

# CITY OF ALBUQUERQUE



**Planning Department  
Transportation Development Services Section**

January 12, 2010

Daniel Herr, Registered Architect  
Slagle Herr Architects  
1600 Rio Grande NW  
Albuquerque, NM 87104

Re: Certification Submittal for Final Building Certificate of Occupancy for  
IL Vicino, **PHASE 1**, [A-14 / D001B]  
10701 Corrales Road NW  
Architect's Stamp Dated 01/12/10

Dear Mr. Herr:

Based upon the information provided in your submittal received 01-12-10, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

PO Box 1293

If you have any questions, please contact me at 505-924-3630.

Albuquerque

Sincerely,

NM 87103

Nijo E. Salgado-Fernandez, P.E.  
Senior Traffic Engineer  
Development and Building Services  
Planning Department

www.cabq.gov


c: Engineer  
Hydrology file  
CO Clerk

IL VICINO  
10701 CORRALES ROAD NW  
ALBUQUERQUE, NM 87114

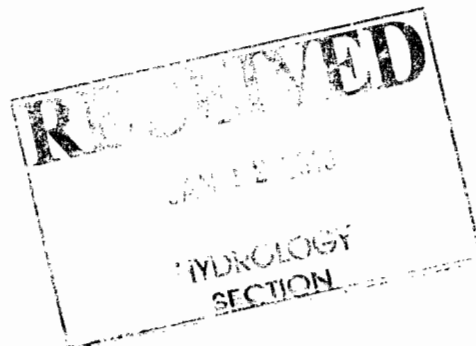
TRAFFIC CERTIFICATION FOR IL VICINO RESTAURANT-PHASE ONE

I, Dan Herr, NMRA 3076, of the firm Slagle Herr Architects, hereby certify that this project is in substantial compliance with and in accordance with the design intent of the Phase One scope on the AA approved plan dated 11-5-09. I certify that I have personally visited the project site and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for certificate of occupancy.

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

  
\_\_\_\_\_  
Dan Herr, Architect

1-11-10  
Date



**HERR**

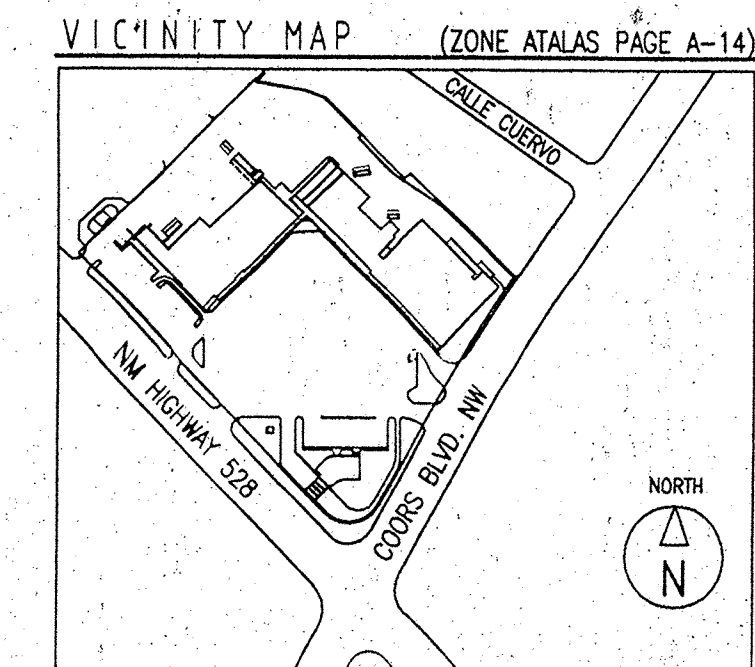
slagle herr architects

1600 rio grande nw albuquerque  
fax 505 246 0437 new mexico 87104

505 246 0870

PARKING REQUIREMENTS	
LEASABLE RETAIL AREA:	94,615 S.F.
BUILDING 1	36,893 S.F.
BUILDING 2	9,522 S.F.
BUILDING 3	13,636 S.F.
BUILDING 4	---
BUILDING 5	27,140 S.F.
BUILDING 6	1,237 S.F.
BUILDING 7	6,187 S.F.
BUILDING 8	---
RESTAURANT SEATING:	800 SEATS
BUILDING 1	50 INSIDE SEATS 40 PATIO SEATS
BUILDING 2	---
BUILDING 3	---
BUILDING 4	90 INSIDE SEATS
BUILDING 5	---
BUILDING 6	240 INSIDE SEATS 200 PATIO SEATS
BUILDING 7	---
BUILDING 8	100 INSIDE SEATS 80 PATIO SEATS
PARKING SPACES REQUIRED:	471 SPACES
15,000 S.F. / 200 =	75 SPACES
45,000 S.F. / 250 =	180 SPACES
4,615 S.F. / 300 =	16 SPACES
800 RESTAURANT SEATS / 4 =	200 SPACES

10% CREDIT FOR BUS ROUTE: (-47)	424 SPACES
PARKING SPACES PROVIDED:	504 SPACES
HANDICAP SPACES PROVIDED:	19 SPACES
MOTORCYCLE SPACES PROVIDED:	6 SPACES
BICYCLE SPACES PROVIDED:	19 SPACES



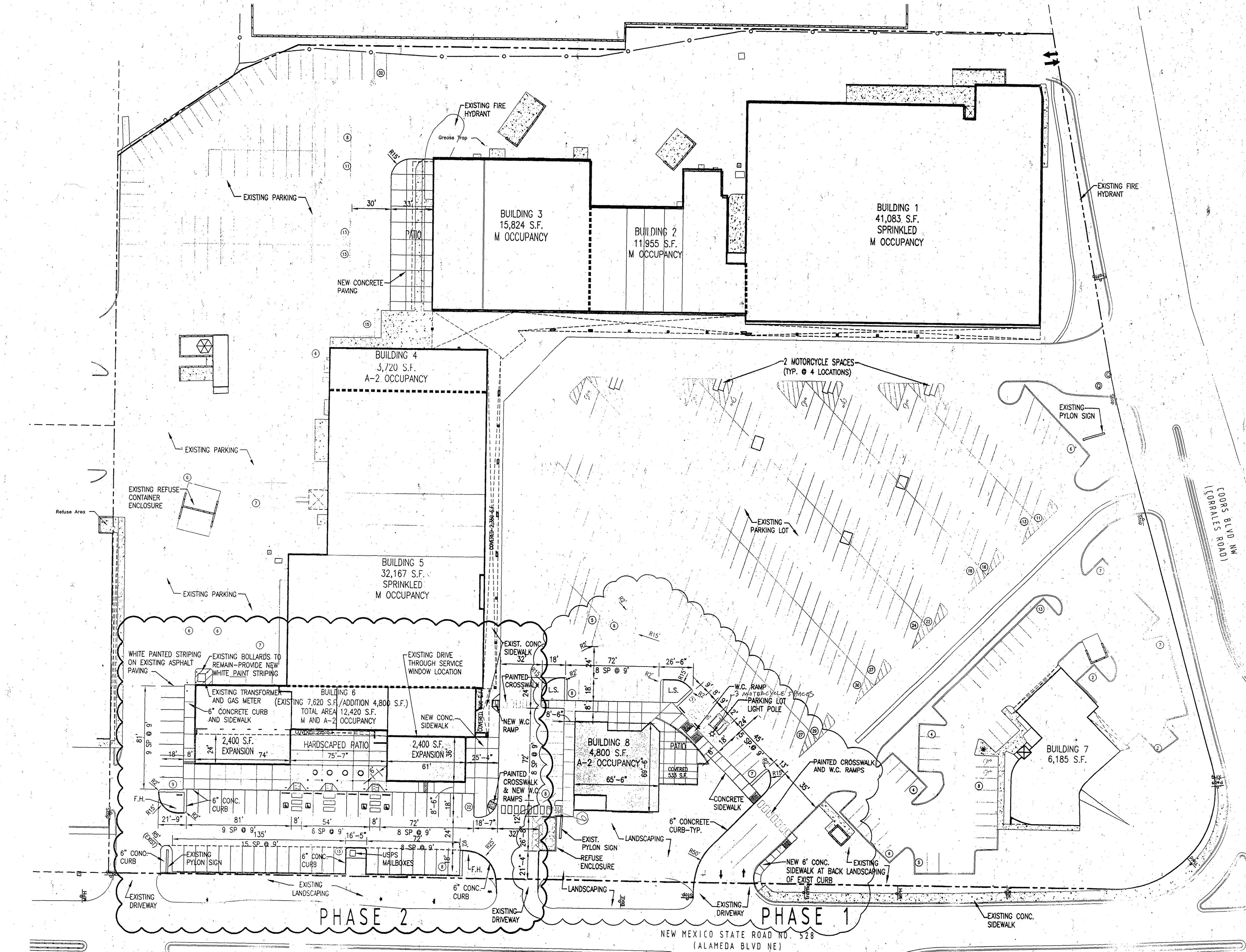
PROJECT DATA	
LOCATION:	10701 CORRALES ROAD NW ALBUQUERQUE, NM
OWNER:	STELLERJAY LLC PO BOX 3685 ALBUQUERQUE, NM 87103
LEGAL DESCRIPTION:	TRACT 'E/A1-1A SEVEN BAR RANCH
UPC NUMBER:	101406827705840102
PREV. CASE #S:	1000857, AA-97-131, Z-98-14, DRB-96-208, Z-79-146
CURRENT ZONING:	SU-1 / C-2 USES
ZONE ATLAS PAGE:	A-14
APPLICABLE CODE:	2006 IBC
OCCUPANCY GROUP:	A-2 / B / M
CONSTRUCTION TYPE:	III-N AND III-N-SPRINKLERED
TOTAL LOT AREA:	501,949 SQ. FT. (11.52 AC)
EXISTING GROSS BUILDING AREA:	108,797 S.F.
PROPOSED ADDITIONAL BUILDING AREA:	9,600 S.F.
PROPOSED GROSS BUILDING AREA:	118,397 S.F.
NOTE:	PATIO COVERED AREAS AND COVERED SIDEWALK AREAS ARE IN ADDITION TO THE GROSS BUILDING AREA SPECIFIED.
NET LOT AREA:	383,552 S.F.
LANDSCAPING:	41,115 S.F.
HARDSCAPED PATIO/SIDEWALK:	32,350 S.F.
LANDSCAPE % OF NET LOT AREA:	19 %

SHEET INDEX	
1	A001 ADMINISTRATIVE AMENDMENT SITE PLAN
2	A002 SHOPPING CENTER ELEVATIONS

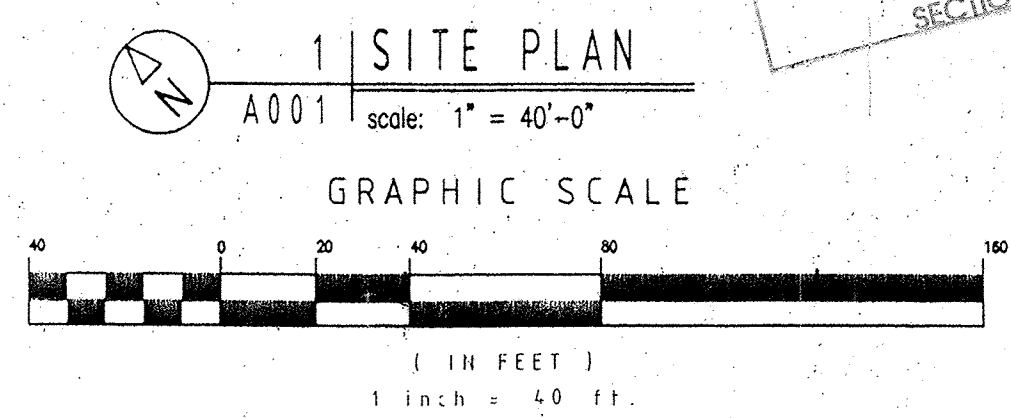
**CORRALES SHOPPING CENTER  
EXPANSION**  
10701 Corrales Road NW  
Albuquerque, NM

**slagle herr architects**  
1600 riogrande  
albuquerque  
new mexico 87114  
505.246.0870  
fax 505.246.0122  
slagleherr.com

ADMINISTRATIVE AMENDMENT  
SITE PLAN

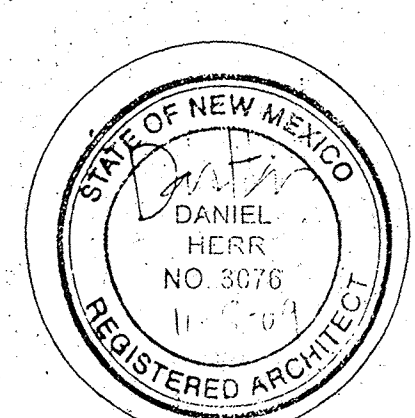


**ADMINISTRATIVE AMENDMENT**  
File #03AA40163 Project # 1000857  
Removal of drive-up service window  
revised parking, altered expansion  
footprints, phased construction  
Ernesto R. Pantoja 23 Nov 09  
APPROVED BY DATE



**RECEIVED**  
JAN 12 2010  
HYDROLOGY SECTION

**RECEIVED**  
JAN 12 2010  
HYDROLOGY SECTION



revisions:

date: 11/5/09  
sheet: A001