



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

***Planning Department
Transportation Development Services Section***

June 5, 2003

Ronald Bohannon, PE
Tierra West, LLC
8509 Jefferson NE
Albuquerque, NM 87113

Re: Certification Submittal for Final Building Certificate of Occupancy for
Chuck E. Cheese's, [A-14 / D7F], Cottonwood Corners
Engineer's letter stamp dated June 3, 2003

Dear Mr. Bohannon:

The TCL / Letter of Certification submitted on June 3, 2003 is approved by this office for final Certificate of Occupancy (C.O.) for Transportation with the condition. Notification has been made to the Building and Safety Section.

Sincerely,

Richard Dourte, P.E.
Traffic Engineer
Development and Building Services
Planning Department

c: File
Hydrology file

TIERRA WEST, LLC

8509 Jefferson NE
Albuquerque, NM 87113

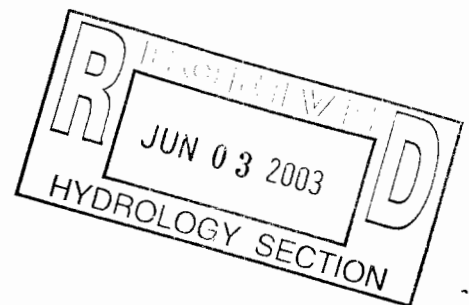
(505) 858-3100
fax (505) 858-1118

twilc@tierrawestllc.com
1-800-245-3102

June 2, 2003

Ms. Terry Martin
Public Works Department
City of Albuquerque
P. O. Box 1293
Albuquerque, NM 87103

**RE: Certification of Transportation for
Certificate of Occupancy
Chuck E Cheese's; Tract B3-C, Cottonwood Corners
File # AA 1000081022361100090**





Dear Ms. Martin:

Enclosed please find one copy of the as-built DRB approved, amended site plan and Information Sheet for Chuck E Cheese's at Cottonwood Corners. Parkway Construction & Associates, Inc. completed the on-site paving and the curb and gutter. All work is in substantial compliance with the approved plan. Striping for the site is complete. As-built information was field verified by our office, and the punch list items were corrected. We are, therefore, requesting Certificate of Occupancy.

If you have any questions or need additional information regarding this matter, please do not hesitate to call me.

Sincerely,


Ronald R. Bohannon, PE

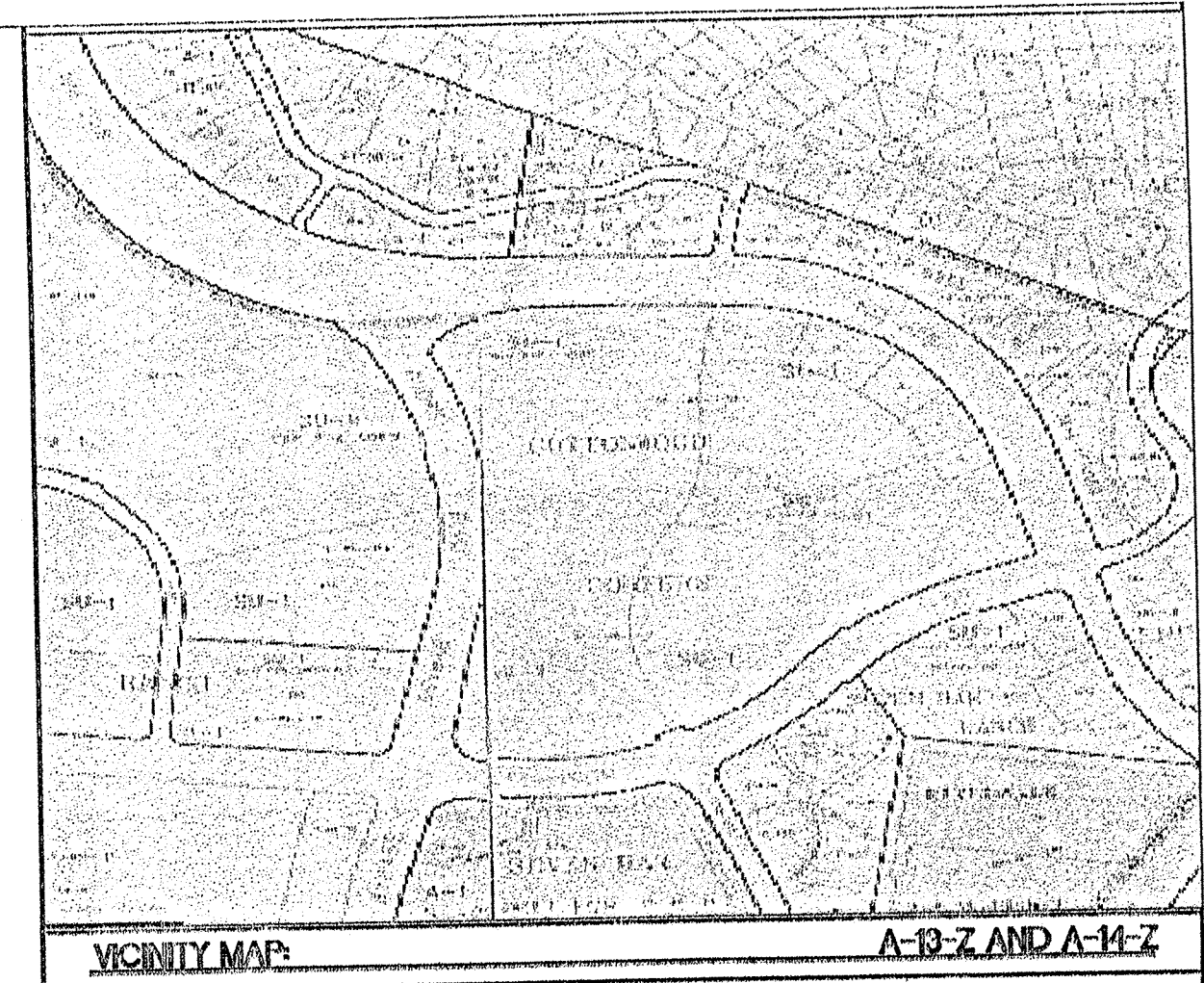


Enclosure/s

cc: Vaughan Hancock

JN 220067
RRB/rd


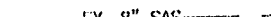


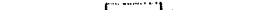
















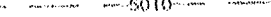






2002:2267TerryMartinCoOLetter052903



TRACT B-3C COTTONWOOD CORNERS

NOTES:

1. ALL SPOT ELEVATIONS ARE AT TOP OF PAVEMENT UNLESS NOTED.
2. REFER TO THE GEOTECHNICAL REPORT AND STRUCTURAL PLANS FOR ALL GROUND WORK PREPARATIONS.
3. ALL DROP INLETS ARE TO BE SINGLE "D" TYPE PER COA STD DWG#2206
4. LANDSCAPING AND TREES TO BE SHOWN FOR REFERENCE ONLY. SEE ATTACHED LANDSCAPING PLAN FOR DETAILS.
5. ALL CURBWORK IS TO BE 6" HEADER CURB, UNLESS OTHERWISE SPECIFIED. COA STD. DWG#2415

| | | |
|---|--|--|
| LEGEND | DESCRIPTION | |
|  | EXISTING SAS MANHOLE | |
|  | EXISTING SANITARY SEWER LINE | |
|  | EXISTING WATER LINE | |
|  | EXISTING STORM SEWER MANHOLE | |
|  | EXISTING STORM SEWER INLET | |
|  | EXISTING STORM SEWER LINE | |
|  | EXISTING FENCE | |
|  | EXISTING CURB & GUTTER | |
|  | PROPOSED 6\" data-bbox="100 335 380 345"/> | PROPOSED 6\" data-bbox="100 335 380 345"/> |
|  | BOUNDARY LINE | |
|  | EXISTING BOUNDARY LINE | |
|  | PROPOSED SIDEWALK | |
|  | EXISTING SIDEWALK | |
|  | FUTURE SIDEWALK | |
|  | PROPOSED PERIMETER WALL | |
|  | EXISTING PERIMETER WALL | |
|  | PROPOSED RETAINING WALL | |
|  | EXISTING RETAINING WALL | |
|  | EXISTING CONTOUR | |
|  | EXISTING INDEX CONTOUR | |
|  | PROPOSED CONTOUR | |
|  | PROPOSED INDEX CONTOUR | |
|  | SLOPE TIE | |
|  | EXISTING 1:1 ROCK PLATING | |
|  | RIGHT-OF-WAY | |
|  | BENCH MARK | |
|  | STREET LIGHTS | |
|  | CONSTRUCTION LIMITS | |

TRACT B3 - PAD 2

PROPOSED USAGE: UNKNOWN

LOT AREA: 73,428 SF (1.6856 ACRE) ±

BUILDING AREA: 10,643 SF

PARKING/DRIVEWAY: 21,782 SF ±

SIDEWALKS: 5,748 SF ±

LANDSCAPE AREA: 10,409 SF ±

LANDSCAPING REQUIRED: 15% OF PAVING AREA = 9,425 SF ±

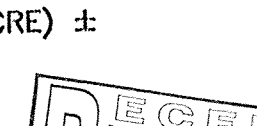
PARKING PROVIDED: 90 SPACES



PARKING REQUIRED: 90 SPACES(BASED ON SEATING=358)

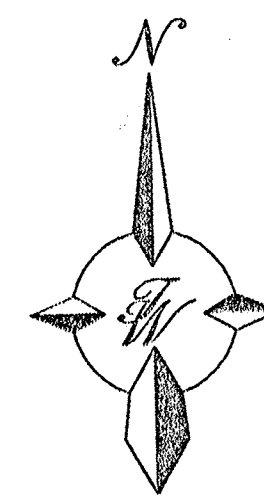
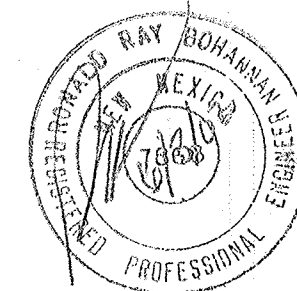
HC PARKING PROVIDED: 4 SPACES

HC PARKING REQUIRED: 4 SPACES

1 SPACE VAN ACCESSIBLE



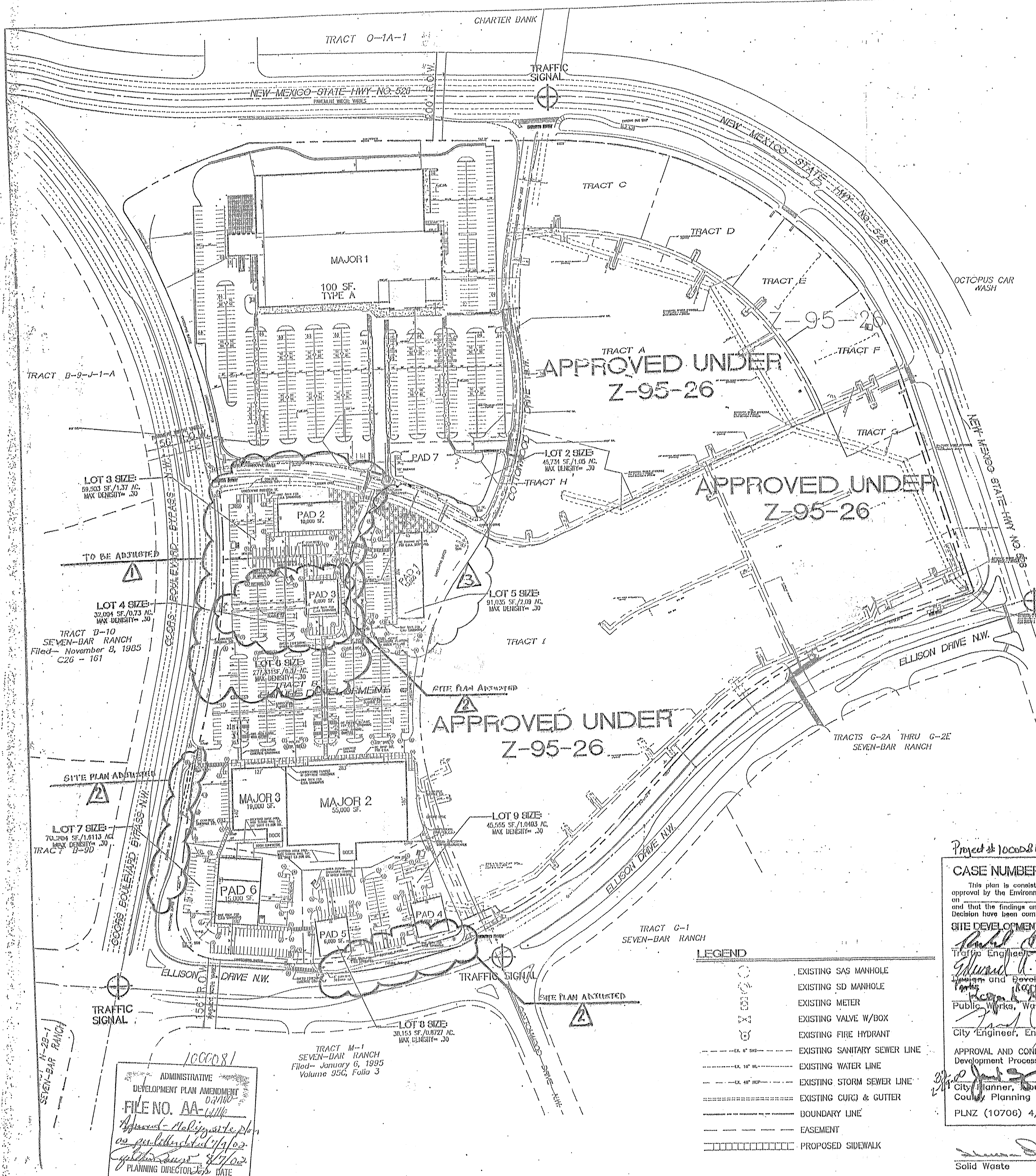
| | | |
|---|---|-----------------------------------|
| <p>ENGINEER'S SEAL</p>  <p>RONALD R. BOHANNAN P.E. #7868</p> | <p>CHUCK E. CHEESES COTTONWOOD CORNERS</p> | <p>DRAWN BY MP</p> |
| | <p>TRACT B3-C AMENDED SITE PLAN</p> | <p>DATE 01.08.2003</p> |
| | | <p>220067AA-SP.DWG</p> |
| | <p> TERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100</p> | <p>SHEET #</p> |
| | | <p>JOB # 220067</p> |



GRAPHIC SCALE



SCALE: 1"=30'



- NOTES:
1. LIGHT STANDARDS TO BE 36 FEET IN HEIGHT MAXIMUM.
 2. THE TOP OF ROOFTOP EQUIPMENT SHALL BE BELOW PARAPET HEIGHT. THE TRANSFORMER AND TRASH COMPACTOR SHOULD BE SCREENED WITH A SCREENWALL. THE TOP OF THE SCREENWALL SHALL BE TALLER THEN THE TOP OF EQUIPMENT.
 3. THE REFUSE ENCLOSURE AND THE SCREENWALLS SHALL BE COMPATIBLE IN DESIGN, COLOR, AND MATERIAL WITH THE BUILDING ARCHITECTURE.
 4. BUILDING MOUNTED SIGNS SHALL BE IN LOCATIONS INDICATED BUT SHALL BE LIMITED TO AN AREA TO 6% OF THE BUILDING FACADE FOR ALL BUILDINGS. SIGN LETTERS SHALL BE CHANNELIZED OR NEON AND NO BACKLIT ILLUMINATED PANELS EXCEPT FOR LOGO SIGNAGE.
 5. NO GENERIC FANCHISE DESIGNS SHALL BE PERMITTED.

NEW INDEX TO DRAWINGS
(FOR ADJUSTMENT TO SITE PLAN)
(FOR ADJUSTMENT TO OLIVE GARDEN SITE PLAN)

1. SITE PLAN FOR SUBDIVISION (ORIGINAL)
2. SAM'S CLUB BUILDING ELEVATIONS (ORIGINAL)
3. OLIVE GARDEN/RED LOBSTER AMENDED SITE PLAN
4. CONCEPTUAL GRADING AND DRAINAGE PLAN
5. OLIVE GARDEN BUILDING ELEVATIONS
6. OLIVE GARDEN BUILDING ELEVATIONS AND SECTIONS
7. RED LOBSTER/OLIVE GARDEN AMENDED SITE PLAN (REVISED)
8. RED LOBSTER/OLIVE GARDEN AMENDED GRADING AND DRAINAGE PLAN (UPDATED)
9. COTTONWOOD CORNERS OVERALL GRADING AND DRAINAGE PLAN (UPDATED)
10. OLIVE GARDEN SITE PLAN (AMENDED)
11. OLIVE GARDEN FLOOR PLAN (AMENDED)
12. OLIVE GARDEN BUILDING ELEVATIONS (AMENDED)
13. OLIVE GARDEN BUILDING ELEVATIONS AND SECTIONS (AMENDED)
14. CONCEPTUAL SIGN DESIGN (AMENDED)
15. CONCEPTUAL SIGN DESIGN

ADJUSTMENT TO SITE PLAN FOR SUBDIVISION
1-16-03 KK

Note for Reference Only

LOT SIZES:

| LOT NO. | SQUARE FEET | ACRES | MAX. FAR |
|---------|-------------|----------|----------|
| 1 | 577,418 SF | 13.26 AC | .30 |
| 2 | 45,734 SF | 1.05 AC | .30 |
| 3 | 59,503 SF | 1.37 AC | .30 |
| 4 | 32,004 SF | 0.73 AC | .30 |
| 5 | 91,035 SF | 2.09 AC | .30 |
| 6 | 277,331 SF | 6.37 AC | .30 |
| 7 | 70,204 SF | 1.61 AC | .30 |
| 8 | 38,153 SF | 0.87 AC | .30 |
| 9 | 45,555 SF | 1.04 AC | .30 |

Project # 1000081 00450 00000 00008

CASE NUMBER: Z - 99 - 114 DEC 95 - 511

This plan is consistent with the specific site development plan approval by the Environmental Planning Commission (EPC) on [Date] and that the findings and conditions in the Official Notice of Decision have been complied with:

SITE DEVELOPMENT PLAN

Traffic Engineer, Transportation Division 1-11-00 Date

Urban and Development, Planning Department 1-24-00 Date

Public Works, Water Utilities Division 2-23-00 Date

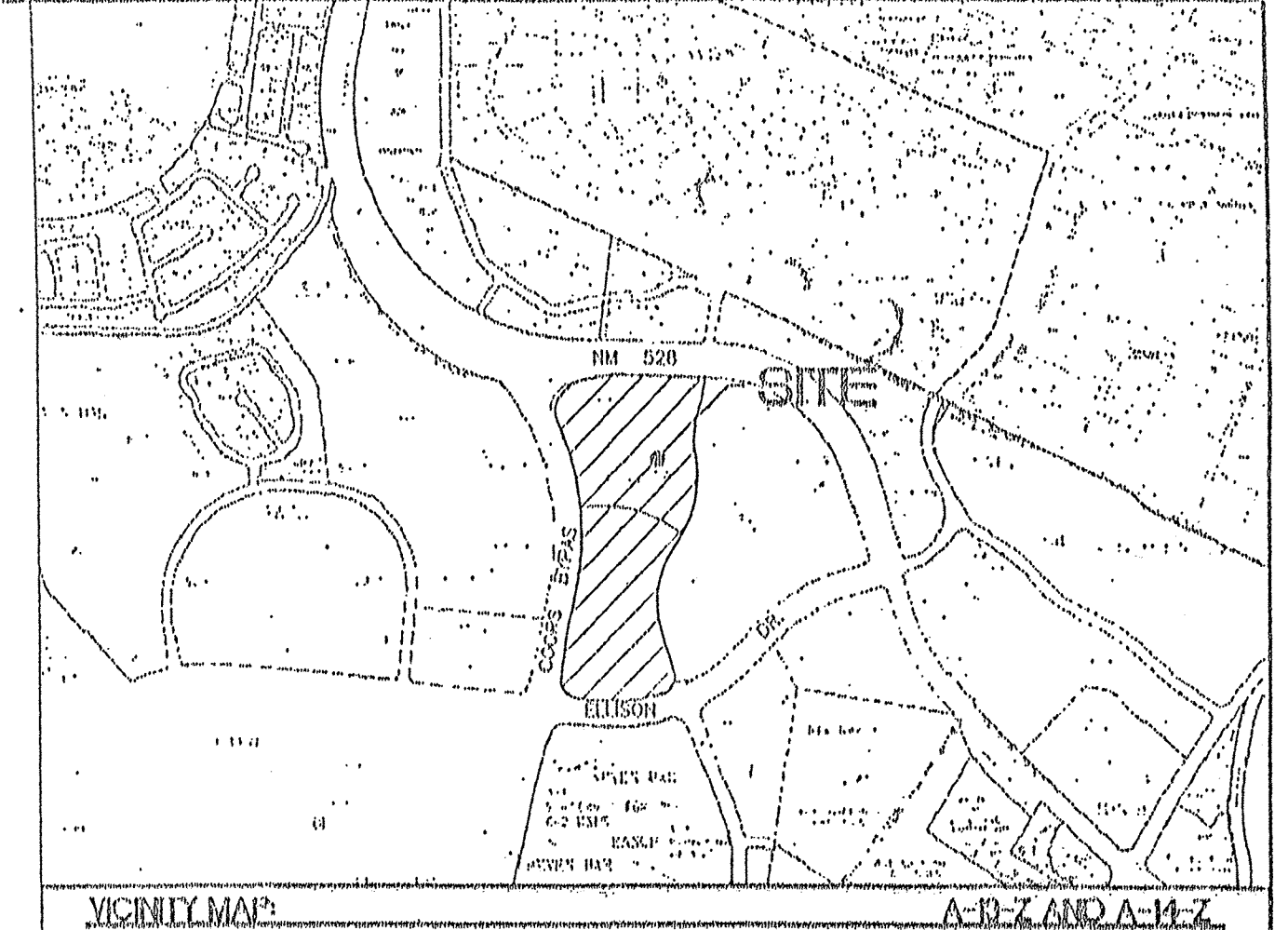
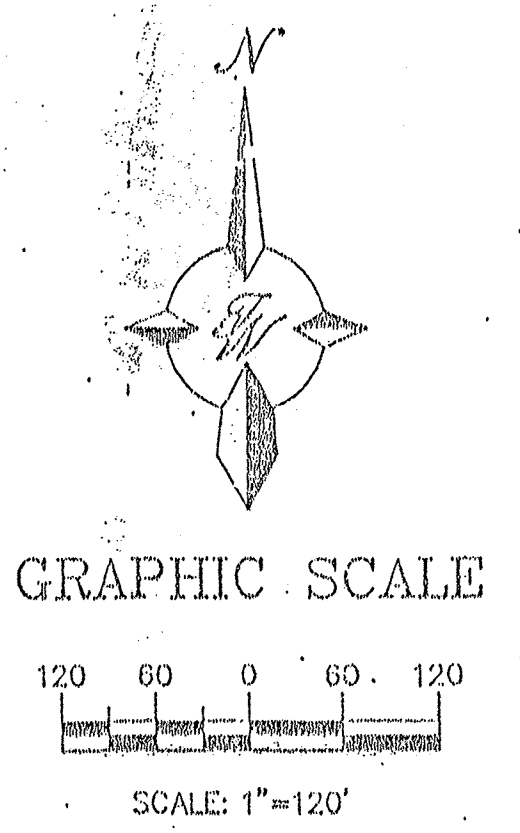
City Engineer, Engineering Division / AMAFCA 3-1-00 Date

APPROVAL AND CONDITIONAL ACCEPTANCE: as specified by the Development Process Manual.

City Planner, Albuquerque / Bernalillo County Planning Division 3-1-00 Date

PLNZ (10706) 4/96

- LEGEND
- EXISTING SAS MANHOLE
 - EXISTING SD MANHOLE
 - EXISTING METER
 - EXISTING VALVE W/BOX
 - EXISTING FIRE HYDRANT
 - EXISTING SANITARY SEWER LINE
 - EXISTING WATER LINE
 - EXISTING STORM SEWER LINE
 - EXISTING CURB & GUTTER
 - BOUNDARY LINE
 - EASEMENT
 - PROPOSED SIDEWALK



LEGAL DESCRIPTION:

TRACT D OF COTTONWOOD CORNERS (BEING A REPLAT OF TRACTS O-1A-1 AND O-2A-1 OF SEVEN BAR RANCH.) CITY OF ALBUQUERQUE BERNILLO COUNTY, NEW MEXICO

CURRENT ZONING: SU-1 FOR IP USES

TOTAL ACREAGE: 28.7716 AC.

ZONE ATLAS: A-13-Z & A-14-Z

BUILDING AREAS:

| | | | |
|-------------------------------|-------------|-------|------------|
| MAJOR 1 | 128,484 SF. | PAD 3 | 6,000 SF. |
| MAJOR 2 | 55,000 SF. | PAD 4 | 6,000 SF. |
| MAJOR 3 | 19,000 SF. | PAD 5 | 6,000 SF. |
| PAD 1 | 10,000 SF. | PAD 6 | 15,000 SF. |
| PAD 2 | 6,000 SF. | PAD 6 | 15,000 SF. |
| PAD 7 (CANOPY ONLY, NO BLDG.) | | | |

TOTAL BUILDING AREA ----- 251,484 SQUARE FEET

PARKING CALCULATIONS:

| BUILDING AREA | SPACES REQUIRED |
|---|--------------------------------|
| MAJOR 1 | 128,484 SF. / 200 = 650 SPACES |
| MAJOR 2 | 55,000 SF. / 200 = 275 SPACES |
| MAJOR 3 | 19,000 SF. / 200 = 95 SPACES |
| PAD 1 | 13,000 SF. / 200 = 65 SPACES |
| PAD 2 | 10,000 SF. / 200 = 50 SPACES |
| PAD 3 | 6,000 SF. / 200 = 30 SPACES |
| PAD 4 | 6,000 SF. / 200 = 30 SPACES |
| PAD 5 | 6,000 SF. / 200 = 30 SPACES |
| PAD 6 | 15,000 SF. / 200 = 75 SPACES |
| PAD 7 | NO BUILDING CANOPY ONLY |
| TOTAL REQUIRED PARKING | 1,300 SPACES |
| TOTAL PARKING ALLOWED (10% OVER REQUIRED) | 1,430 SPACES |
| TOTAL PARKING SPACES REQUIRED | 1,300 SPACES |
| TOTAL HANDICAP SPACES REQUIRED | 26 SPACES |
| TOTAL BIKE RACKS REQUIRED | 60 |
| TOTAL PARKING PROVIDED | 1,363 SPACES |
| TOTAL HANDICAP SPACES PROVIDED | 34 SPACES |
| TOTAL BIKE RACKS PROVIDED | 70 |

INDEX TO DRAWINGS

1. SITE PLAN FOR SUBDIVISION
2. SITE PLAN FOR BUILDING PERMIT
3. LANDSCAPE PLAN "SEE NEW"
4. ELEVATIONS INDEX TO DRAWINGS
5. SIGNAGE DETAILS
6. GRADING AND DRAINAGE PLAN
- 6A. GRADING AND DRAINAGE DETAILS
7. MASTER UTILITY PLAN
8. DETAILS
9. DETAILS

ENGINEER'S SEAL

ALBUQUERQUE SAM'S CLUB, NM: 4703

SITE PLAN FOR SUBDIVISION

TERRA WEST, LLC

4421 McLEOD ROAD, N.E., SUITE D, ALBUQUERQUE, NEW MEXICO 87111 (505)993-7592

RONALD R. BOHANNAN P.E. #7869

DRAWN BY BDG

DATE 1-17-00

9957CPS.DWG

SHEET # 1

JOB # 990057