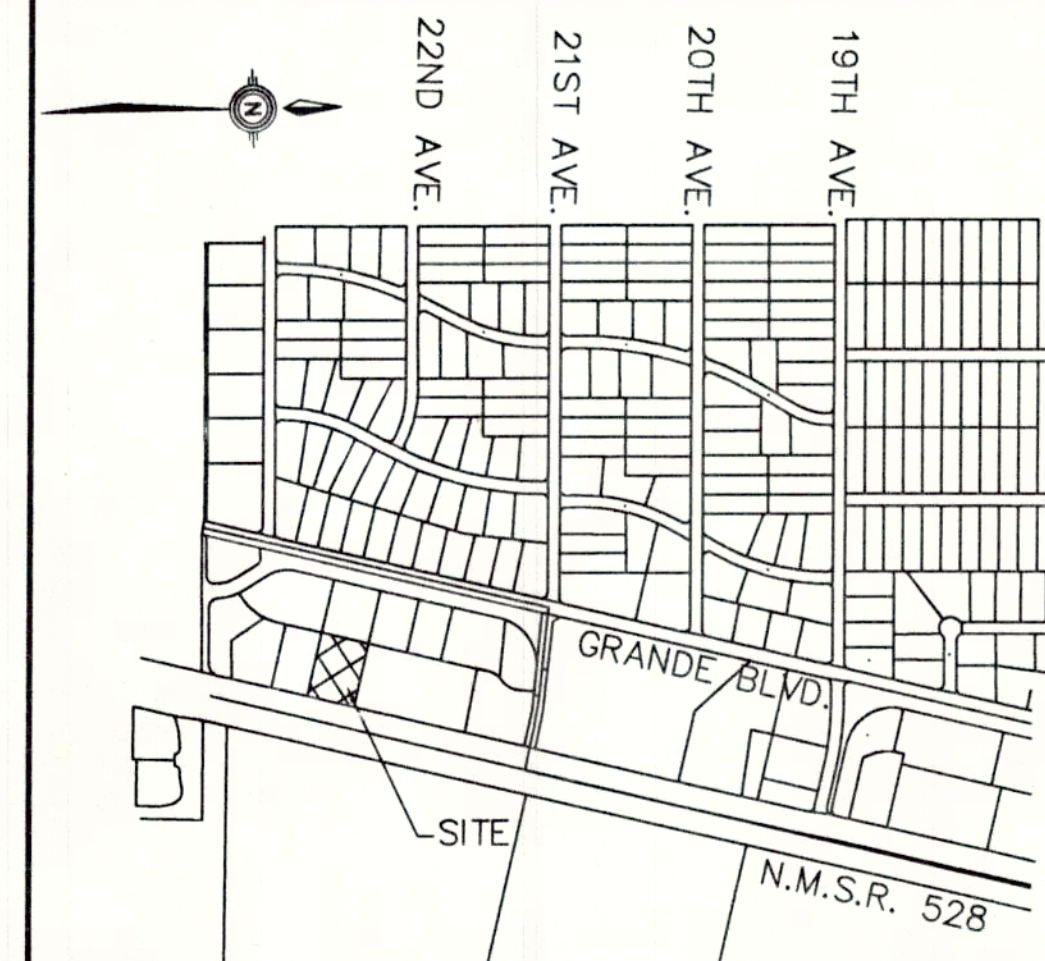


SONIC DRIVE IN GATEWAY SOUTH

Rio Rancho, New Mexico

Improvements For GRADING, DRAINAGE AND UTILITIES



VICINITY MAP

GENERAL NOTES:

1. ALL PAVING AND DRAINAGE WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREIN, BE CONSTRUCTED IN ACCORDANCE WITH THE "CITY OF RIO RANCHO" STANDARD DETAILS FOR PUBLIC WORKS CONSTRUCTION. ANY PAVING AND DRAINAGE CONSTRUCTION SPECIFIED HEREIN WHICH IS NOT DICTATED BY "CITY OF RIO RANCHO" STANDARDS SHALL BE CONSTRUCTION IN ACCORDANCE WITH THE NEW MEXICO STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1987.
2. TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, (260-1990) FOR LOCATION OF EXISTING UTILITIES.
3. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTIONS AND EXISTING UNDERGROUND FACILITIES. SHOULD A A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER OR SURVEYOR SO THAT THE CONFLICT CAN BE RESOLVED WITH MINIMUM AMOUNT OF DELAY.
4. CONTRACTOR SHALL NOTIFY THE PROJECT ENGINEER NOT LESS THAN SEVEN (7) DAYS PRIOR TO STARTING CONSTRUCTION. THE ENGINEER MAY TAKE NECESSARY MEASURES TO INSURE THE PRESERVATION OF SURVEY MONUMENTS. THE CONTRACTOR SHALL NOT DISTURB PERMANENT SURVEY MONUMENTS WITHOUT THE CONSENT OF THE COUNTY OR CITY AND BEAR THE EXPENSE OF REPLACING ANY THAT MAY BE DISTURBED WITHOUT PERMISSION. REPLACEMENT SHALL BE DONE ONLY BY THE ENGINEER. WHEN A CHANGE IS MADE IN ANY ROADWAY IN WHICH A PERMANENT SURVEY MONUMENT IS LOCATED, CONTRACTOR SHALL, AT HIS OWN EXPENSE, ADJUST THE MONUMENT COVER TO THE NEW GRADE UNLESS OTHERWISE SPECIFIED.
5. WARNING - EXISTING UTILITY LINE LOCATIONS ARE SHOWN IN AN APPROXIMATE MANNER ONLY, AND SUCH LINES MAY EXIST WHERE NONE ARE SHOWN. THE LOCATION OF ANY SUCH EXISTING LINES IS BASED UPON INFORMATION PROVIDED BY THE UTILITY COMPANY, THE OWNER, OR BY OTHERS, AND THE INFORMATION MAY BE INCOMPLETE OR MAY BE OBSOLETE BY THE TIME CONSTRUCTION COMMENCES.
6. THE ENGINEER HAS UNDERTAKEN LIMITED FIELD VERIFICATION OF THE LOCATION, DEPTH, SIZE, OR TYPE OF EXISTING UNDERGROUND UTILITY LINES, MAKES NO REPRESENTATION PERTAINING THERETO AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREFORE. THE CONTRACTOR SHALL INFORM ITSELF OF THE LOCATION OF ANY UTILITY LINE IN OR NEAR THE AREA OF THE WORK IN ADVANCE OF AND DURING EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY, AND PRESERVE ANY AND ALL EXISTING UTILITIES. THE CONTRACTOR SHALL COMPLY WITH STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES IN PLANNING AND CONDUCTING EXCAVATION, WHETHER BY CALLING OR NOTIFYING THE UTILITIES, COMPLYING WITH "BLUE STAKES" PROCEDURES, OR OTHERWISE.

INDEX TO DRAWINGS

SHEET NO.	DESCRIPTION
1	COVER SHEET AND INDEX TO DRAWINGS
2	GRADING/DRAINAGE & UTILITY PLAN
3	DETAIL SHEET

LEGAL DESCRIPTION:

A TRACT OF LAND SITUATED WITHIN THE CITY OF RIO RANCHO, SANDOVAL COUNTY, NEW MEXICO, BEING ALL OF TRACT A-9A OF GATEWAY SOUTH AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT OF GATEWAY SOUTH FILED IN THE RECORDS OF SANDOVAL COUNTY, NEW MEXICO, ON MAY 7, 1997, IN VOLUME 3, FOLIO 1608-B AS INSTRUMENT NUMBER 9297.

BENCHMARK:

A CROSS CHISELED IN THE CONCRETE MANHOLE APRON SET FOR THE NORTHWEST PROPERTY CORNER OF TRACT A-9A; ELEVATION = 5214.09

NOTE:

THIS IS NOT A BOUNDARY SURVEY. APPARENT PROPERTY CORNERS ARE SHOWN FOR ORIENTATION ONLY. BOUNDARY DATA IS SHOWN FROM A PREVIOUS SURVEY

PROPERTY ADDRESS:

2321 HIGHWAY 528, RIO RANCHO, NM 87124
PER THE CITY

PROJECT BENCH MARK:

A CROSS CHISELED IN THE CONCRETE MANHOLE APRON SET FOR THE NORTHWEST PROPERTY CORNER OF TRACT A-9A; = 5214.09

SURVEY:

TOPOGRAPHIC AND FIELD SURVEY PERFORMED BY
COMMUNITY SCIENCES CORPORATION DATE APR. - 2000



SLOPE PROTECTION AND DRAINAGE

THE EDGES OF THE CONTROLLED FILL EMBANKMENTS SHALL BE GRADED TO THE CONTOURS SHOWN ON THE DRAWINGS AND COMPACTED TO THE DENSITY REQUIRED IN GEOTECHNICAL REPORT. IT SHALL BE THE GRADING CONTRACTOR'S RESPONSIBILITY TO REASONABLY PROTECT THE SITE FROM ALL RUNOFF RELATED AND WIND BORNE EROSION UNTIL THE OWNER HAS ARRANGED FOR CRIMPED STRAW EROSION PROTECTION. SUCH PROTECTION SHALL BE PROVIDED BY THE OWNER WITHIN 30 DAYS OF COMPLETION OF THE GRADING BY THIS CONTRACTOR.

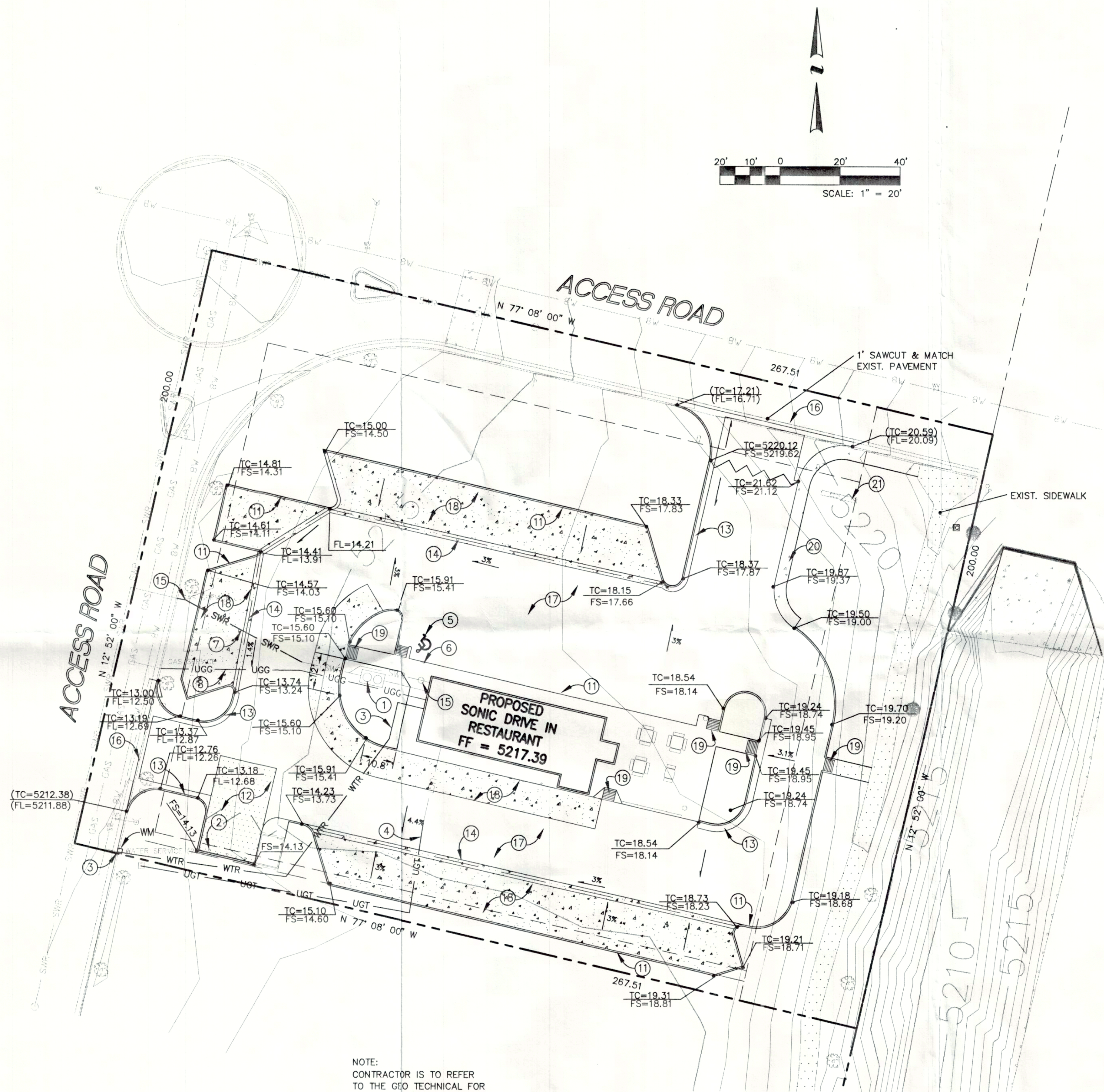
I, WALTER H. NICKERSON Jr., HERE BY CERTIFY THAT I PERSONALLY INSPECTED THE SITE SHOWN ON THESE PLANS ON 4/5/00, AND AS OF THAT DATE IT APPEARED THAT NO FILLING GRADING, OR EXCAVATION HAD OCCURRED THEREON SINCE COMPLETION OF THE TOPOGRAPHIC SURVEY TO PREPARE THIS PLAN.

WALTER H. NICKERSON Jr.

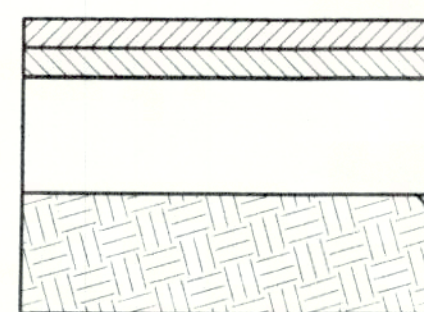
DATE

REV.	SHEETS	CITY ENGINEER	DATE	USER DEPARTMENT	DATE	USER DEPARTMENT	DATE
ENGINEER'S SEAL		DATE: 4/8/00		community sciences corporation		APPROVED FOR CONSTRUCTION	
DESIGNED: W.H.N./LAG/ALM		SCALE: 1:1		CITY OF RIO RANCHO		DATE	
DRAWN: LAG		LAND PLANNING P.O. Box 1328		ENGINEERING Corrales, N.M. 87048		SURVEYING	
JOB NO.: 522-01M-610		PROJECT NO.		522-01M-610		SHEET 1 OF 3	

5/2/00
RECEIVED



1-1/2" ASPHALTIC CONC.
SURFACE COURSE (1800 LB STABILITY MIN)



DRIVEWAY PAVING SECTION
N.T.S.



PARKING PAVING SECTION
N.T.S.

NOTE:
CONTRACTOR IS TO REFER
TO THE GEO TECHNICAL FOR
FINAL PAVEMENT SECTIONS.

CONSTRUCTION NOTES:

- 1 INSTALL GREASE INTERCEPTOR SEE ARCHITECTS PLANS
- 2 INSTALL PROTECTION POST SEE ARCHITECTS PLANS
- 3 NEW 1 1/2" DOMESTIC WATER AND METER SEE SHEET 3 OF 3 FOR METER BOX DETAIL (B.O., METER COST & TAP FEE BY CONTRACTOR)
- 4 NEW TELEPHONE SERVICE (BY OTHERS)
- 5 HANDICAP SYMBOL PAINTED ON PAVEMENT PER CITY OF RIO RANCHO
- 6 HANDICAP PARKING SIGN PER CITY OF RIO RANCHO SPECIFICATIONS
- 7 NEW 4" SANITARY SEWER SERVICE LATERAL
- 8 PLUMBING CONTRACTOR SHALL PROVIDE NEW GAS SERVICE FROM METER (B.O.)
- 9 NEW PRIMARY ELECTRICAL SERVICE, B.O.
- 10 NOT USED
- 11 6" CONCRETE HEADER CURB SEE RIO RANCHO STD DETAIL SHT 2
- 12 CONSTRUCT 10'X20' MASONRY TRASH ENCLOSURE SEE ARCHITECTS DRAWINGS
- 13 CONSTRUCT CURB & GUTTER PER CITY OF RIO RANCHO STD. DWG SEE SHEET 3 OF 3.
- 14 CONSTRUCT 2' VALLEY GUTTER PER CITY OF RIO RANCHO STD. DWG
- 15 INSTALL CLEANOUT (TYP.) PER UNIFORM PLUMBING CODE.
- 16 CONSTRUCT ENTRY AND VALLEY GUTTER PER CITY DETAIL SHEET 3 OF 3
- 17 CONSTRUCT TYPICAL PAVEMENT SECTION 3" A.C. OVER 6" A.B. PER DRIVEWAY PAVEMENT SECTION PER THIS SHEET.
- 18 CONSTRUCT TYPICAL CONC. PAVEMENT SECTION, 6" CONC. OVER 8" A.B. PER PARKING PAVEMENT SECTION PER THIS SHEET.
- 19 CONSTRUCT TYPICAL ACCESS RAMP PER CITY OF RIO RANCHO STD DETAIL SHEET 3 OF 3
- 20 CONSTRUCT MONOLITHIC CURB & SIDEWALK PER DETAIL ON SHEET 3 OF 3 PLAN SET
- 21 FOR SIGN CONSTRUCTION SEE ARCHITECTURAL PLANS

LEGEND

- FS=14.21 PROPOSED FINISH SURFACE ELEVATION
- FL=14.21 PROPOSED FLOW LINE ELEVATION
- TC=98.43 PROPOSED TOP OF CURB ELEVATION
- 99.0 PROPOSED SPOT ELEVATION
- (FS=59.00) MATCH EXISTING ELEVATION (GROUND & TC)
- PROPOSED CONCRETE VALLEY GUTTER
- PROPOSED 6" HEADER CURB
- PROPOSED 6" CURB AND GUTTER
- SWALE
- FLOW ARROW
- WATER BLOCK
- x 5050.09 EXISTING SPOT ELEVATION
- PROPOSED SERVICE
- ASPHALT SECTION DIVISION LINE
- WATER BREAK
- WM WATER METER

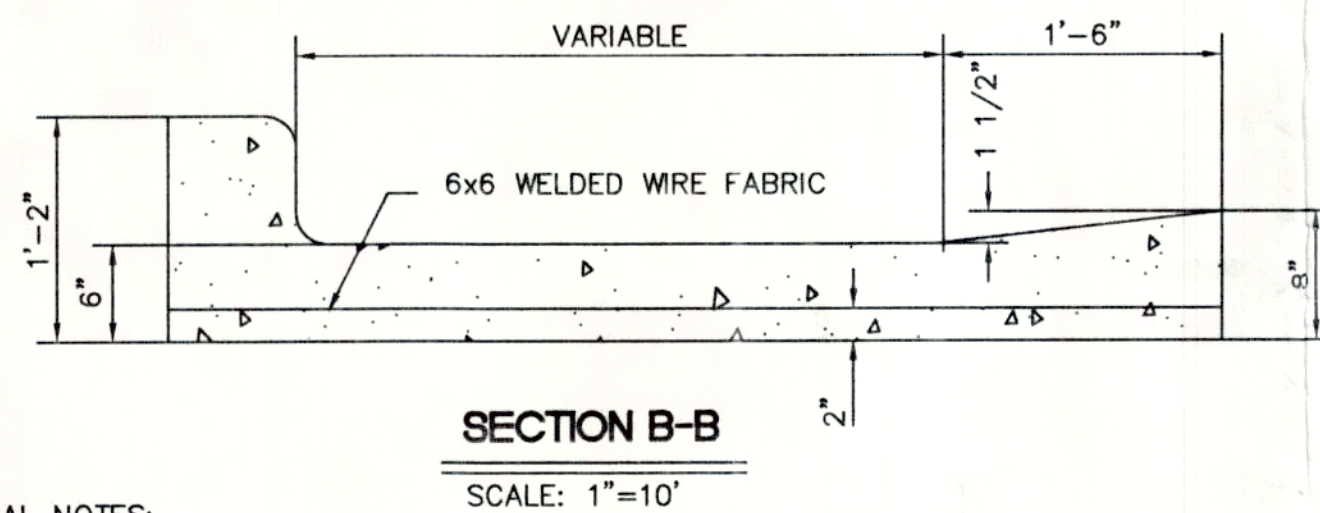
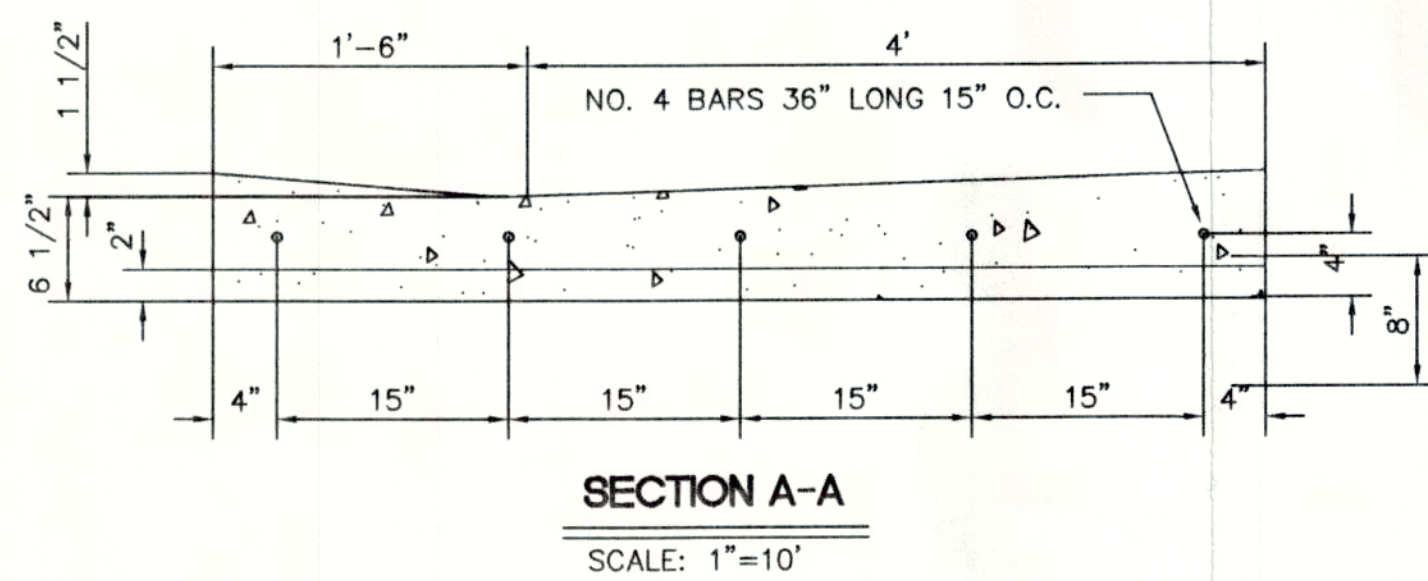
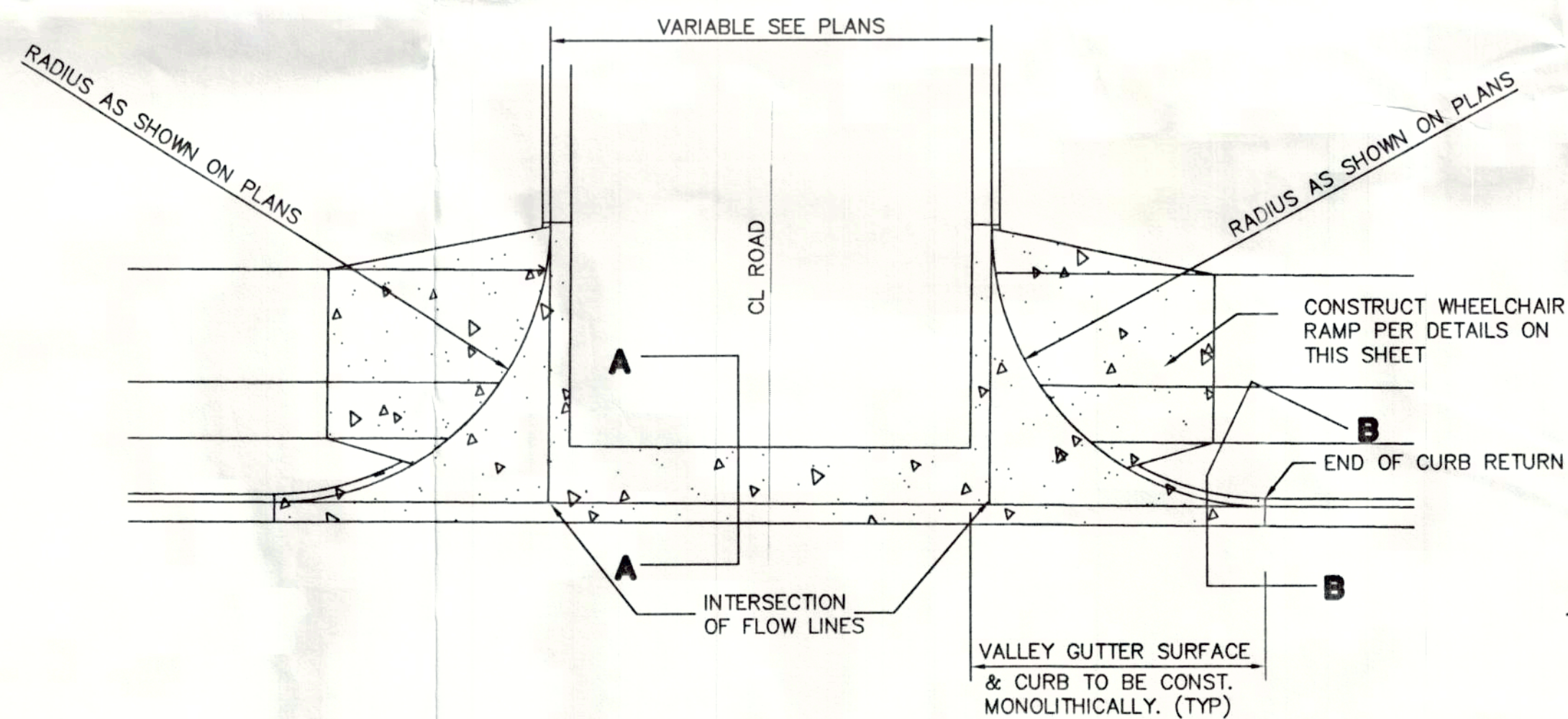
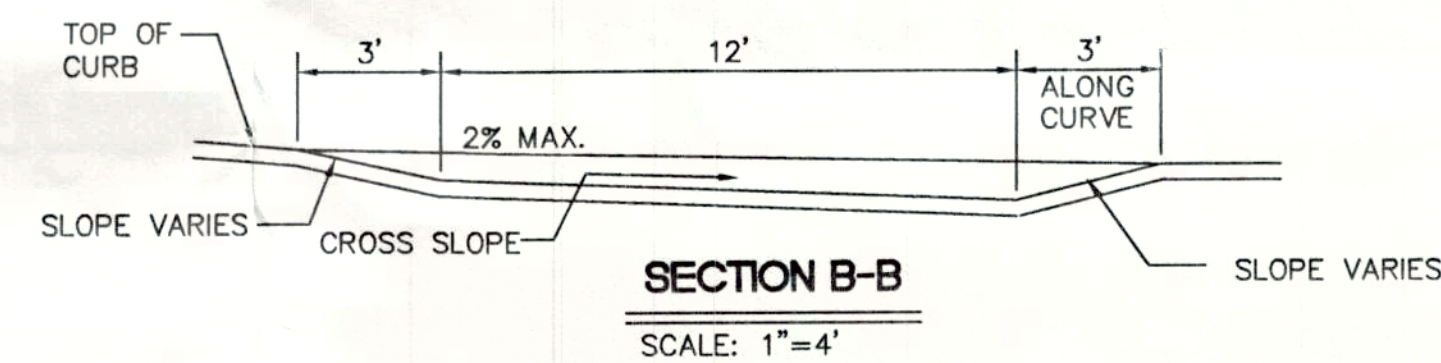
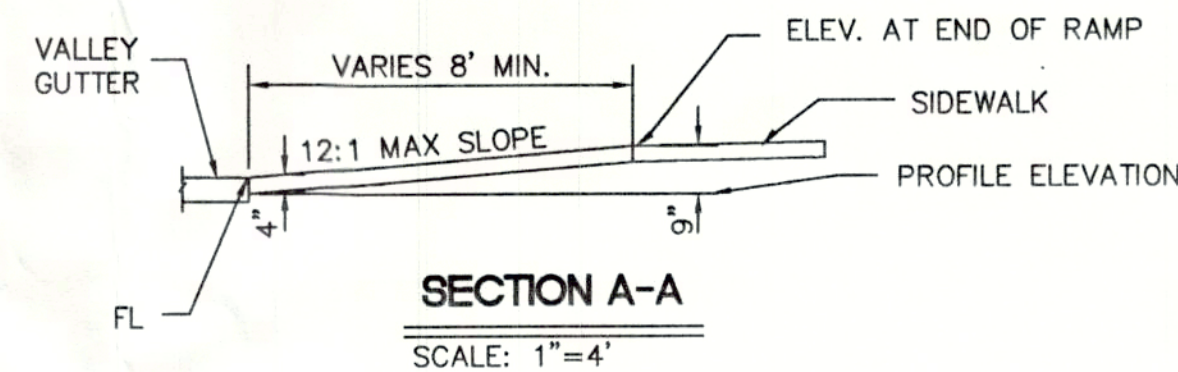
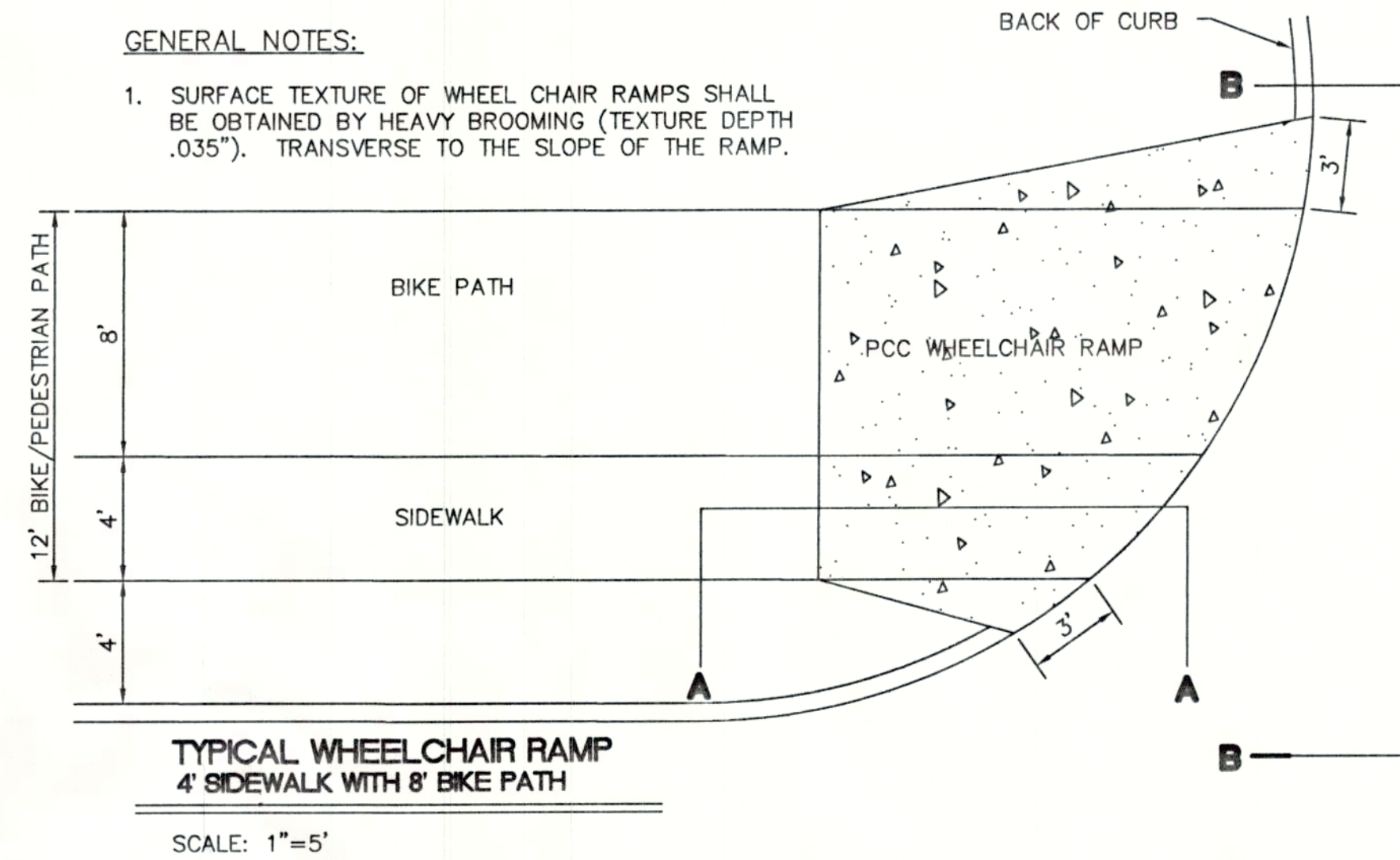
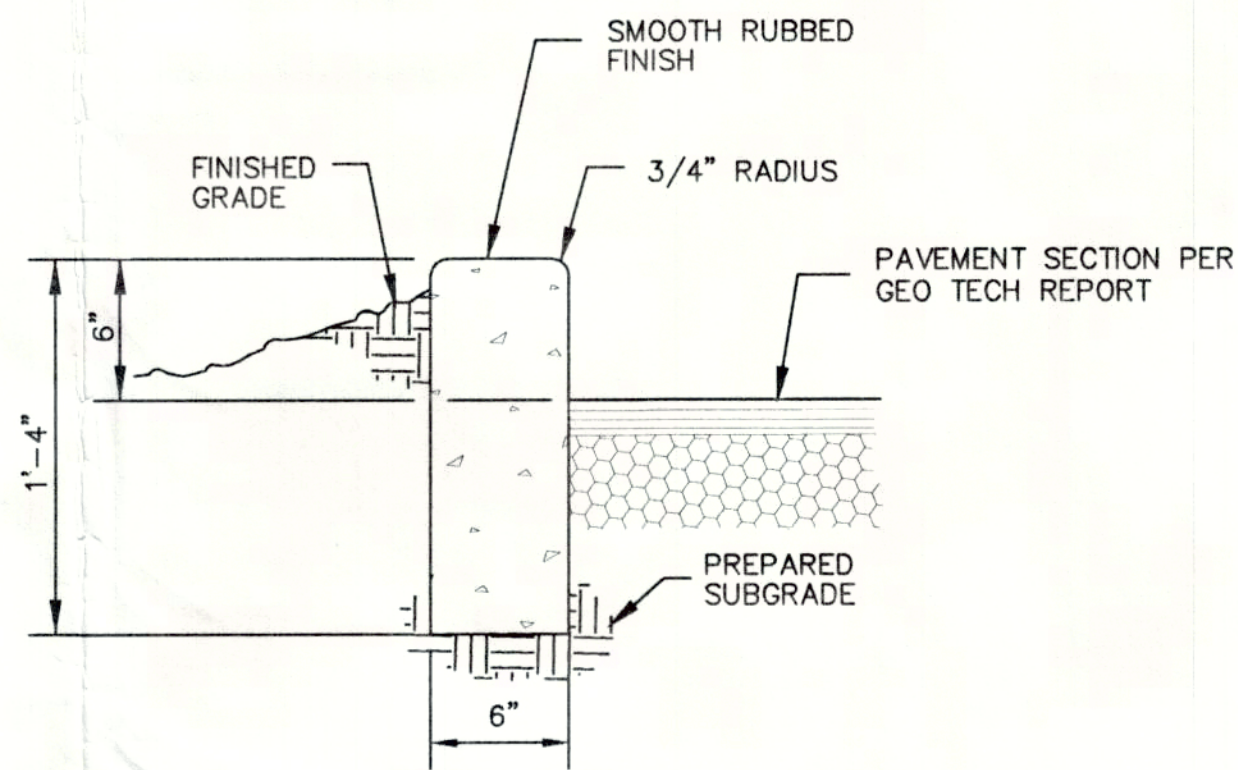
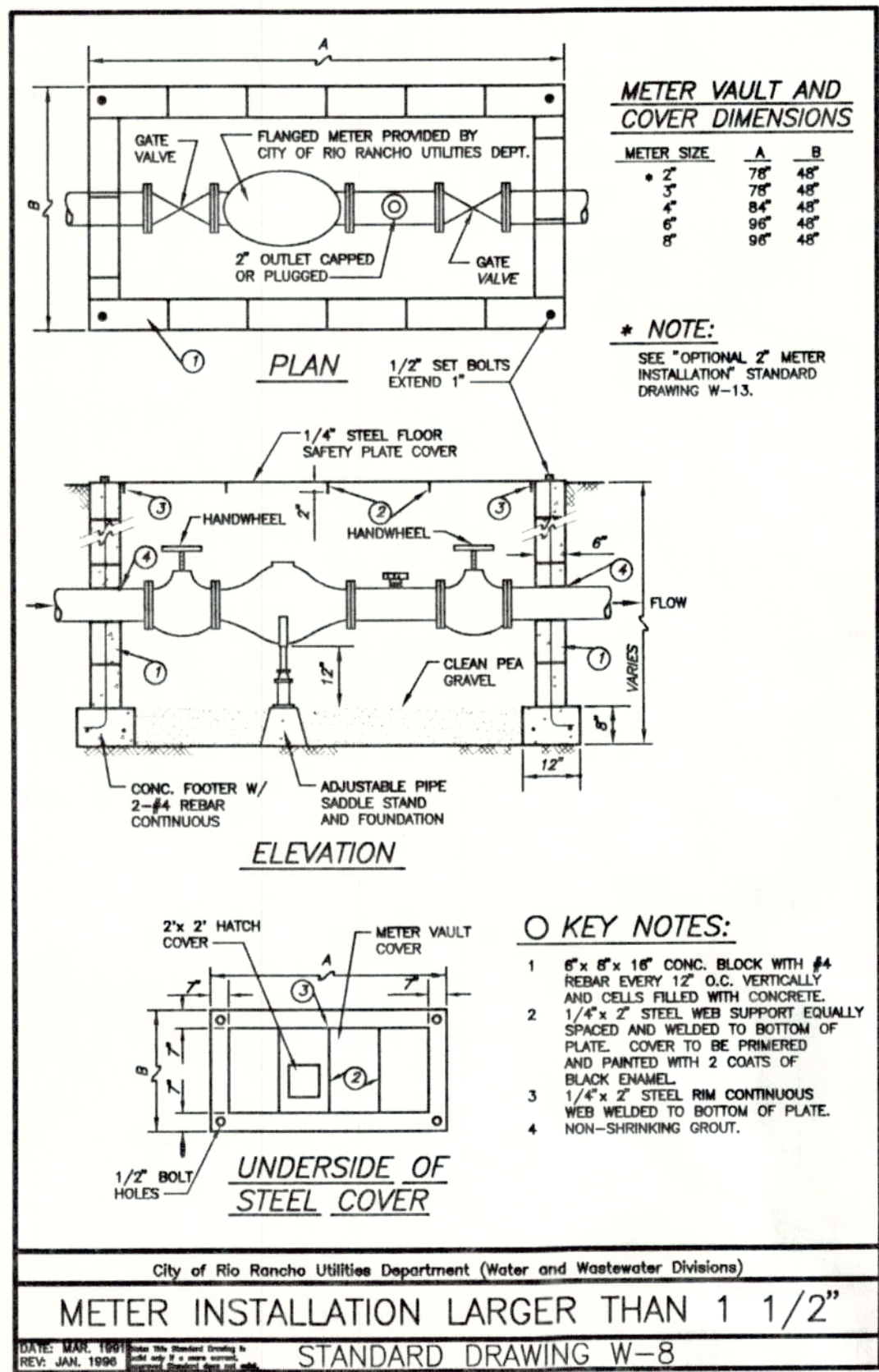
City Of Rio Rancho GRADING AND DRAINAGE PLAN

DATE: 4/6/2000
SCALE: AS SHOWN
DESIGNED: WHN/ALM
DRAWN: ALM/LAG
JOB NO.: N522-01-600

community
sciences
corporation

SHEET
2
3

LAND PLANNING SURVEYING
P.O. Box 1328
Corrales, N.M. 87048



- GENERAL NOTES:**
- SEE PLANS FOR FINISH GRADE ELEVATIONS (GUTTER FLOWLINE) FOR END OF CURB RETURNS AT CONTROL JOINTS ALONG CURB & AT INTERSECTIONS OF PROJECTED FLOWLINES.
 - VALLEY GUTTER CONSTRUCTION SHALL EXTEND TO THE END OF THE CURB RETURNS & THE INVERT SHALL EXTEND THE FULL LENGTH OF THE VALLEY GUTTER.
 - THE VALLEY GUTTER SHALL BE REINFORCED WITH 6x6 - 6x6 WELDED WIRE FABRIC.
 - FOR NEW CONSTRUCTION THE VALLEY GUTTER SHALL BE CONSTRUCTED PRIOR TO ADJACENT PAVEMENT.
 - PRIOR TO CONSTRUCTION OF NEW VALLEY GUTTER ON EXISTING STREETS PAVEMENT REMOVALS AS SHOWN ON THE PLANS SHALL BE COMPLETED.

