER
- EVERGREEN TREE
- DECIDUOUS TREE
- CONCRETE PAVING

100% CONSTRUCTION DOCUMENT SET

DRAWN BY: WA  
CHECK BY: FM  
DATE: DECEMBER 07, 2018

SHEET NAME: TRAFFIC CIRCULATION LAYOUT

SHEET NUMBER: TCL-101

REVISIONS

REVISION	DATE	DESCRIPTION

ALBUQUERQUE  
NEW MEXICO

SANDIA VIEW ASSISTED LIVING  
RENOVATIONS AT COTTONWOOD

PREDDIE P. MONTAÑA ARCHITECT  
IN CONJUNCTION WITH  
CASA DESIGN STUDIO  
CONTACT NUMBER:  
505.908.0066 C

PROFESSIONAL STAMP

PREDDIE P. MONTAÑA  
REGISTERED ARCHITECT  
12/07/18





# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 11/2018)

**Project Title:** Sandia View Cottages **Building Permit #:** 47028 **Hydrology File #:** A13D023  
**DRB#:** NA **EPC#:** NA **Work Order#:** \_\_\_\_\_  
**Legal Description:** CRP (Residential Assisted Living)  
**City Address:** 10402 Vista Del Sol Dr NW 87114

**Applicant:** John Lytle **Contact:** \_\_\_\_\_  
**Address:** 222 Camino De La Tierra  
**Phone#:** 505-681-3716 **Fax#:** \_\_\_\_\_ **E-mail:** John Lytle 32@hotmail.com  
**Owner:** John Lytle **Contact:** John  
**Address:** 222 Camino De La Tierra Cerrales NW 87048  
**Phone#:** 505-681-3716 **Fax#:** \_\_\_\_\_ **E-mail:** John Lytle 32@hotmail.com

**TYPE OF SUBMITTAL:** \_\_\_\_\_ PLAT (\_\_\_\_ # OF LOTS) ☒ RESIDENCE \_\_\_\_\_ DRB SITE \_\_\_\_\_ ADMIN SITE

**IS THIS A RESUBMITTAL?:** \_\_\_\_\_ Yes ☒ No

**DEPARTMENT:** ☒ TRAFFIC/ TRANSPORTATION \_\_\_\_\_ HYDROLOGY/ DRAINAGE

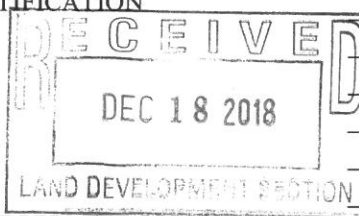
Check all that Apply:

### TYPE OF SUBMITTAL:

- \_\_\_\_ ENGINEER/ARCHITECT CERTIFICATION
- \_\_\_\_ PAD CERTIFICATION
- \_\_\_\_ CONCEPTUAL G & D PLAN
- \_\_\_\_ GRADING PLAN
- \_\_\_\_ DRAINAGE MASTER PLAN
- \_\_\_\_ DRAINAGE REPORT
- \_\_\_\_ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- \_\_\_\_ ELEVATION CERTIFICATE
- ☒ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
- \_\_\_\_ TRAFFIC IMPACT STUDY (TIS)
- \_\_\_\_ OTHER (SPECIFY) \_\_\_\_\_
- \_\_\_\_ PRE-DESIGN MEETING?

### TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☒ BUILDING PERMIT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY
- \_\_\_\_ PRELIMINARY PLAT APPROVAL
- \_\_\_\_ SITE PLAN FOR SUB'D APPROVAL
- \_\_\_\_ SITE PLAN FOR BLDG. PERMIT APPROVAL
- \_\_\_\_ FINAL PLAT APPROVAL
- \_\_\_\_ SIA/ RELEASE OF FINANCIAL GUARANTEE
- \_\_\_\_ FOUNDATION PERMIT APPROVAL
- \_\_\_\_ GRADING PERMIT APPROVAL
- \_\_\_\_ SO-19 APPROVAL
- \_\_\_\_ PAVING PERMIT APPROVAL
- \_\_\_\_ GRADING/ PAD CERTIFICATION
- \_\_\_\_ WORK ORDER APPROVAL
- \_\_\_\_ CLOMR/LOMR
- \_\_\_\_ FLOODPLAIN DEVELOPMENT PERMIT
- \_\_\_\_ OTHER (SPECIFY) \_\_\_\_\_



**DATE SUBMITTED:** 12-18-18 **By:** John Lytle

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_

FEE PAID: \_\_\_\_\_

**City of Albuquerque Planning Department**  
**One Stop Shop – Development and Building Services**

12/18/2018 Issued By: E08375 364369

---

<b>Permit Number:</b>	<b>2018 060 687</b>	<b>Category Code 970</b>
<b>Application Number:</b>	<b>18REV-60687</b> , Review: Drain Plan-Lomr-Traffic Impact	
<b>Address:</b>		
<b>Location Description:</b>	SANDIA VIEW COTTONWOOD	
<b>Project Number:</b>	null	
<b>Applicant</b> JOHN LYTLE  222 CAMINO DE LA TIERRA NM	<b>Agent / Contact</b> JOHN LYTLE  222 CAMINO DE LA TIERRA	

**Application Fees**

<b>REV Actions</b>		\$115.00
<b>TOTAL:</b>		<b>\$115.00</b>

City of Albuquerque Treasury  
Date: 12/18/2018 Office: ANNEX  
Stat ID:                      Cashier: E41709  
Batch: 9894                      Trans #: 19  
Permit: 2018060687  
Receipt Num 00539231  
Payment Total: \$115.00  
0909 REV Actions  
VISA Tendered :                      \$115.00  
\$115.00