

CITY OF ALBUQUERQUE

Planning Department
David Campbell, Director



Mayor Timothy M. Keller

March 8, 2019

John Nourzad, P.E.
GreenbergFarrow
3 Executive Drive, Suite 150
Somerset, NJ 08873

**RE: Murphy Express – Cottonwood
3751 Hwy 528 NW
Temporary C.O. - Accepted
Engineer's Certification Dated 03/08/19
Engineer's Stamp Date: 05/09/18
Hydrology File: A14D003A**

Dear Mr. Nourzad:

Based on the Certification received 03/08/2019 and site visit on 03/08/19, this certification is approved in support of Temporary Release of Occupancy by Hydrology. The following comment needs to be addressed prior to acceptance for Permanent C.O. of the above referenced project:

1. Please provide the required submittal fee of \$300 for the application for Temporary Release of Occupancy by Hydrology.
2. Please follow the DPM's checklist for non-subdivisions. Also please add the attached certification to the Grading & Drainage Plan. See section below.

6-13(F) ENGINEER'S CERTIFICATION FOR NON-SUBDIVISIONS

Use this checklist when certifying compliance with an approved drainage report or drainage plan for public, commercial and multi-residential buildings requiring a Certificate of Occupancy building permit or grading and paving projects. Engineer must revise the original drawing as approved with the following information which shall serve as minimum criteria for evaluation. This is merely a guide. The level of detail necessary for presentation and verification is a function of the specific plan being evaluated. The engineer's certification must be approved prior to the release of the issuance of a Certificate of Occupancy, or acceptance (by the City) of the completed work.

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1. Completed Information Sheet - see Information Sheet.
2. Provide as-built finished floor and/or pad
3. Provide as-built spot elevations on the property line and/or limits of phase development (points of significant grade changes) to demonstrate compliance with the approved drainage report or drainage plan.
4. Provide written acknowledgement of completed construction from the appropriate government agencies for construction within their right-of-ways and/or easements.
5. Outline the as-built drainage basin(s) (including roof areas) supported with sufficient spot elevations and roof drain locations.
6. Provide as-built elevations and dimensions for the following structures:
 - a. Pond(s) (include as-built volume calculations)
 - b. Pipe inlet(s) and outlet(s) (include as-built capacity calculations)
 - c. Rundown(s) (including the required inlet dimensions)
 - d. Spillway(s) (including the required outlet dimensions)
 - e. Channel(s)
 - f. Flowlines
 - g. Erosion control and stormwater pollution prevention structure(s)
 - h. Temporary drainage, erosion control and stormwater pollution prevention facilities required for phased development
 - i. Retaining and/or garden wall(s)
 - j. Other features critical to the drainage scheme.
7. Professional Certification
 - a. Engineer's stamp dated and signed accompanied with a statement indicating substantial compliance with the approved drainage report and/or deficiencies with recommended corrections.
 - b. The surveying associated with the certification must be performed by a professional engineer and/or surveyor in accordance with the "New Mexico Engineering and Surveying Practice Act" as amended and any standards adopted by the State Board of Registration.

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

Please resubmit for a request for permanent release of Certificate of Occupancy once these two items have been fixed. An administration fee of only \$40 will be required for this resubmittal since I will not have to visit the site.

If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov.

Sincerely,

Renée C. Brissette, P.E. CFM
Senior Engineer, Hydrology
Planning Department



1430 West Peachtree Street, NW
Suite 200
Atlanta, GA 30309
404.601.4000
www.greenbergfarrow.com
We Are Global

March 8, 2019

To Renee Brissette
City of Albuquerque

Project Murphy Oil - Albuquerque NM
Project # 20160897.0
Re Hydrology Certification

HYDROLOGY CERTIFICATION

I, John Nourzad, NMPE 19062, OF THE FIRM GreenbergFarrow, HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 12/19/18. THE RECORD INFORMATION SHOWN ON THE ENCLOSED AS-BUILT SURVEY HAS BEEN OBTAINED BY Russ Hugg, NMPS 9750, OF THE FIRM SurvTek. I FURTHER CERTIFY THAT I HAVE REVIEWED AS-BUILT SURVEY AND SITE PICTURES OF THE PROJECT SITE ON 3/8/19 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR TEMPORARY CERTIFICATE OF OCCUPANCY.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED

TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE

Signature of Engineer

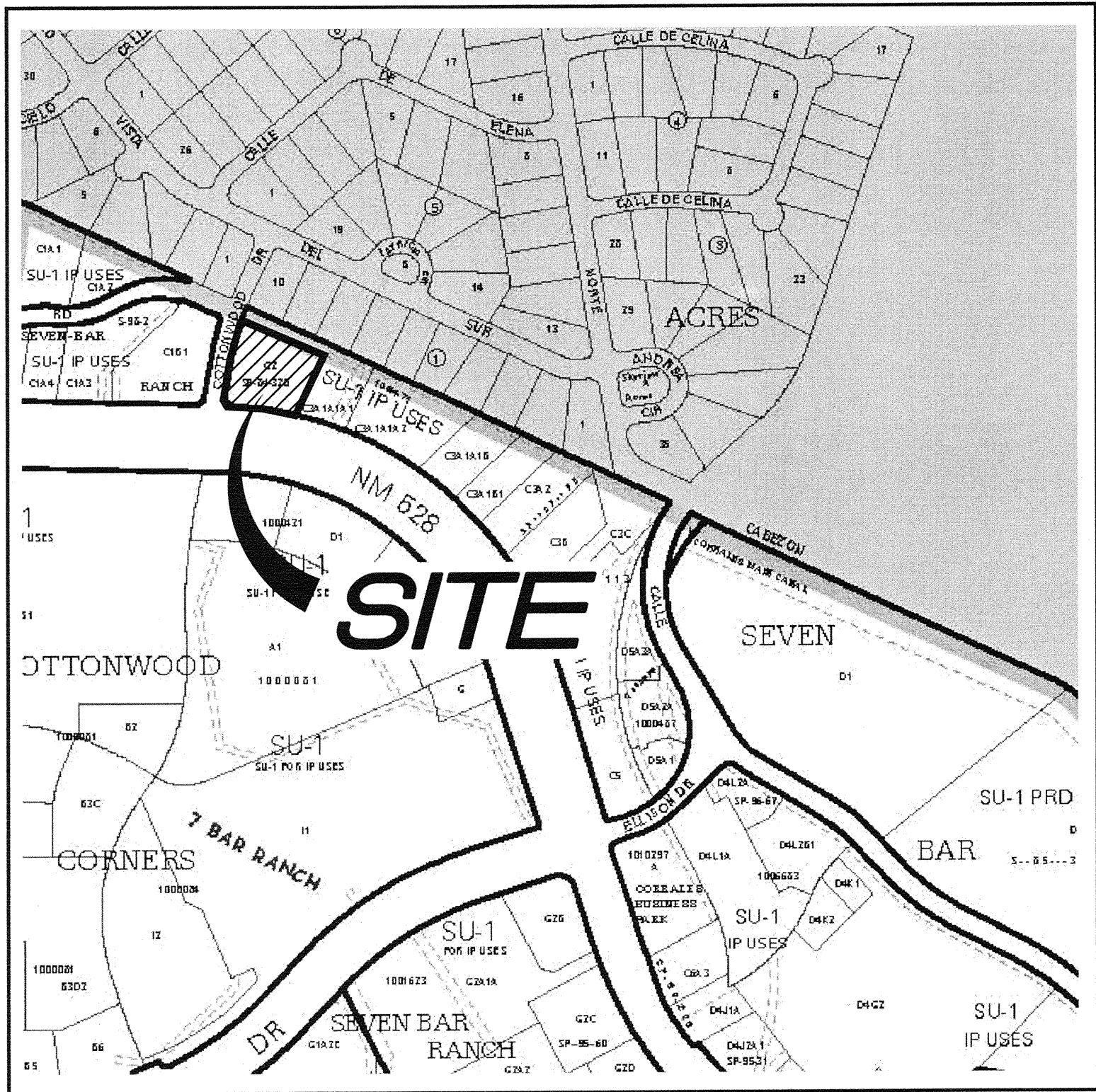
ENGINEER'S STAMP



MAR 08 2019

Date

TOPOGRAPHIC AND BOUNDARY SURVEY OF
TRACT C-2
SEVEN - BAR RANCH
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
MARCH, 2019



VICINITY MAP
Not To Scale

LEGAL DESCRIPTION

As contained in the Title Commitment prepared for this property by Fidelity National Title Insurance Company, Commitment No.: SP000020515, Effective Date: April 4, 2017.

Tract lettered "C-2" of SEVEN BAR RANCH, Albuquerque, New Mexico, as the same is shown and designated on the plat thereof, filed in the office of the County Clerk of Bernalillo County, New Mexico on July 26, 1984, in Plat Book C24, folio 136.

FLOOD ZONE DETERMINATION

The subject property appears to lie within "ZONE X" (Areas determined to be outside the 0.2% annual chance floodplain) as shown on National Flood Insurance Program Flood Insurance Rate Map Number 35001C0109H, Map Revised August 16, 2012.

GENERAL NOTES

- Bearings are grid based on New Mexico State Plane Coordinate System, Central Zone (NAD 83).
- Distances are ground.
- Distances along curved lines are arc lengths.
- Record Plat or Deed bearings and distances, where they differ from those established by this field survey, are shown in parentheses ().
- All corners found in place and held were tagged with a brass disk stamped "HUGG L.S. 9750" unless otherwise indicated hereon.
- All corners that were set are either a 5/8" rebar with cap stamped "HUGG L.S. 9750" or a concrete nail with brass disk stamped "HUGG L.S. 9750" unless otherwise indicated hereon.
- Field surveys were performed during the month of March, 2019.
- Contour interval is one foot.
- Vertical Datum is based upon the Albuquerque Control Survey Monument "10-A14", Elevation = 5058.821 feet (NAVD 1988).
- Documents used in the preparation of this survey:
 - Plat entitled "TRACTS C-1, THRU C-6 SEVEN-BAR RANCH WITHIN PROJECTED SECTIONS 5 & 6, TOWNSHIP 11 NORTH, RANGE 3 EAST NEW MEXICO PRINCIPAL MERIDIAN TOWN OF ALAMEDA GRANT CITY OF ALBUQUERQUE BERNALILLO COUNTY, NEW MEXICO FEBRUARY, 1984", filed in the office of the County Clerk of Bernalillo County, New Mexico, on July 26, 1984, in Volume C-24, Folio 136.
 - Title Commitment prepared for this property by Fidelity National Title Insurance Company, Commitment No.: SP000020515, Effective Date: April 4, 2017.
- The word Certify or Certification as used herein is understood to be an expression of professional opinion by the surveyor, based upon his best knowledge, information and belief, as such, and does not constitute a guarantee, nor a warranty, expressed or implied.
- Albuquerque Zone Atlas Page A-14-Z.
- A current title report was not provided for this property. Any possible easements, conditions or restrictions that may be disclosed by such a report are not shown on this survey.

UTILITY DISCLAIMER

SOURCE INFORMATION FROM PLANS AND MARKINGS HAVE BEEN BE COMBINED WITH OBSERVED EVIDENCE OF UTILITIES TO DEVELOP A VIEW OF THOSE UNDERGROUND UTILITIES. HOWEVER, LACKING EXCAVATION, THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY, COMPLETELY AND RELIABLY DEPICTED. WHERE ADDITIONAL OR MORE DETAILED INFORMATION IS REQUIRED, THE CLIENT IS ADVISED THAT EXCAVATION MAY BE NECESSARY.

NMB11 LOCATE REQUEST TICKET NUMBER: 17AP200180, CREATION DATE: 04/20/17.

THE RETAINING OF A PRIVATE UTILITY LINE-SPOTTING COMPANY MAY BE NECESSARY FOR COMPLETE UTILITY LINE-SPOTTING OF A SUBJECT PROPERTY.

ANY PIPE SIZES OR MATERIAL TYPES SHOWN HEREON WERE DERIVED FROM ASBUILT PLANS AS PROVIDED BY THE VARIOUS UTILITY COMPANIES. SURV-TEK, INC. MAKES NO REPRESENTATION THAT SAID INFORMATION IS CURRENT OR CORRECT.

ARCHITECT, ENGINEER, AND CONTRACTOR WILL BE RESPONSIBLE FOR VERIFICATION OF SAID INFORMATION DURING THEIR DESIGN PROCESS.

QUALIFIED SUBSURFACE UTILITY ENGINEERING (SUE) SERVICES MAY BE REQUIRED FOR OBTAINING INACCESSIBLE UTILITY DATA AND MUNICIPAL AUTHORIZATION AND PERMITTING FOR TRAFFIC BLOCKADING AND BARRICADE PLANS.

UTILITIES LABELED WITH AN ASTERISK (*) ARE DERIVED AND/OR TRANSCRIBED FROM PROVIDED PLANS AND MUST BE VERIFIED BY THE APPROPRIATE UTILITY.

UTILITIES LABELED WITH AN POUND SIGN (#) ARE ASSUMED UTILITY LOCATIONS AND MUST BE VERIFIED BY THE APPROPRIATE UTILITY.

SURVEYORS CERTIFICATION

I, Russ P. Hugg, New Mexico Professional Surveyor Number 9750, hereby certify that this Topographic and Boundary Survey Plat was prepared from and actual ground survey performed by me or under my direct supervision; that I am responsible for this survey; that this survey is true and correct to the best of my knowledge and belief; and that this Topographic and Boundary Survey Plat and the field survey upon which it is based meet the Minimum Standards for Surveying in New Mexico; and that this survey is not a land division or subdivision as defined in the New Mexico Subdivision Act and that this is a Topographic and Boundary Survey Plat of 1 platted tract.

Russ P. Hugg
NMPS No. 9750
March 22, 2019



TOPOGRAPHIC AND BOUNDARY SURVEY OF
TRACT C-2
SEVEN - BAR RANCH

CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
MARCH, 2019

CURVE TABLE						
CURVE	LENGTH	RADIUS	TANGENT	CHORD	CHORD BEARING	DELTA
C1	192.31'	1054.93'	96.42'	192.05'	N81°36'42"W	10°26'42"
C2	42.22'	25.00'	28.14'	37.38'	N38°27'13"W	96°45'40"
C3	110.99'	733.94'	55.60'	110.89'	N14°15'34"E	8°39'53"
C4	11.24'	15.00'	5.90'	10.98'	N82°29'13"E	42°55'21"

LEGEND

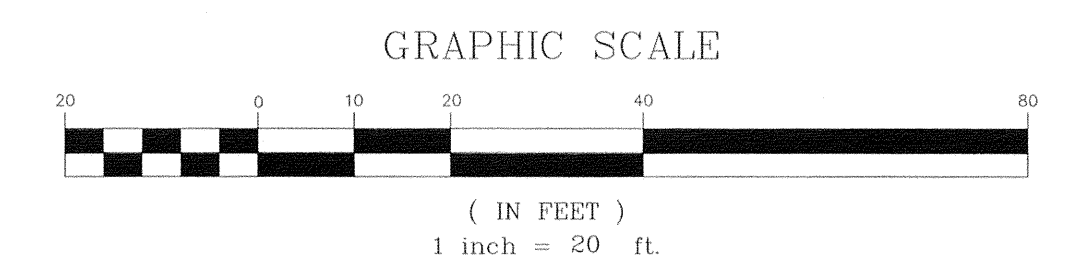
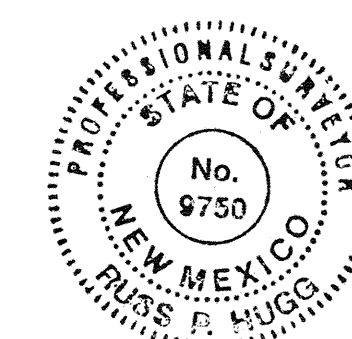
- Storm Drain Manhole
- Sanitary Sewer Manhole
- Sanitary Sewer Line
- Storm Drain Line
- Storm Drain Inlet
- Power Pole w/underground feed
- High Voltage Tower
- Guy Wire
- Overhead Wire
- Underground Electric line
- Underground Communications Line
- Underground Gas Line
- Underground Water Line
- Sanitary Sewer Clean-out
- Water Meter
- Water Valve
- Hydrant
- Electric Transformer
- Utility Panel
- Traffic Box
- Telephone Pedestal
- Overhead Traffic Light Pole
- Traffic Light Post
- Utility Box
- Light Pole
- Ballard
- Concrete Symbol
- Gas Meter
- Wall
- Monitoring Well
- Handicap Parking Sign
- Handicap Parking Space
- Hot Box
- Utility Vault
- Mail Box
- Bike Rack
- R.T.D.M. Raised Truncated Dome Mat
- Control Point

INVERT DATA

- Storm Drain Inlet
Top of Grate= 5059.88'
Inv.= 5056.1' (E)
- Storm Drain Inlet
Top of Grate= 5060.72'
Inv.= 5054.9' (W)
Inv.= 5054.7' (S)
- Storm Drain Inlet
Top of Grate= 5060.72'
Inverts inaccessible
Sump= 5051.6±
- Storm Drain MH
Rim= 5059.49'
Inv.= 5054.1' (W)
Inv.= 5054.1' (N)
- Storm Drain Inlet
Top of Grate= 5060.13'
Inv.= 5055.0' (E)
- Inv.= 5052.8'
- Flow Line 6"± Dia.
Inlet= 5052.1'
- Concrete Drainage Structure
Top of Grate= 5058.82'
Inv.= 5051.7'

KEYED EASEMENTS

- 10' Underground Easement granted by document filed April 3, 1985 in Misc. Book 216A, Page 656.
- 10' Public Utility Easement granted by document filed March 12, 1985 in Misc. Book 209A, Page 88



SHEET 2 OF 2

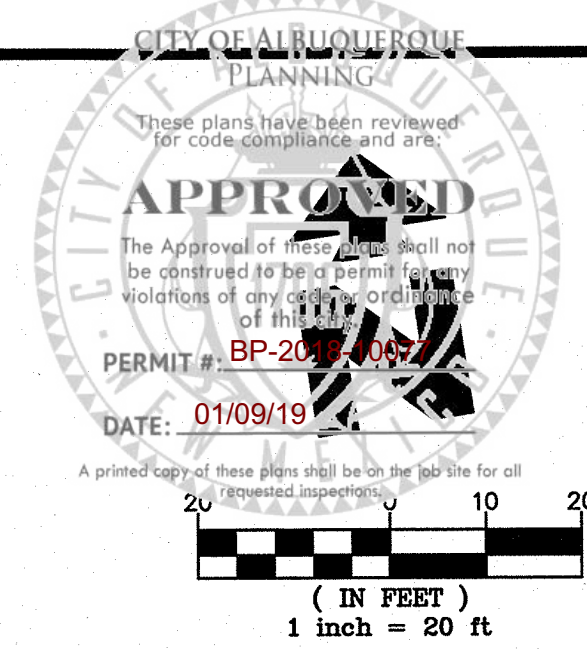
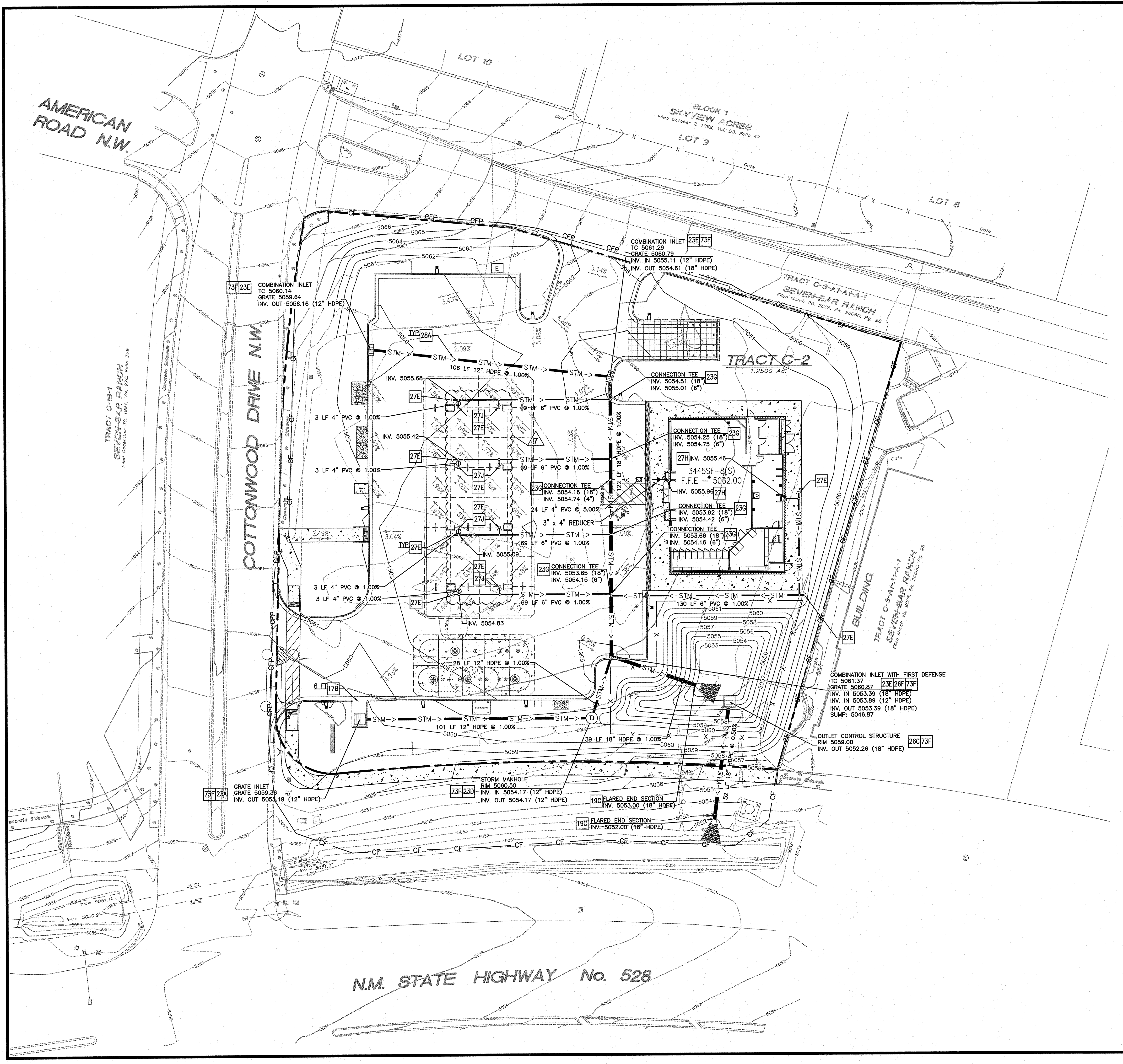
SURV-TEK
Consulting Surveyors

9384 Valley View Drive, N.W. Albuquerque, New Mexico 87114 Phone: 505-897-3366 Fax: 505-897-3377

190094.dwg

Albuquerque Control Survey Monument "10-A14"
New Mexico State Plane Coordinates
Central Zone - NAD 83
North= 1,528,973.229 feet
East= 1,521,354.471 feet
Ground To Grid Factor= 0.999879709
Mapping Angle= -0°13'47.11"
Elevation= 5058.821 feet

N.M. STATE HIGHWAY No. 528
200' R/W



EXISTING	
Sanitary Sewer Manhole	Hand Railing
Power Pole w/underground feed	Light Pole
Power Pole	Bollard
High Voltage Tower	Concrete Symbol
Guy Wire	Telephone Pedestal
Overhead Wires	Underground Electric Line
Water Meter	Underground Communications Line
Water Valve	Underground Gas Line
Hydrant	Underground Water Line
Electric Meter	SAS Sanitary Sewer Line
Traffic Box	SD Storm Drain Line
Overhead Traffic Light Pole	Control Point
Fence	Wall
PROPOSED	
PROPERTY LINE	
PROPOSED INTEGRAL CURB	
PROPOSED CONTOUR	
CONSTRUCTION FENCE	
CONSTRUCTION FENCE ON PAVEMENT (SEE DETAIL SHEETS)	
DRAINAGE SLOPE AND DIRECTION	
PROPOSED STORM SEWER PIPE	

- GENERAL GRADING NOTES**
- PRIOR TO INSTALLATION OF STORM OR SANITARY SEWER, WATER MAIN OR ANY OTHER UTILITIES, THE CONTRACTOR SHALL EXCAVATE, VERIFY, AND CALCULATE ALL POINTS OF CONNECTION AND ALL UTILITY CROSSINGS AND INFORM THE OWNER AND THE ENGINEER OF ANY CONFLICTS OR REQUIRED OPERATIONS FROM THE PLAN PRIOR TO CONSTRUCTION. NOTIFICATION SHALL BE MADE A MINIMUM OF 72 HOURS PRIOR TO CONSTRUCTION, THE ENGINEER AND ITS CLIENTS SHALL BE HELD HARMLESS IN THE EVENT THAT THE CONTRACTOR FAILS TO MAKE SUCH NOTIFICATION.
 - ALL SLOPES AND AREAS DISTURBED BY CONSTRUCTION SHALL BE GRADED SMOOTH AND FOUR INCHES OF TOPSOIL APPLIED. IF ADEQUATE TOPSOIL IS NOT AVAILABLE ON SITE, THE CONTRACTOR SHALL PROVIDE TOPSOIL, APPROVED BY THE OWNER, AS NEEDED. THE AREA SHALL THEN BE SEEDED/SODDED, FERTILIZED, MULCHED, WATERED AND MAINTAINED UNTIL HARDY GRASS GROWTH IS ESTABLISHED IN ALL AREAS. ANY RELOCATED TREES SHALL BE MAINTAINED UNTIL SUCH POINT AS TREE IS RE-ESTABLISHED. ANY AREAS DISTURBED FOR ANY REASON PRIOR TO FINAL ACCEPTANCE OF THE PROJECT SHALL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
 - THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES.
 - REFER TO GEOTECHNICAL REPORT FOR SPECIFIC SITE SOIL CONDITIONS AND CONSIDERATIONS.
 - CONTRACTOR SHALL COMPLY COMPLETELY WITH THE LATEST STANDARDS OF OSHA DIRECTIVES OR ANY OTHER AGENCY HAVING JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURES. THE CONTRACTOR SHALL USE SUPPORT SYSTEMS, SLOPING, BENCHING AND OTHER MEANS OF PROTECTION. THIS IS TO INCLUDE, BUT NOT LIMITED TO ACCESS AND EGRESS FROM ALL EXCAVATION AND TRENCHING. CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH PERFORMANCE CRITERIA AS REQUIRED BY OSHA.
 - ALL HDPE SHALL BE N-12 WT IB (OR EQUIVALENT) WITH SMOOTH INTERIOR AND ANNUAL EXTERIOR CORRUGATIONS. 4"-60" PIPE SHALL MEET ASTM F2648 (OR ASHTO M252 TYPE S) REQUIREMENTS, AND SHALL HAVE A MINIMUM MANHOLES 1" DESIGN VALUE OF 0.012. JOINTS SHALL BE WATER-TIGHT ACCORDING TO ASTM D3212 (OR ASHTO M252, M294) REQUIREMENTS. GASKETS SHALL MEET THE REQUIREMENTS OF ASTM F477. JOINT PERFORMANCE, FITTINGS, MATERIAL PROPERTIES, AND INSTALLATION SHALL BE DONE PER THE COMPLETE ADS SPECIFICATION FOR ADS N-12 WT IB PIPE FOUND IN THE ADS, INC. DRAINAGE HANDBOOK, LATEST EDITION.
 - IF USING HDPE PERFORATED PIPE FOR SUBSURFACE DRAINAGE AND DETENTION/RETENTION SYSTEMS, THE PERFORATIONS SHALL MEET THE ASHTO CLASS II STANDARD PERFORATION PATTERN REQUIREMENTS.
 - ALL STORM SEWER LINES 18"-54" DIAMETER ARE TO BE REINFORCED CONCRETE PIPE ACCORDING TO ASTM C-76 TYPE II UNLESS OTHERWISE INDICATED.

STORM DETAILS - SEE DETAIL SHEETS	
17B	CONCRETE FLUME (SEE SIZE THIS SHEET)
19C	FLARED END SECTION
23A	GRATE INLET
23B	STORM DRAIN MANHOLE
23C	COMBINATION INLET
23G	TEE CONNECTION (INSERT TEE OR EQUIVALENT WATER TIGHT CONNECTION)
26C	DETENTION BASIN OUTFALL STRUCTURE
26F	FIRST DEFENSE STRUCTURE BY HYDRO INTERNATIONAL
27E	STORM DRAIN CLEAN-OUT
27J	ROOF DRAIN DOWNSPOUT CONNECTION
28A	CANOPY DRAIN DOWNSPOUT CONNECTION
73F	WATERSTOP STRUCTURE CONNECTION FOR HDPE PIPE

SHEET NO.

C-3.1

NOV 19 2018

STORM SEWER PLAN

MURPHY EXPRESS

3751 HIGHWAY 528 NW

ALBUQUERQUE NEW MEXICO

GreenbergFarrow

1430 W. PEACHTREEBLVD., SUITE 200
ALBUQUERQUE, NM 87102
PHONE: (404) 601 4000
FAX: (404) 601 9700
DWG NAME: ALBUQUERQUE, NM
JOB NO.: 20180897.0

MURPHY OIL USA, INC.

MURPHY USA

200 PEACH STREET

EL DORADO, AR 71730