

CITY OF ALBUQUERQUE



February 20, 2019

Casa Design Studio
Freddie P. Montoya R.A.
222 Camino De La Tierra
Corrales, NM 87048

Re: Sandia View Cottonwood
10401 Vista Del Sol Dr. NW 87114
Traffic Circulation Layout
Engineer's/Architect's Stamp 1-18-19 (A13D023)

Dear Mr. Montoya,

The TCL submittal received 2-13-2019 is approved for Building Permit with. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

When the site construction is completed and a Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

Racquel

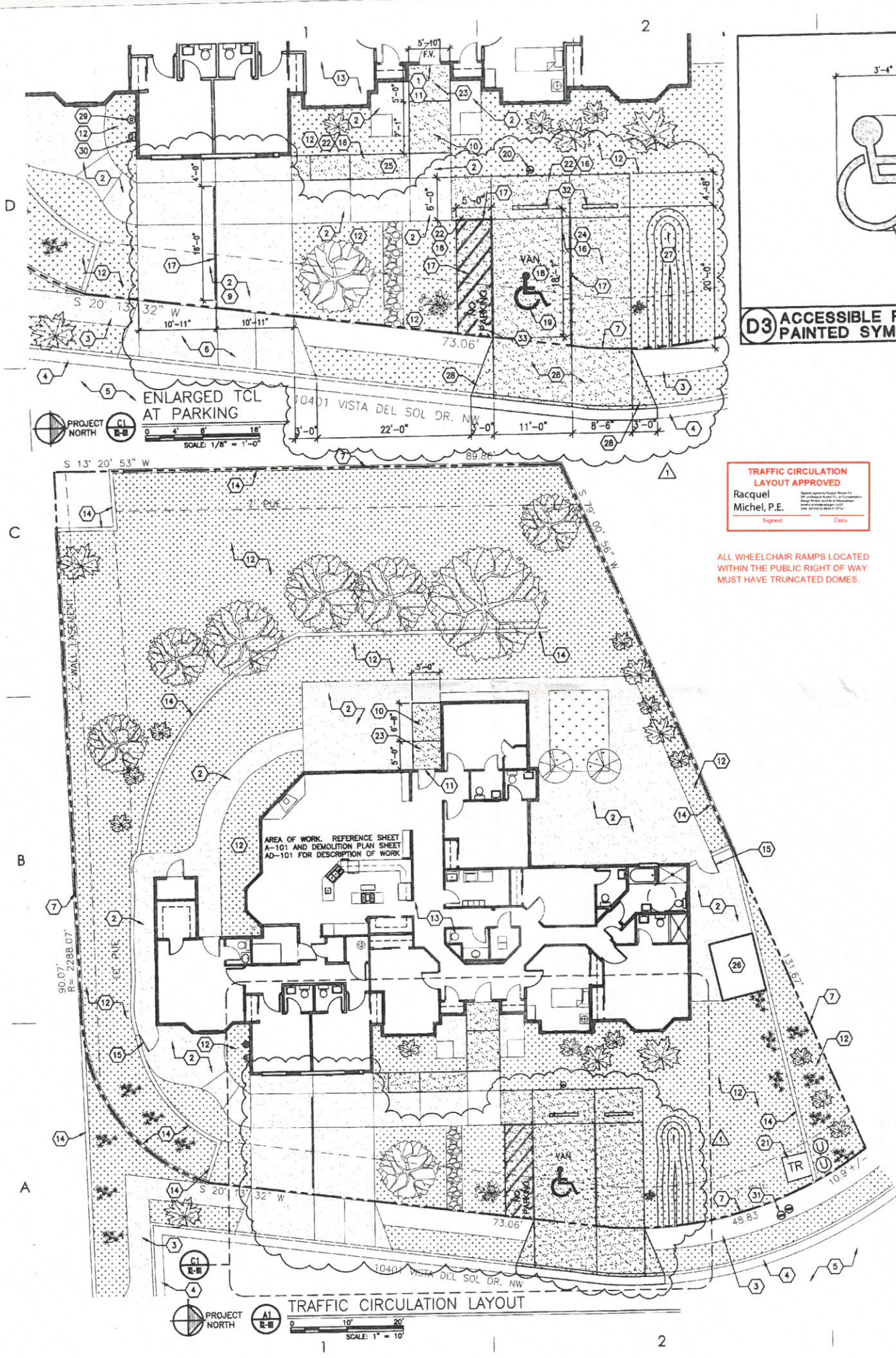
Michel, P.E.

Digitally signed by Racquel Michel,
P.E.
DN: cn=Racquel Michel, P.E.,
o=Transportation Design Review,
ou=City of Albuquerque,
email=rmichel@cabq.gov, c=US
Date: 2019.02.21 08:25:13 -0700

Racquel M. Michel, P.E.
Traffic Engineer, Planning Dept.
Development Review Services

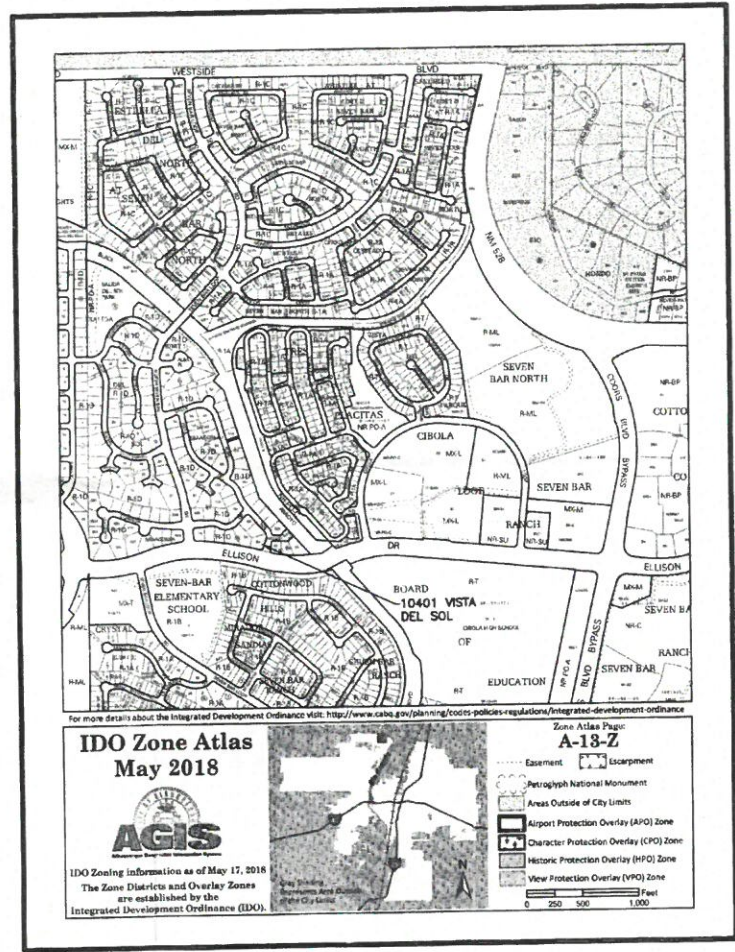
Ernie Gomez,
Plan Checker, Planning Dept.
Development Review Services

EG via: email
C: File



D3 ACCESSIBLE PARKING PAINTED SYMBOL
SCALE: 1/2"=1'-0"

D4 ACCESSIBLE PARKING SIGNAGE
1/2"=1'-0"



VICINITY MAP (ZONE ATLAS MAP)
N.T.S.

GENERAL NOTES

- ALL SIDEWALK, CURB & GUTTER ALONG VISTA DEL SOL DRIVE MUST BE CONSTRUCTED PER CITY OF ALBUQUERQUE STANDARDS. UNUSED CURB CUTS MUST BE REPLACED WITH SIDEWALK & CURB & GUTTER. ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK CURB & GUTTER. REPLACEMENT IS NEEDED, SEE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION - 1988 SECTION 2400 STANDARD DETAILS FOR PAVING DRAWING NUMBER 2415A - CURB CUT DETAILS, 2415B - GUTTER DETAILS, AND 2430 - SIDEWALK DETAILS.
- THIS DRAWING WAS DERIVED AT BY A PLAT SURVEY PROVIDED BY THE OWNER. FIELD VERIFY ALL DIMENSIONS AND REPORT ANY INCONSISTENCIES TO THE DESIGNER AND OWNER.

PROPERTY INFORMATION

ADDRESS: 10401 VISTA DEL SOL DRIVE NW, ALBUQUERQUE, NM 87114
LEGAL DESCRIPTION: LOT EIGHT-A (8-A) IN BLOCK NUMBERED SEVEN-A (7-A) OF SARAGOSSA, SITUATE WITHIN THE ALAMEIDA GRANT, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT OF SAID SUBDIVISION, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON APRIL 12, 1989, IN PLAT BOOK C39, PAGE 1.
DEVELOPMENT TYPE: EXISTING HOME RENOVATION TO AN ASSISTED LIVING RESIDENCE
DEVELOPMENT SIZE: 3,771 SQUARE FEET (TOTAL AREA)
LOT SIZE: 14,714 SQUARE FEET (INCLUDES HOME)

EXECUTIVE SUMMARY

- GENERAL PROJECT LOCATION: NORTHEAST TO THE INTERSECTION OF GOLF COURSE ROAD AND ELLISON DRIVE, NORTHWEST TO THE INTERSECTION OF COORS BYPASS AND ELLISON DRIVE.
- DEVELOPMENT CONCEPT FOR THE SITE: REMODEL/ UPDATE INTERIOR SPACES TO NEW ASSISTED LIVING RESIDENCE. 3 STANDARD PARKING SPACE WITH 1 ACCESSIBLE PARKING SPACE WILL BE MARKED AT RESIDENCE FRONT (2 EXISTING, 2 NEW).
- TRAFFIC CIRCULATION CONCEPT FOR THE SITE: TO REMAIN AS IS. PARKING IS MAINLY FOR STAFF. RESIDENTS DO NOT DRIVE BUT ARE PICKED UP AND DROPPED OFF BY FAMILY.
- IMPACT ON THE ADJACENT SITES: ACCESSIBLE PARKING SPACES MARKINGS/ ACCESSIBLE SIGN WILL BE VISIBLE OFF OF VISTA DEL SOL DRIVE.

PARKING CALCULATIONS

CITY OF ALBUQUERQUE COMPREHENSIVE CITY ZONING CODE: 14-18-3-1 (A) (7)
ONE SPACE + ONE SPACE PER 4 CLIENTS
NINE BEDS TOTAL PROVIDED
PARKING SPACES REQUIRED: 4 (3 STANDARD + 1 ACCESSIBLE)
ACCESSIBLE SPACES REQUIRED: 1
PARKING SPACES (OFF STREET) PROVIDED: 4 (3 STANDARD + 1 ACCESSIBLE)
ACCESSIBLE PARKING SPACES PROVIDED: 1

LANDSCAPE REQUIREMENTS

TOTAL LOT AREA: 14,714 SQ.FT.
BUILDING AREA: 3,771 SQ.FT.
NET LOT AREA: 10,943 SQ.FT.
LANDSCAPE AREA REQUIRED (10% OF NET LOT AREA) 10,943 SQ.FT. X .15 = 1,641 SQ.FT.
(80% MINIMUM VEGETATED GROUND COVERAGE TO BE PROVIDED= 1,313 SQ.FT.)
LANDSCAPE AREA PROVIDED = 7,822 SQ.FT.
FRONT YARD = GRAVEL/ SHRUBS/ TREES = 2,553 SQ.FT.
BACKYARD LAWN = 148 SQ.FT.
BACKYARD AND SIDES GRAVEL/ SHRUBS/ TREES = 4,921 SQ.FT.
TOTAL= 7,822 SQ.FT. (1,313 SQ.FT. TO BE VEGETATED GROUND COVERAGE)

NUMBER OF RESIDENTS TO OCCUPY

10 RESIDENTS + 2 STAFF
12 TOTAL OCCUPANTS

KEYED NOTES

- EXISTING RESIDENCE MAIN ENTRY.
- EXISTING CONCRETE PAVING.
- EXISTING CONCRETE SIDEWALK TO REMAIN.
- EXISTING CONCRETE CURB AND GUTTER TO REMAIN.
- EXISTING ASPHALT PAVED STREET TO REMAIN.
- EXISTING CONCRETE DRIVE/ RAMP TO MEET COA STANDARDS. SEE GENERAL NOTE A THIS SHEET.
- EXISTING PROPERTY LINE TO REMAIN.
- EXISTING WATER METER TO REMAIN.
- EXISTING DRIVE PARKING.
- NEW CONCRETE RAMP TO DOOR LANDING TO BE 1:20 MAXIMUM SLOPE (NO HANDRAIL REQUIRED). DIMENSIONS PROVIDED FOR RAMP ARE FOR 1:20 SLOPE IF DIFFERENCE FROM EXTERIOR SLAB TO INTERIOR FINISH FLOOR IS 4". MORE RAMP IS REQUIRED TO ACHIEVE 1:20 IF GREATER THAN 4". SEE NOTE 25 IF 1:20 SLOPE IS NOT POSSIBLE WITH SPACE AVAILABLE.
- DOOR TRANSITION FROM INTERIOR TOP OF FINISH FLOOR TO EXTERIOR TOP OF NEW CONCRETE PAVING IS NO GREATER THAN 1/2". PROVIDE ADA DOOR THRESHOLD.
- EXISTING LANDSCAPE AREA TO REMAIN.
- RESIDENCE.
- EXISTING SITE WALL TO REMAIN.
- EXISTING GATE TO REMAIN.
- NEW 4" CONCRETE PAVING WITH TURNDOWN EDGES AT EXPOSED SIDES.
- PAINT/ STRIPING AS SHOWN.
- NEW 4" CONCRETE SLAB FOR ACCESSIBLE PARKING. VERIFY COA MAXIMUM SLOPE REQUIREMENTS ARE MET - 1% MINIMUM AND 2% (1:50) MAXIMUM.
- NEW PAINTED PARKING SYMBOL. SEE DETAIL D3 THIS SHEET.
- NEW PARKING SIGN ON POST. SEE DETAIL D4 THIS SHEET.
- EXISTING ELECTRICAL TRANSFORMER TO REMAIN.
- NEW 4" CONCRETE SIDEWALK. 2% (1:50) SLOPE MAXIMUM.
- NEW 4" CONCRETE LANDING/ STOOP WITH TURNDOWN EDGES AT EXPOSED SIDES.
- NEW STANDARD PARKING SPACES.
- SLOPE CONCRETE 1:20 SLOPE TO MEET 1:20 RAMP TO FRONT ENTRY ONLY IF RAMP IS NOT MET OTHERWISE MAKE PAVING FLAT.
- EXISTING SHED TO REMAIN.
- NEW LOCATION OF RELOCATED ROCKS.
- NEW CONCRETE DRIVE/ RAMP TO MEET COA STANDARDS. SEE GENERAL NOTE A THIS SHEET.
- EXISTING GAS METER TO REMAIN.
- EXISTING ELECTRICAL METER TO REMAIN.
- EXISTING WATER METER TO REMAIN.
- NEW CONCRETE PARKING BUMPER.
- ADA ACCESS AISLE TO HAVE THE WORDS "NO PARKING" IN CAPITAL LETTERS TO BE AT LEAST ONE FOOT HIGH X 2 INCHES WIDE. PLACED AT THE REAR OF THE PARKING SPACE SO AS TO BE CLOSE TO WHERE AN ADJACENT VEHICLE'S REAR TIRE WOULD BE AS SHOWN.

LANDSCAPING LEGEND

- SOD/ GRASS LAWN
- GRAVEL GROUND COVER
- BUSH/ JUNIPER PLANT/ GROUND COVER
- EVERGREEN TREE
- DECIDUOUS TREE
- CONCRETE PAVING

FREDDIE P. MONTOYA ARCHITECT
IN CONJUNCTION WITH
CASA DESIGN STUDIO
CASA DESIGN STUDIO (DESIGNER)
100% CONSTRUCTION DOCUMENT SET

PROFESSIONAL STAMP
STATE OF NEW MEXICO
FREDDIE P. MONTOYA
NO. 2876
REGISTERED ARCHITECT

SANDIA VIEW ASSISTED LIVING
RENOVATIONS AT COTTONWOOD
ALBUQUERQUE
NEW MEXICO

REVISION	DATE	DESCRIPTION	CITY COMMENTS	REVISIONS - TOL
A	07/10/19			

DRAWN BY: WA
CHECK BY: FM
DATE: DECEMBER 07, 2018

SHEET NAME:
TRAFFIC CIRCULATION LAYOUT

SHEET NUMBER:
TCL-101