



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

January 12, 2000

John M. MacKenzie, PE
Mark Goodwin & Assoc., PA
P.O. Box 90606
Albuquerque, NM 87199

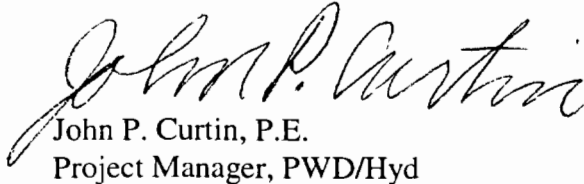
**RE: CONCEPTUAL G & D PLAN FOR COTTONWOOD CORNERS - TRACT I
RECEIVED NOV 24, 1999 FOR SITE DEV PLAN FOR SUB'D
ENGINEER'S STAMP DATED 9-23-99 (A-14/D7A)**

Dear Mr. MacKenzie:

Based on the information included in the -submittal referenced above, City Hydrology accepts the Conceptual Grading & Drainage Plan for Site Development Plan for Subdivision.

If I can be of further assistance, You may contact me at 768-2727.

Sincerely,


John P. Curtin, P.E.
Project Manager, PWD/Hyd

c: Inspector
DRB #94-582

DRAINAGE INFORMATION SHEET

PROJECT TITLE:	Cottonwood Corners - Tract 1	ZONE/ATLAS/DRNG, FILE#	A-14 / D007A
DRB#:	94-582	EPC#	WORK ORDER#:
LEGAL DESCRIPTION:	Tract O-A1 and O-2A-1 Seven Bar Ranch		
CITY ADDRESS:	NM 528 & Ellison NW		
ENGINEERING FIRM: Mark Goodwin & Associates, PA		CONTACT:	Gregory J. Krenik
ADDRESS:	P.O. Box 90606 Albuquerque, NM 87199	PHONE:	(505) 828-2200
OWNER: Cottonwood Corners LLC		CONTACT:	Don Dalton
ADDRESS:	6500 W. Frwy Ste 900 Fort Worth, TX 76116	PHONE:	(817) 377-7736
ARCHITECT:		CONTACT:	
ADDRESS:		PHONE:	
SURVEYOR:		CONTACT:	
ADDRESS:		PHONE:	
CONTACTOR:		CONTACT:	
ADDRESS:		PHONE:	

TYPE OF SUBMITTAL:

- | | |
|-------------------------------------|---|
| ☐ | DRAINAGE REPORT |
| ☐ | DRAINAGE PLAN |
| ☒ | CONCEPTUAL GRADING & DRAINAGE PLAN |
| ☐ | GRADING PLAN |
| ☐ | EROSION CONTROL |
| ☐ | ENGINEER'S CERTIFICATION |
| ☒ | OTHER - Previous Approvals
when known as
MAJOR 1 AND 1A |

PRE-DESIGN MEETING:

- | | |
|-------------------------------------|---------------|
| ☐ | YES |
| ☒ | NO |
| ☐ | COPY PROVIDED |

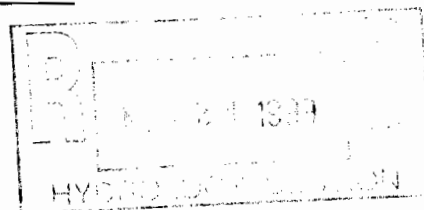
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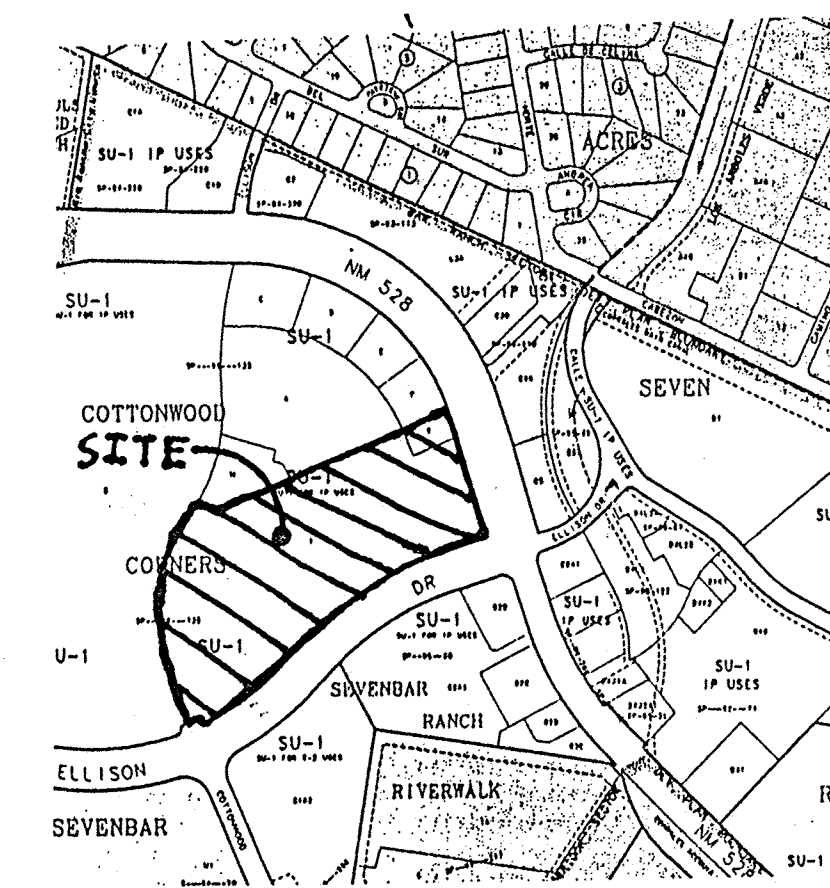
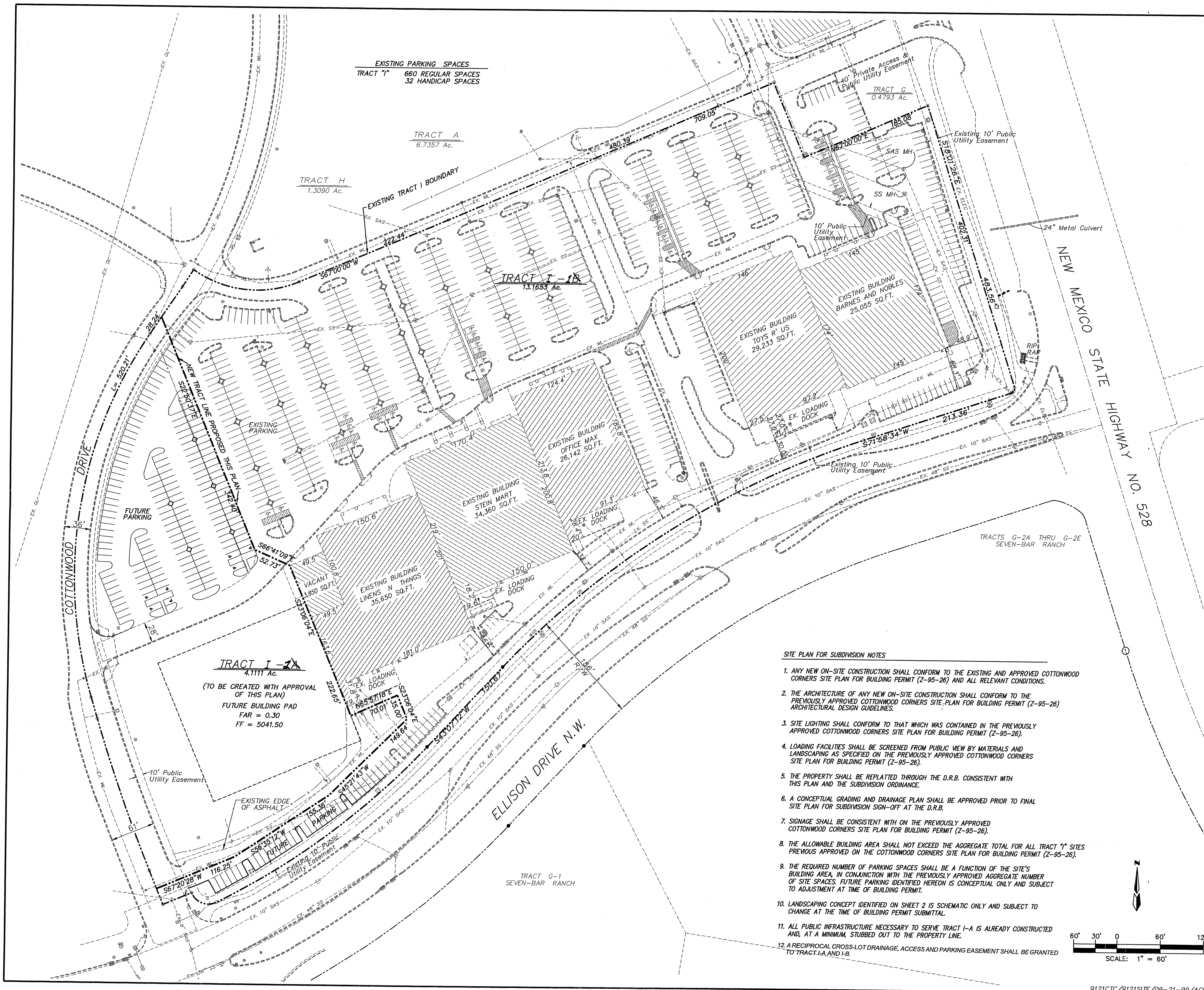
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|-------------------------------------|---------------------------------------|
| ☐ | SKETCH PLAT APPROVAL |
| ☐ | PRELIMINARY PLAT APPROVAL |
| ☒ | S. DEV. PLAN FOR SUB'D APPROVAL |
| ☐ | S. DEV. PLAN FOR BLDG PERMIT APPROVAL |
| ☐ | SECTOR PLAN APPROVAL |
| ☐ | FINAL PLAT APPROVAL |
| ☐ | FOUNDATION PERMIT APPROVAL |
| ☐ | BUILDING PERMIT APPROVAL |
| ☐ | CERTIFICATION OF OCCUPANCY APPROVAL |
| ☐ | GRADING PERMIT APPROVAL |
| ☐ | PAVING PERMIT APPROVAL |
| ☐ | S.A.D. DRAINAGE REPORT |
| ☐ | DRAINAGE REQUIREMENTS |
| ☐ | OTHER |

DATE SUBMITTED: 11-29-99

BY:

Gregory J. Krenik, PE





VICINITY MAP

ZONE MAP: A-14-Z

TOTAL TRACT I SITE AREA: 17.2764 ACRES
PROPOSED SUBDIVISION
TRACT I-A: 4.1111 ACRES
TRACT I-B: 13.1653 ACRES

Paul D. Brown 11-17-99
Transportation Development date
Edward L. Hany 11-17-99
Parks and Recreation date

LEGAL DESCRIPTION

TRACT I, COTTONWOOD CORNERS SUBDIVISION

LEGEND

- NEW PROPERTY LINE
- EXISTING BOUNDARY LINE
- EXISTING EASEMENTS
- EXISTING BUILDING
- EXISTING CURB & GUTTER
- EXISTING SAS
- EXISTING STORM SEWER
- EXISTING WATER LINE
- EXISTING FENCE
- EXISTING CABLE
- EXISTING DRAIN INLET
- EXISTING ELECTRIC MANHOLE
- EXISTING ELECTRIC PEDESTAL
- EXISTING ELECTRIC TRANSFORMER
- EXISTING GAS METER
- EXISTING GAS VALVE
- EXISTING GUY WIRE
- EXISTING HIGH VOLTAGE POLE
- EXISTING HYDRANT
- EXISTING LIGHT POLE
- EXISTING POWER POLE
- EXISTING SEWER CLEANOUT
- EXISTING TELEPHONE MANHOLE
- EXISTING TELEPHONE PEDESTAL
- EXISTING TRAFFIC
- EXISTING TRAFFIC BOX
- EXISTING WATER METER
- EXISTING WATER VALVE

SITE PLAN FOR SUBDIVISION NOTES

1. ANY NEW ON-SITE CONSTRUCTION SHALL CONFORM TO THE EXISTING AND APPROVED COTTONWOOD CORNERS SITE PLAN FOR BUILDING PERMIT (Z-95-26) AND ALL RELEVANT CONDITIONS.
2. THE ARCHITECTURE OF ANY NEW ON-SITE CONSTRUCTION SHALL CONFORM TO THE PREVIOUSLY APPROVED COTTONWOOD CORNERS SITE PLAN FOR BUILDING PERMIT (Z-95-26) ARCHITECTURAL DESIGN GUIDELINES.
3. SITE LIGHTING SHALL CONFORM TO THAT WHICH WAS CONTAINED IN THE PREVIOUSLY APPROVED COTTONWOOD CORNERS SITE PLAN FOR BUILDING PERMIT (Z-95-26).
4. LOADING FACILITIES SHALL BE SCREENED FROM PUBLIC VIEW BY MATERIALS AND LANDSCAPING AS SPECIFIED ON THE PREVIOUSLY APPROVED COTTONWOOD CORNERS SITE PLAN FOR BUILDING PERMIT (Z-95-26).
5. THE PROPERTY SHALL BE REPLATTED THROUGH THE D.R.B. CONSISTENT WITH THIS PLAN AND THE SUBDIVISION ORDINANCE.
6. A CONCEPTUAL GRADING AND DRAINAGE PLAN SHALL BE APPROVED PRIOR TO FINAL SITE PLAN FOR SUBDIVISION SIGN-OFF AT THE D.R.B.
7. SIGNAGE SHALL BE CONSISTENT WITH ON THE PREVIOUSLY APPROVED COTTONWOOD CORNERS SITE PLAN FOR BUILDING PERMIT (Z-95-26).
8. THE ALLOWABLE BUILDING AREA SHALL NOT EXCEED THE AGGREGATE TOTAL FOR ALL TRACT I SITE PREVIOUSLY APPROVED ON THE COTTONWOOD CORNERS SITE PLAN FOR BUILDING PERMIT (Z-95-26).
9. THE REQUIRED NUMBER OF PARKING SPACES SHALL BE A FUNCTION OF THE SITE'S BUILDING AREA, IN CONJUNCTION WITH THE PREVIOUSLY APPROVED AGGREGATE NUMBER OF SITE SPACES. FUTURE PARKING IDENTIFIED HEREON IS CONCEPTUAL ONLY AND SUBJECT TO ADJUSTMENT AT TIME OF BUILDING PERMIT.
10. LANDSCAPING CONCEPT IDENTIFIED ON SHEET 2 IS SCHEMATIC ONLY AND SUBJECT TO CHANGE AT THE TIME OF BUILDING PERMIT SUBMITTAL.
11. ALL PUBLIC INFRASTRUCTURE NECESSARY TO SERVE TRACT I-A IS ALREADY CONSTRUCTED AND, AT A MINIMUM, STUBBED OUT TO THE PROPERTY LINE.
12. A RECIPROCAL CROSS-LOT DRAINAGE, ACCESS AND PARKING EASEMENT SHALL BE GRANTED TO TRACT I-A AND I-B.

60' 30' 0' 60' 120'
SCALE: 1" = 60'

COTTONWOOD CORNERS - TRACT I

SITE DEVELOPMENT PLAN FOR SUBDIVISION

dmg MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505)828-2200, FAX (505)797-9539

Designed: GJK Drawn: ACH Checked: DMG Sheet 1 of 2
Scale: 1" = 60' Date: 09-21-99 Job: 99121

9121CTC/9121SITE/09-21-99/ACH

T B M (TEMPORARY BENCHMARK)

EXISTING MANHOLE RIM IN COTTONWOOD DR. AT ELLISON DR. AS SHOWN
ON PLAN.
ELEV. = 5039.90

ACS BENCHMARK

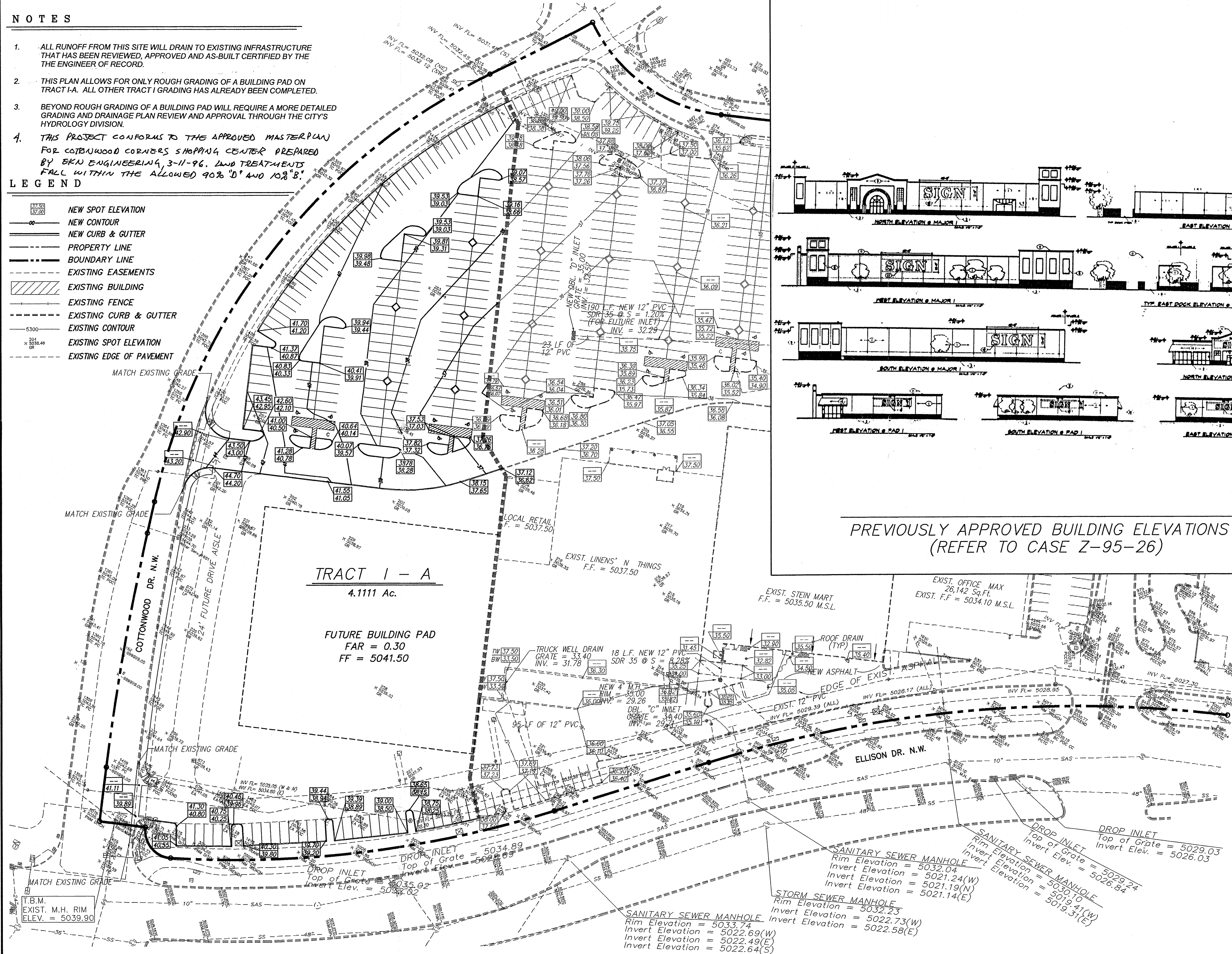
STANDARD NMSHC BRASS TABLET, STAMPED "NM448-N12"
X = 381,108.54
Y = 1,528,910.94
Z = 5023.411

NOTES

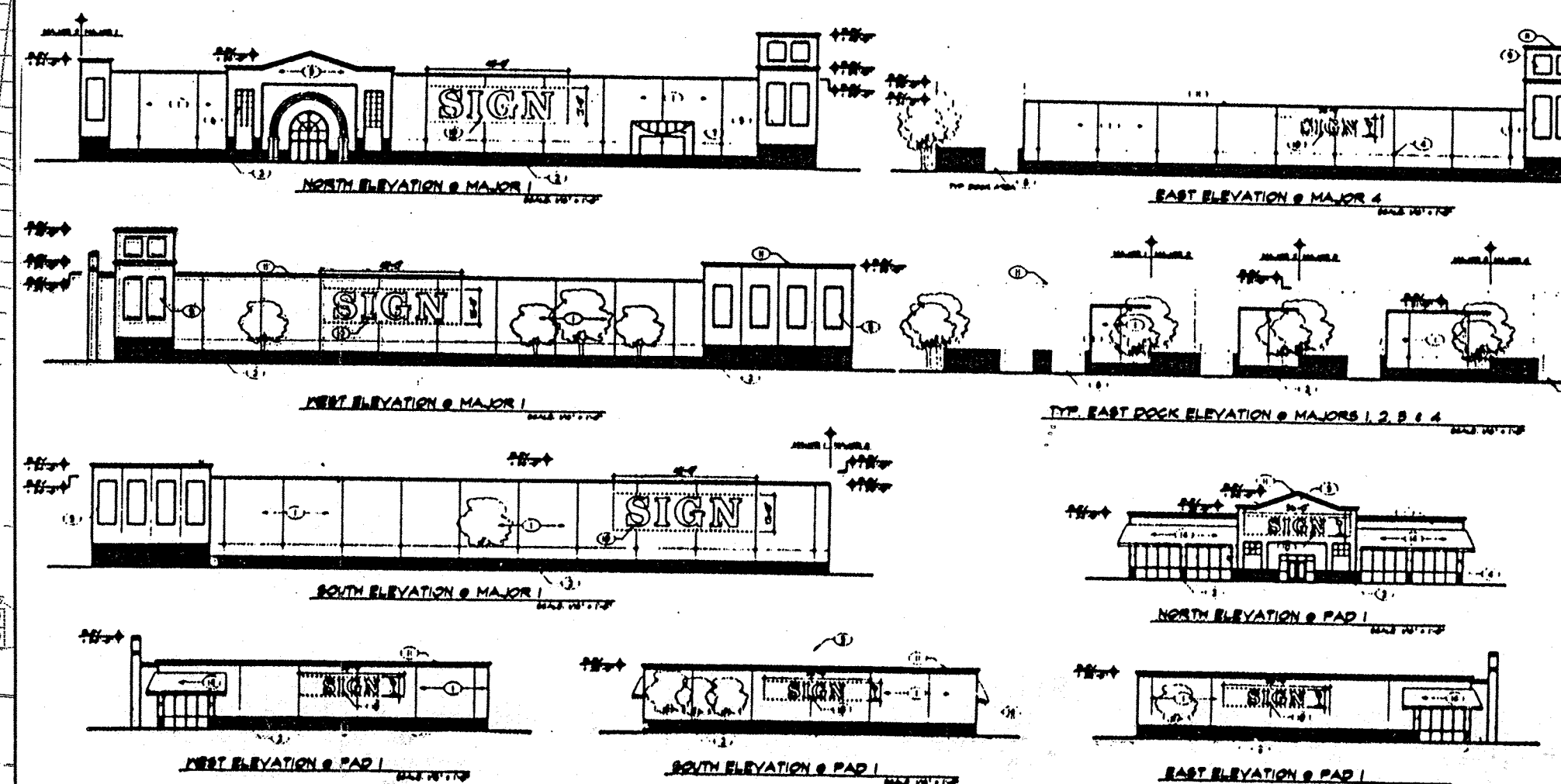
- ALL RUNOFF FROM THIS SITE WILL DRAIN TO EXISTING INFRASTRUCTURE THAT HAS BEEN REVIEWED, APPROVED AND AS-BUILT CERTIFIED BY THE ENGINEER OF RECORD.
- THIS PLAN ALLOWS FOR ONLY ROUGH GRADING OF A BUILDING PAD ON TRACT I-A. ALL OTHER TRACT I GRADING HAS ALREADY BEEN COMPLETED.
- BEYOND ROUGH GRADING OF A BUILDING PAD WILL REQUIRE A MORE DETAILED GRADING AND DRAINAGE PLAN REVIEW AND APPROVAL THROUGH THE CITY'S HYDROLOGY DIVISION.
- THIS PROJECT CONFORMS TO THE APPROVED MASTERPLAN FOR COTTONWOOD CORNERS SHOPPING CENTER PREPARED BY EKA ENGINEERING, 3-11-96. LAND TREATMENTS FALL WITHIN THE ALLOWED 90% "D" AND 10% "B".

LEGEND

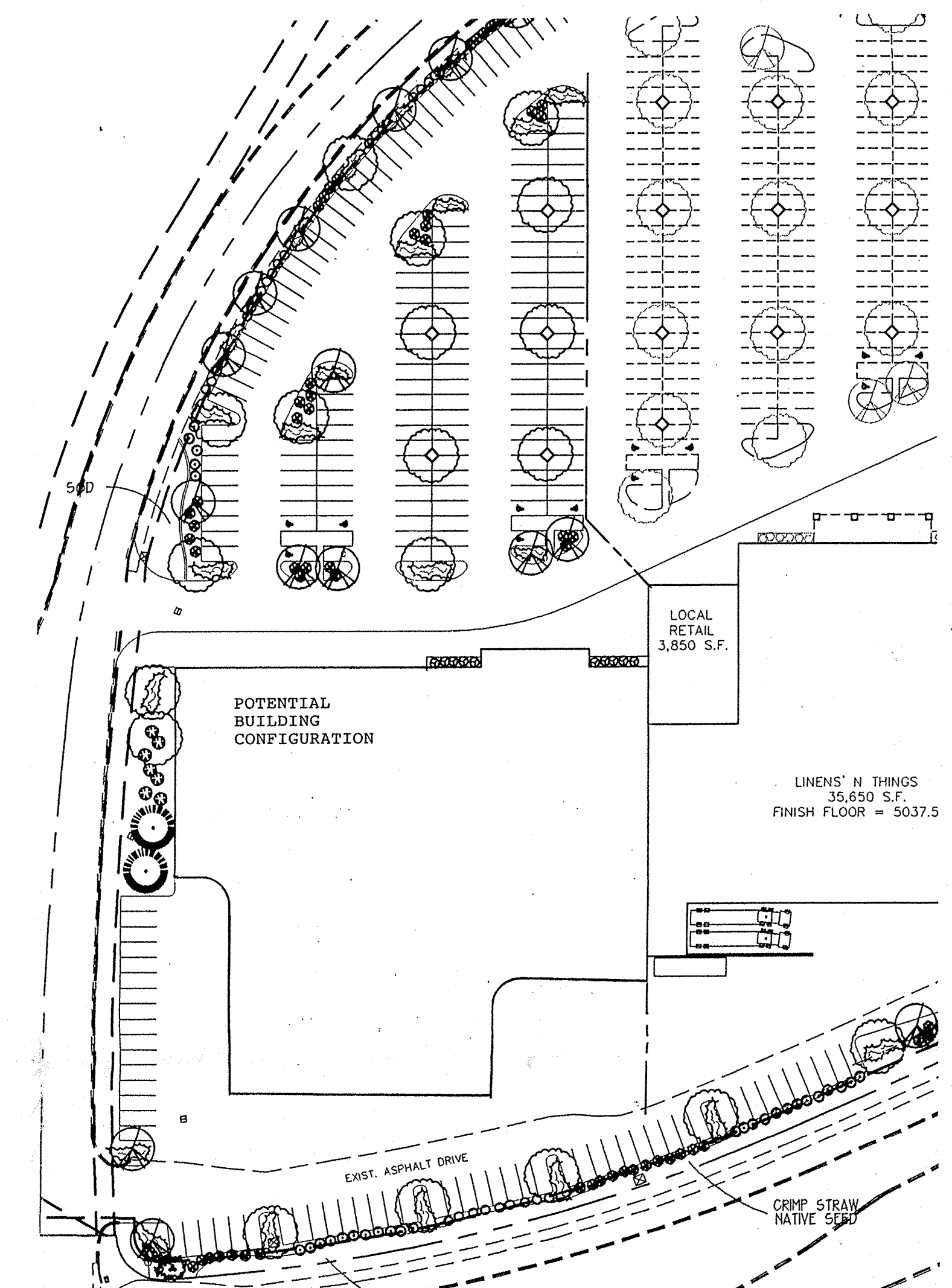
- NEW SPOT ELEVATION
- NEW CONTOUR
- NEW CURB & GUTTER
- PROPERTY LINE
- BOUNDARY LINE
- EXISTING EASEMENTS
- EXISTING BUILDING
- EXISTING FENCE
- EXISTING CURB & GUTTER
- EXISTING CONTOUR
- EXISTING SPOT ELEVATION
- EXISTING EDGE OF PAVEMENT



CONCEPTUAL GRADING AND DRAINAGE PLAN



PREVIOUSLY APPROVED BUILDING ELEVATIONS
(REFER TO CASE Z-95-26)

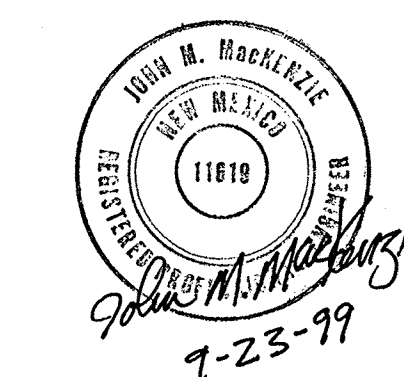


EXAMPLE LANDSCAPING CONCEPT

LANDSCAPE NOTES:
Landscape maintenance shall be the responsibility of the Property Owner.

It is the intent of this plan to comply with the City Of Albuquerque, water conservation landscaping and waste water ordinance, planting restriction approach.

Approval of this plan does not constitute or imply exemption from water waste provisions of the water conservation landscaping and water waste ordinance. Water management is the sole responsibility of the Property Owner.



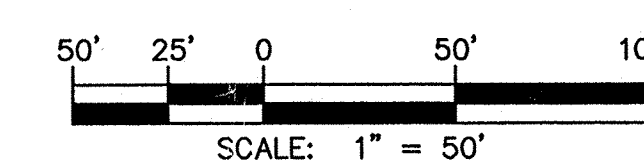
COTTONWOOD CORNERS - TRACT I

CONCEPTUAL GRADING & DRAINAGE
LANDSCAPE CONCEPT
APPROVED ELEVATIONS

MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS

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ALBUQUERQUE, NEW MEXICO 87199
(505)828-2200, FAX (505)797-9539

Designed: GJK Drawn: ACH Checked: DMG Sheet 2 of 2
Scale: 1" = 50' Date: 09-22-99 Job: 99121



9121CTC/9121GD50/09-22-99/ACH