



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

***Planning Department
Transportation Development Services Section***

May 16, 2003

Ronald R. Bohannon, P.E., Registered Architect
8509 Jefferson NE
Albuquerque, NM 87113

Re: Certification Submittal for Final Building Certificate of Occupancy for
Olive Garden/Red Lobster, [A-14 / D7E]
10500 Coors By Pass
Engineer's Stamp Dated 05/14/03

Dear Mr. Bohannon:

The TCL / Letter of Certification submitted on May 14, 2003 is sufficient for acceptance by this office for final Certificate of Occupancy (C.O.). Notification has been made to the Building and Safety Section.

Sincerely,

Nilo E. Salgado-Fernandez, P.E.
Senior Traffic Engineer
Development and Building Services
Planning Department

c: Engineer
Hydrology file
CO Clerk

TIERRA WEST, LLC

8509 Jefferson NE
Albuquerque, NM 87113

(505) 858-3100
fax (505) 858-1118

twllc@tierrawestllc.com
1-800-245-3102

May 14, 2003

Ms. Terry Martin
Public Works Department
City of Albuquerque
PO Box 1293
Albuquerque, NM 87103

**RE: Final Certification of Transportation for
Final Certificate of Occupancy
Olive Garden; 10500 Coors by Pass**

Dear Ms. Martin:

Enclosed please find one copy of the As-built Amended Site Plan and Information Sheet for the Olive Garden and Red Lobster Restaurants located in the Cottonwood Corners Development. Mike Petersen Construction completed the on-site paving, curb and gutter. Shrader & Martinez Construction, Inc., constructed the sidewalks. All work is in substantial compliance with the approved plan. Striping for the site is complete. As-built information was field verified by our office. We are, therefore, requesting Final Certificate of Occupancy. Construction of the pedestrian connection to Coors By-pass will be constructed with the development of Tract B-3. ADA Access to the Site is provided from Cottonwood Drive via concrete sidewalk construction involved with the adjacent Chucky Cheese Restaurant.

If you have any questions or need additional information regarding this matter, please do not hesitate to call me.

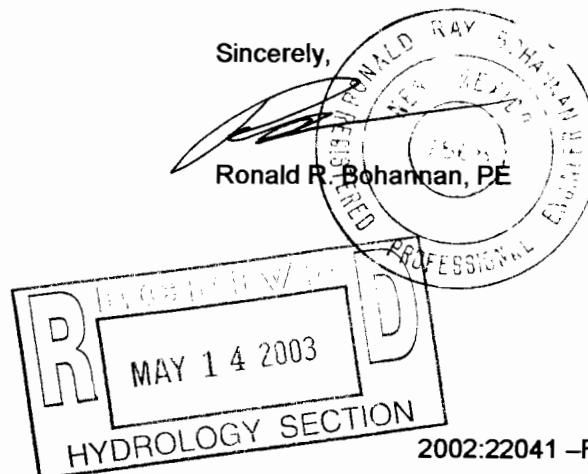
Sincerely,

Ronald R. Bohannon, PE

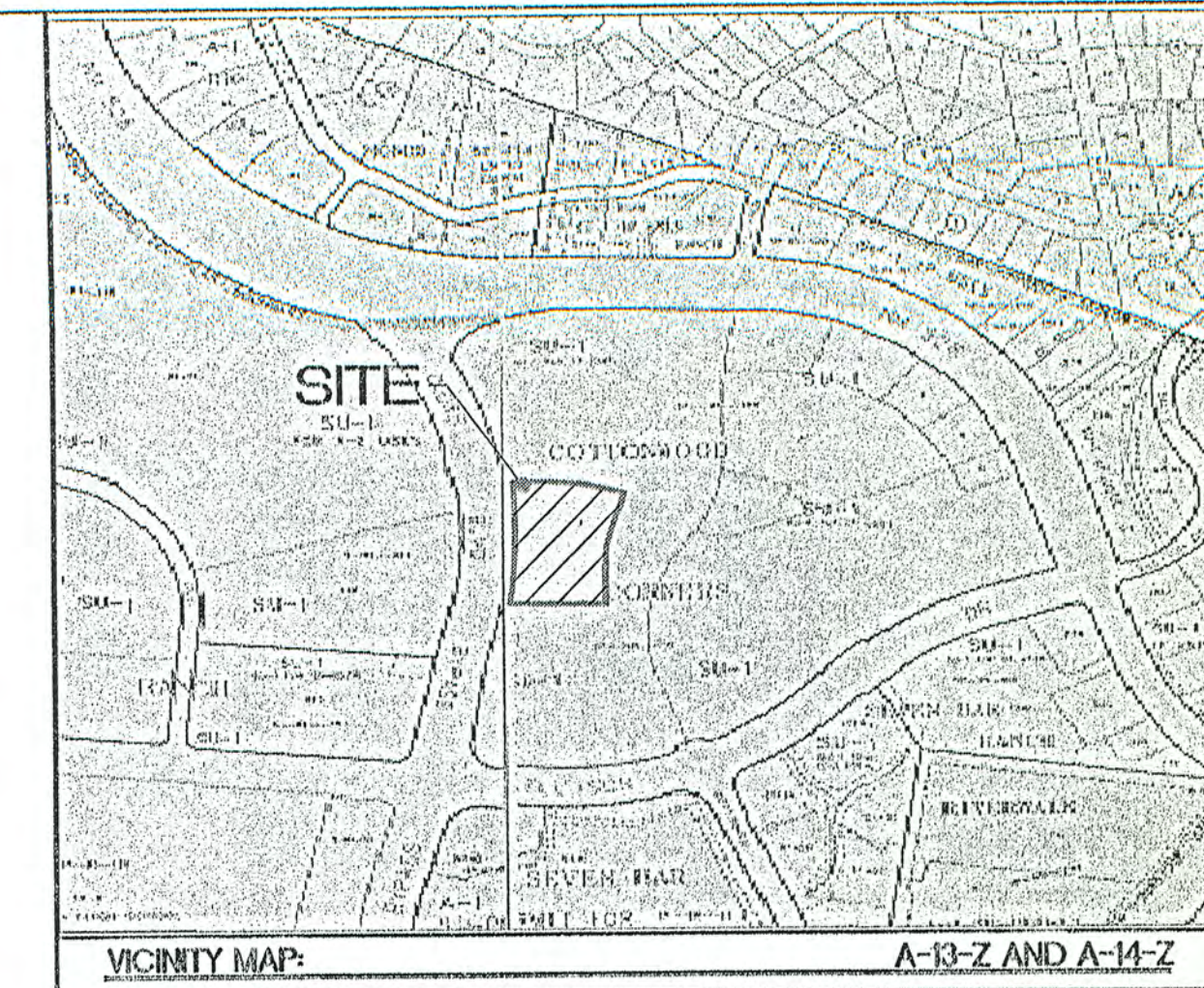
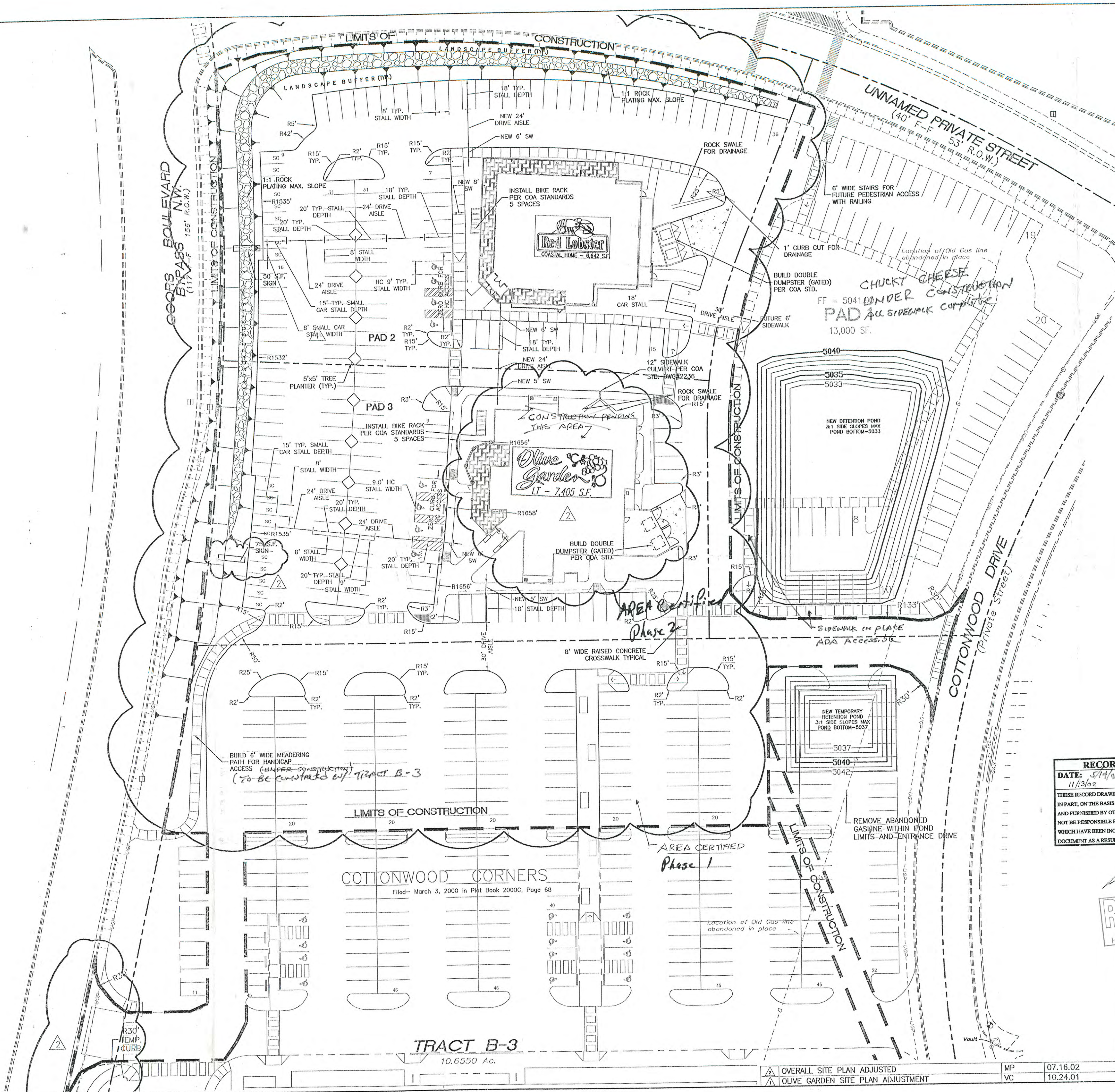
Enclosure/s

cc: Greg Foltz
Keith Holmes

JN: 21049
RRB/rw



2002:22041 -Final TransportationCO



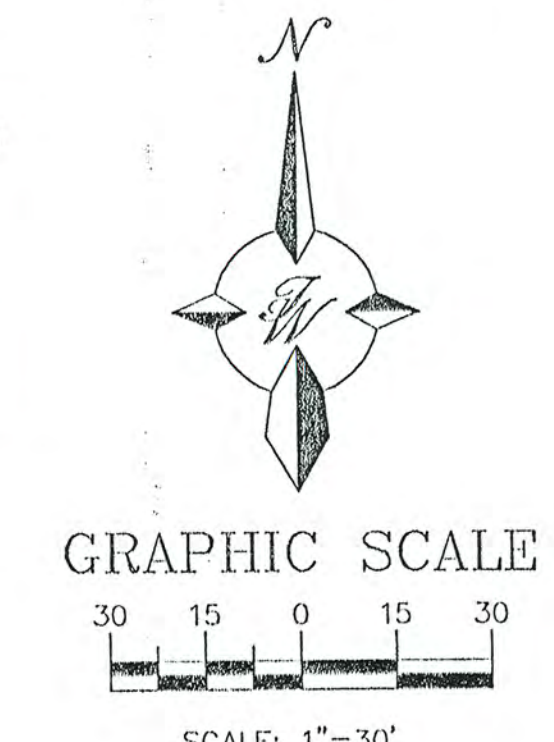
LEGAL DESCRIPTION:
TRACT B-1 COTTONWOOD CORNERS

NOTES:
1. ALL SPOT ELEVATIONS ARE AT FLOWLINE UNLESS NOTED.
2. REFER TO THE GEOTECHNICAL REPORT AND STRUCTURAL PLANS FOR ALL GROUND WORK PREPARATIONS.
3. ALL INLET ARE TO BE SINGLE "D" TYPE PER DETAIL SHEET ____ OF ____
4. LANDSCAPING AND TREES SHOWN FOR REFERENCE ONLY. SEE APPROVED LANDSCAPING PLAN FOR DETAILS.
5. ALL CURBWORK IS TO BE 6" HEADER CURB, UNLESS OTHERWISE SPECIFIED. COA STD. DWG#2415

LEGEND	DESCRIPTION
	EXISTING SAS MANHOLE
	EXISTING SANITARY SEWER LINE
	EXISTING WATER LINE
	EXISTING STORM SEWER MANHOLE
	EXISTING STORM SEWER INLET
	EXISTING STORM SEWER LINE
	EXISTING FENCE
	EXISTING CURB & GUTTER
	PROPOSED CURB & GUTTER
	BOUNDARY LINE
	EXISTING BOUNDARY LINE
	PROPOSED SIDEWALK
	EXISTING SIDEWALK
	FUTURE SIDEWALK
	PROPOSED PERIMETER WALL
	EXISTING PERIMETER WALL
	PROPOSED RETAINING WALL
	EXISTING RETAINING WALL
	EXISTING CONTOUR
	EXISTING INDEX CONTOUR
	PROPOSED CONTOUR
	PROPOSED INDEX CONTOUR
	FLOW ARROW
	SLOPE TIE
	1:1 ROCK PLATING
	RIGHT-OF-WAY
	BENCH MARK
	STREET LIGHTS

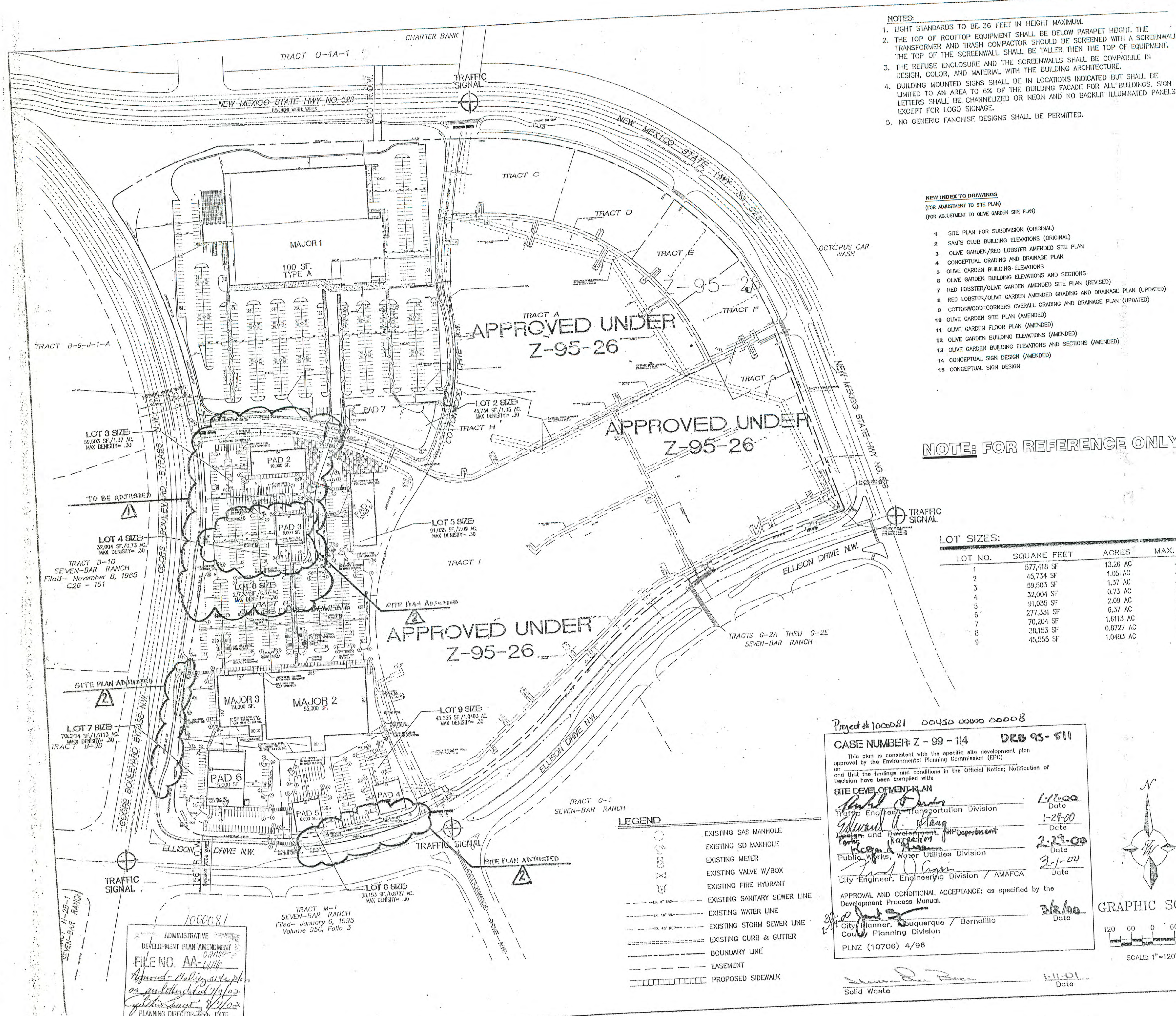
RECORD DRAWING
DATE: 5/14/03
11/3/02
DRAFTED BY: R.P.
TIERRA WEST DEV.
THESE RECORD DRAWINGS HAVE BEEN PREPARED, IN PART, ON THE BASIS OF INFORMATION COMPLIED AND FURNISHED BY OTHERS. THE ENGINEER WILL NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS WHICH HAVE BEEN INCORPORATED INTO THE DOCUMENT AS A RESULT.

5/14/03
MAY 14 2003
HYDROLOGY SECTION



ENGINEER'S SEAL RONALD R. BOHANNAN P.E. #7868	RED LOBSTER OLIVE GARDEN	DRAWN BY MP
	AMENDED SITE PLAN CASE# Z-99-114	DATE 05-03-2002
TIERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100		21049SP.DWG
		SHEET #
		JOB # 21049

OVERALL SITE PLAN ADJUSTED	MP	07.16.02
OLIVE GARDEN SITE PLAN ADJUSTMENT	VC	10.24.01



- NOTES:
1. LIGHT STANDARDS TO BE 36 FEET IN HEIGHT MAXIMUM.
 2. THE TOP OF ROOFTOP EQUIPMENT SHALL BE BELOW PARAPET HEIGHT. THE TRANSFORMER AND TRASH COMPACTOR SHOULD BE SCREENED WITH A SCREENWALL. THE TOP OF THE SCREENWALL SHALL BE TALLER THEN THE TOP OF EQUIPMENT.
 3. THE REFUSE ENCLOSURE AND THE SCREENWALLS SHALL BE COMPATIBLE IN DESIGN, COLOR, AND MATERIAL WITH THE BUILDING ARCHITECTURE.
 4. BUILDING MOUNTED SIGNS SHALL BE IN LOCATIONS INDICATED BUT SHALL BE LIMITED TO AN AREA TO 6% OF THE BUILDING FACADE FOR ALL BUILDINGS. SIGN LETTERS SHALL BE CHANNELIZED OR NEON AND NO BACKLIT ILLUMINATED PANELS EXCEPT FOR LOGO SIGNAGE.
 5. NO GENERIC FANCHISE DESIGNS SHALL BE PERMITTED.

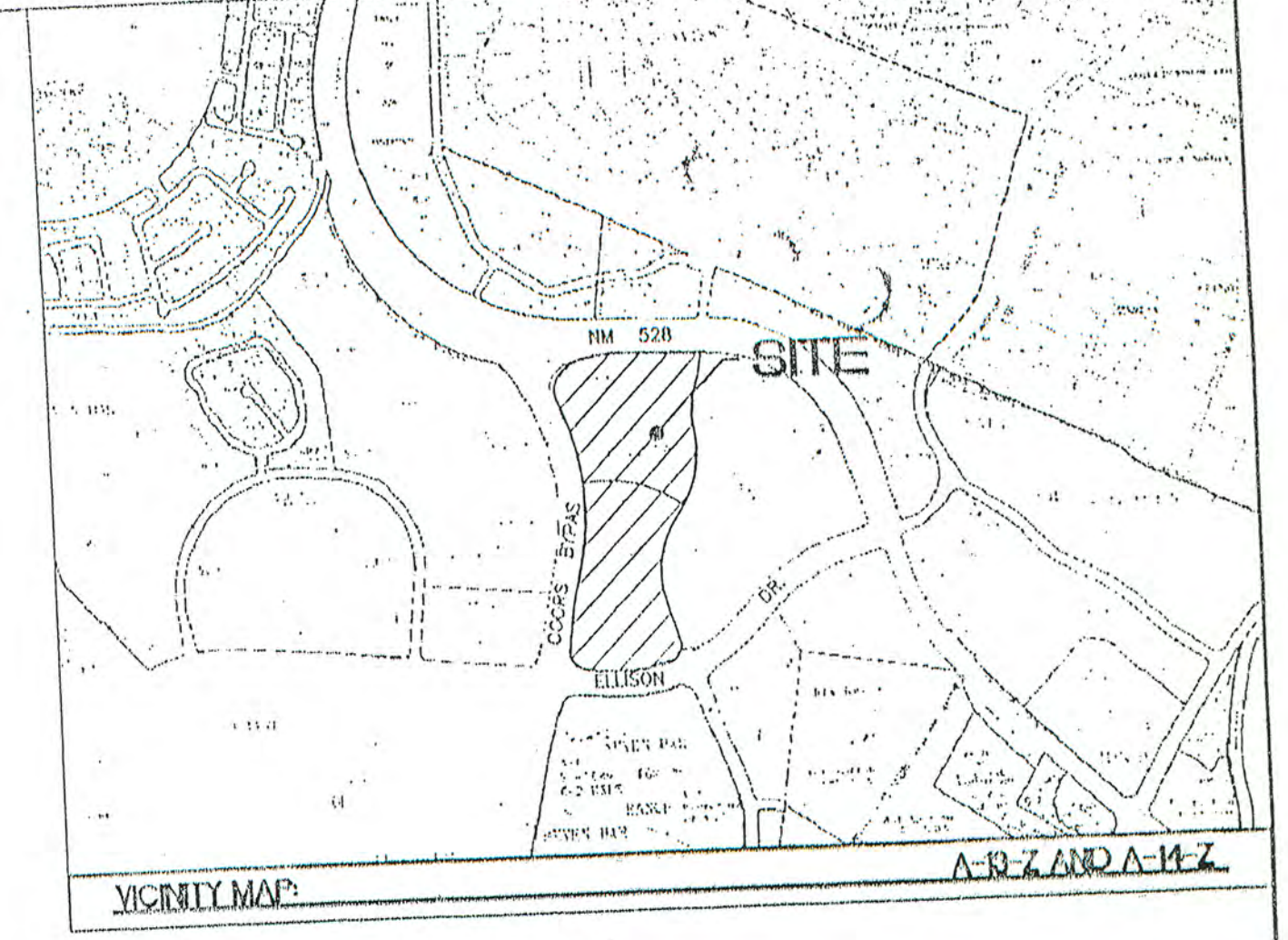
NEW INDEX TO DRAWINGS
(FOR ADJUSTMENT TO SITE PLAN)
(FOR ADJUSTMENT TO OLIVE GARDEN SITE PLAN)

- 1 SITE PLAN FOR SUBDIVISION (ORIGINAL)
- 2 SAM'S CLUB BUILDING ELEVATIONS (ORIGINAL)
- 3 OLIVE GARDEN/RED LOBSTER AMENDED SITE PLAN
- 4 CONCEPTUAL GRADING AND DRAINAGE PLAN
- 5 OLIVE GARDEN BUILDING ELEVATIONS
- 6 OLIVE GARDEN BUILDING ELEVATIONS AND SECTIONS
- 7 RED LOBSTER/OLIVE GARDEN AMENDED SITE PLAN (REVISED)
- 8 RED LOBSTER/OLIVE GARDEN AMENDED GRADING AND DRAINAGE PLAN (UPDATED)
- 9 COTTONWOOD CORNERS OVERALL GRADING AND DRAINAGE PLAN (UPDATED)
- 10 OLIVE GARDEN SITE PLAN (AMENDED)
- 11 OLIVE GARDEN FLOOR PLAN (AMENDED)
- 12 OLIVE GARDEN BUILDING ELEVATIONS (AMENDED)
- 13 OLIVE GARDEN BUILDING ELEVATIONS AND SECTIONS (AMENDED)
- 14 CONCEPTUAL SIGN DESIGN (AMENDED)
- 15 CONCEPTUAL SIGN DESIGN

NOTE: FOR REFERENCE ONLY

LOT SIZES:

LOT NO.	SQUARE FEET	ACRES	MAX. FAR
1	577,418 SF	13.26 AC	.30
2	45,734 SF	1.05 AC	.30
3	59,503 SF	1.37 AC	.30
4	32,004 SF	0.73 AC	.30
5	91,035 SF	2.09 AC	.30
6	277,331 SF	6.37 AC	.30
7	70,204 SF	1.6113 AC	.30
8	38,153 SF	0.8727 AC	.30
9	45,555 SF	1.0493 AC	.30



LEGAL DESCRIPTION:

TRACT B OF COTTONWOOD CORNERS (BEING A REPLAT OF TRACTS 0-1A-1 AND 0-2A-1 OF SEVEN BAR RANCH.) CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO

CURRENT ZONING: SU-1 FOR IP USES
TOTAL ACREAGE: 28.7716 AC.
ZONE ATLAS: A-13-Z & A-14-Z

BUILDING AREAS:

MAJOR 1	128,484 SF.	PAD 3	6,000 SF.
MAJOR 2	55,000 SF.	PAD 4	6,000 SF.
MAJOR 3	19,000 SF.	PAD 5	6,000 SF.
PAD 1	10,000 SF.	PAD 6	15,000 SF.
PAD 2	6,000 SF.	PAD 6	15,000 SF.
PAD 7 (CANOPY ONLY, NO BLDG.)			

TOTAL BUILDING AREA ----- 251,484 SQUARE FEET

PARKING CALCULATIONS:

BUILDING AREA	SPACES REQUIRED
MAJOR 1	128,484 SF. / 200 = 650 SPACES
MAJOR 2	55,000 SF. / 200 = 275 SPACES
MAJOR 3	19,000 SF. / 200 = 95 SPACES
PAD 1	13,000 SF. / 200 = 65 SPACES
PAD 2	10,000 SF. / 200 = 50 SPACES
PAD 3	6,000 SF. / 200 = 30 SPACES
PAD 4	6,000 SF. / 200 = 30 SPACES
PAD 5	6,000 SF. / 200 = 30 SPACES
PAD 6	15,000 SF. / 200 = 75 SPACES
PAD 7	NO BUILDING CANOPY ONLY

TOTAL REQUIRED PARKING ----- 1,300 SPACES

TOTAL PARKING ALLOWED (10% OVER REQUIRED) --- 1,430 SPACES
TOTAL PARKING SPACES REQUIRED --- 1,300 SPACES
TOTAL HANDICAP SPACES REQUIRED --- 26 SPACES
TOTAL BIKE RACKS REQUIRED --- 68

TOTAL PARKING PROVIDED --- 1,363 SPACES
TOTAL HANDICAP SPACES PROVIDED --- 34 SPACES

TOTAL BIKE RACKS PROVIDED --- 70

INDEX TO DRAWINGS

1. SITE PLAN FOR SUBDIVISION
2. SITE PLAN FOR BUILDING PERMIT
3. LANDSCAPE PLAN "SEE NEW"
4. ELEVATIONS INDEX TO DRAWINGS
5. SIGNAGE DETAILS
6. GRADING AND DRAINAGE PLAN
- 6A. GRADING AND DRAINAGE DETAILS
7. MASTER UTILITY PLAN
8. DETAILS
9. DETAILS

Project # 1000081 00450 00000 00008

CASE NUMBER: Z - 99 - 114 DRB 95-511

This plan is consistent with the specific site development plan approval by the Environmental Planning Commission (EPC) on [Date] and that the findings and conditions in the Official Notice; Notification of Decision have been complied with:

SITE DEVELOPMENT PLAN

Traffic Engineer, Transportation Division 1-17-00 Date

Edward A. Wang 1-24-00 Date

Design and Development, PEP Department 2-29-00 Date

Public Works, Water Utilities Division 2-1-00 Date

City Engineer, Engineering Division / AMAFCA 3/2/00 Date

APPROVAL AND CONDITIONAL ACCEPTANCE: as specified by the Development Process Manual.

City Planner, Albuquerque / Bernalillo 3/2/00 Date

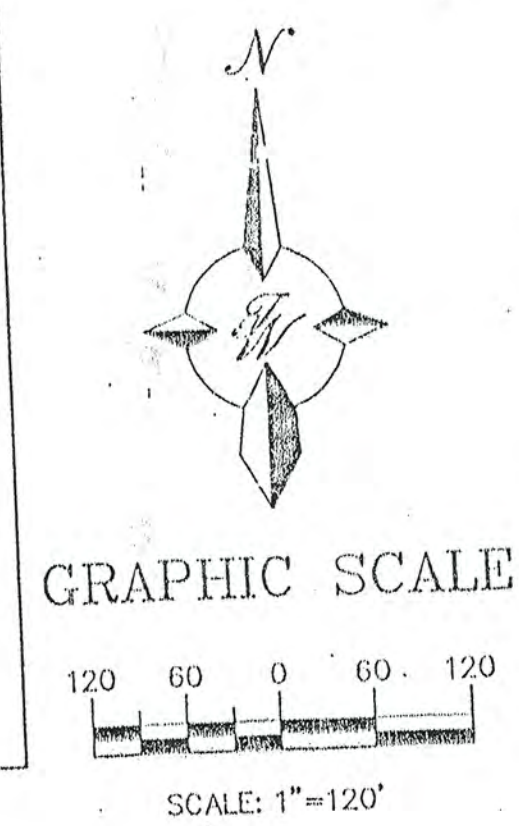
County Planning Division

PLNZ (10706) 4/96

Solid Waste 1-11-01 Date

LEGEND

- EXISTING SAS MANHOLE
- EXISTING SD MANHOLE
- EXISTING METER
- EXISTING VALVE W/BOX
- EXISTING FIRE HYDRANT
- EXISTING SANITARY SEWER LINE
- EXISTING WATER LINE
- EXISTING STORM SEWER LINE
- EXISTING CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- PROPOSED SIDEWALK



ENGINEER'S SEAL

ALBUQUERQUE
SAM'S CLUB, NM: 4703

SITE PLAN FOR
SUBDIVISION

TERRA WEST, LLC
4421 McEOD ROAD, N.E. SUITE D
ALBUQUERQUE, NEW MEXICO 871
(505)883-7592

RONALD R. BOHANNAN
P.E. #7868

DATE: 1-17-00

995725.DWG

SHEET # 1

JOB # 990057

ADMINISTRATIVE
DEVELOPMENT PLAN AMENDMENT
FILE NO. AA-1111
Approved: [Signature]
as published 7/9/02
8/7/02
PLANNING DIRECTOR