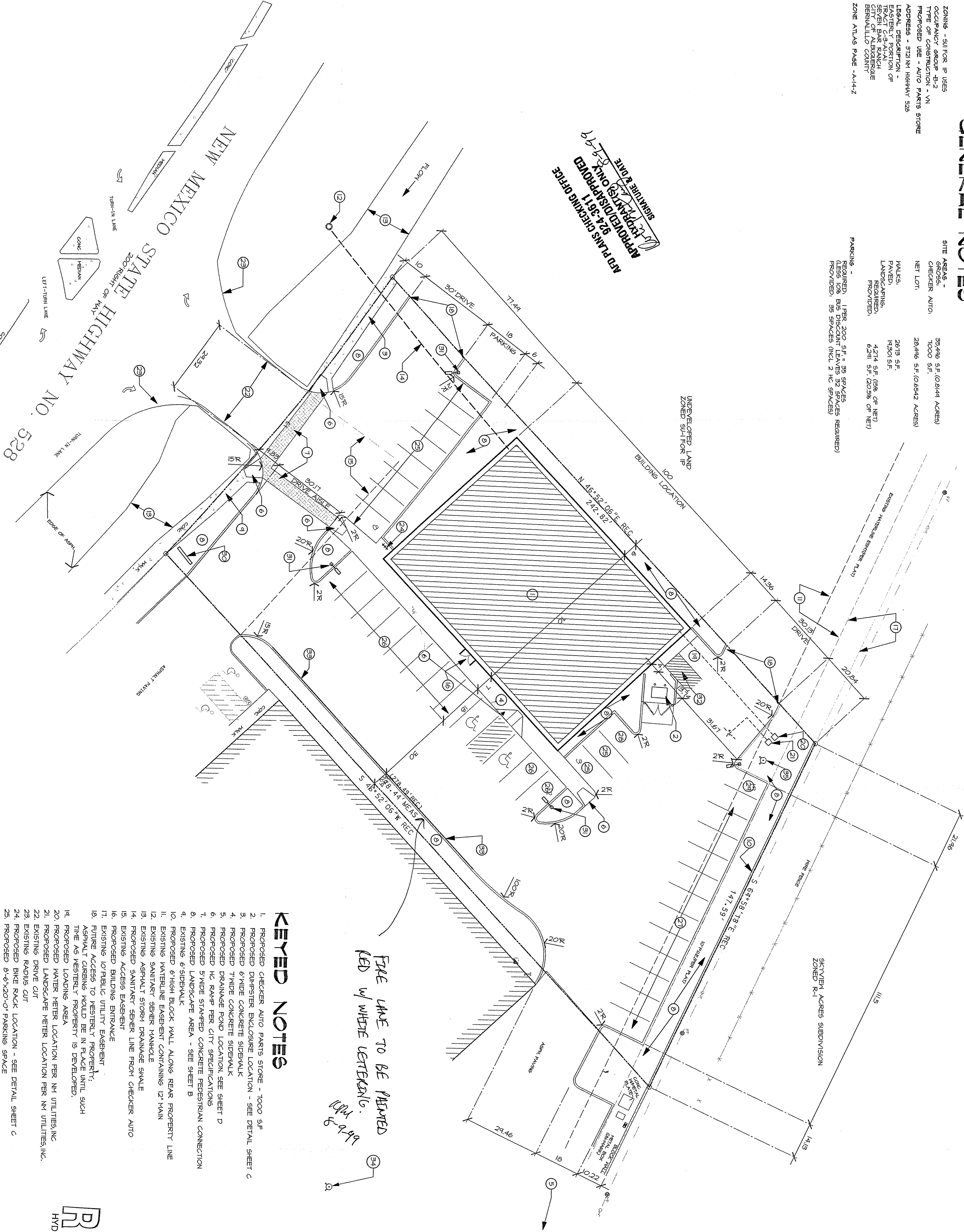


ZONING - SUIT FOR IP USES
OCCUPANCY GROUP - E-2
TYPE OF CONSTRUCTION - VN
PROPOSED USE - AUTO PARTS STORE
ADDRESS - 3721 NM HIGHWAY 528
LEGAL DESCRIPTION -
TRACT C-3-A-1-1
SEVEN EAK RANCH
COUNTY OF BERNALILLO
ZONE ATLAS PAGE A-14.2

GENERAL NOTES

SITE AREAS -
CHECKER AUTO
NET LOT
35,496 SF (0.814 ACRES)
1000 SF
28,446 SF (0.6542 ACRES)
PAVING
PAVED ASPHALT
LANDSCAPE
REQUIRED
PROVIDED
2679 S.F.
1920 S.F.
4,214 S.F. (10% OF NET)
6,241 S.F. (20.5% OF NET)
PARKING -
REQUIRED, 1 PER 200 SF = 35 SPACES
(LESS 10% BUS DISCOUNT LEAVES 32 SPACES REQUIRED)
PROVIDED, 35 SPACES (INCL. 2 HC SPACES)

APPROVED 8/24/99
APPROVED 8/24/99
SIGNATURE DATE



KEYED NOTES

1. PROPOSED CHECKER AUTO PARTS STORE - 1000 S.F.
2. PROPOSED DRIVE ENCLOSURE LOCATION - SEE DETAIL SHEET C
3. PROPOSED 6" WIDE CONCRETE SIDEWALK
4. PROPOSED 6" WIDE CONCRETE SIDEWALK
5. PROPOSED DRAINAGE POND LOCATION. SEE SHEET D
6. PROPOSED 1/2" RAMP PER CITY SPECIFICATIONS
7. PROPOSED 6" WIDE STAFFED CONCRETE PEDESTRIAN CONNECTION
8. PROPOSED LANDSCAPE AREA - SEE SHEET B
9. EXISTING 6" SIDEWALK
10. PROPOSED 6" HIGH BLOCK WALL ALONG REAR PROPERTY LINE
11. EXISTING WATERLINE EASEMENT CONTAINING 12" MAIN
12. EXISTING SANITARY SEWER MANHOLE
13. EXISTING ASPHALT STORM DRAINAGE SWALE
14. PROPOSED SANITARY SEWER LINE FROM CHECKER AUTO
15. EXISTING ACCESS EASEMENT
16. PROPOSED BUILDING ENTRANCE
17. EXISTING 10" PUBLIC UTILITY EASEMENT
18. FUTURE ACCESS TO WESTERLY PROPERTY, ASPHALT CURBING WOULD BE IN PLACE UNTIL SUCH TIME AS WESTERLY PROPERTY IS DEVELOPED.
19. PROPOSED LOADING AREA
20. PROPOSED WATER METER LOCATION PER NM UTILITIES, INC.
21. PROPOSED LANDSCAPE METER LOCATION PER NM UTILITIES, INC.
22. EXISTING DRIVE CUT
23. EXISTING RADIUS CUT
24. PROPOSED BIKE RACK LOCATION - SEE DETAIL SHEET C
25. PROPOSED 8'-6" X 20'-0" PARKING SPACE
26. PROPOSED 8'-6" X 20'-0" PARKING SPACE
27. PROPOSED 8'-6" X 20'-0" PARKING SPACE
28. PROPOSED 8'-6" X 20'-0" PARKING SPACE
29. PROPOSED 8'-6" X 20'-0" PARKING SPACE
30. PROPOSED 8'-6" X 20'-0" PARKING SPACE
31. SITE LIGHTING FIXTURE MAX. HEIGHT 20'-0". SEE DETAIL SHEET C
32. YELLOW 4" STRIPED AREA
33. PAINT RED ALONG CURBSIDE NO PARKING - FIRE LANE
34. EXISTING FIRE HYDRANT
35. PROPOSED NEW FIRE HYDRANT LOCATION

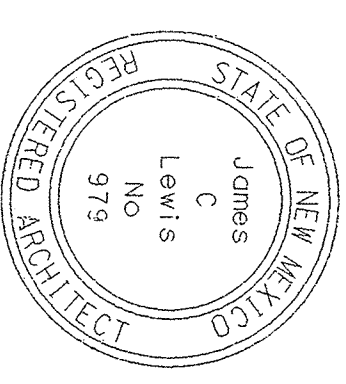
FILE NAME TO BE PROVIDED
LED w/ WHITE VERTICAL
8-9-99

RECEIVED
AUG 23 1999
HYDROLOGY SECTION

SITE DEVELOPMENT PLAN

3721 NM Highway 528
Albuquerque, New Mexico 87114

SLNB Architects Inc.
1620 Central Ave SE
Albuquerque NM 87106
(505) 247-1528
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ENGINEER

SITE PLAN

PROJECT
996
SHEET
A
OF 4