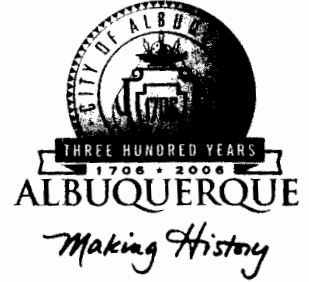


# CITY OF ALBUQUERQUE



**Planning Department  
Transportation Development Services Section**

November 15, 2004

Mark R. Johnson, P.E.  
Bury + Partners- SA, Inc.  
10000 San Pedro Avenue, Ste. 100  
San Antonio, Texas 78216

Re: Certification Submittal for Final Building Certificate of Occupancy for  
Chick-fil-A, [A-14 / D007H]  
3801 Ellison Drive NW  
Engineer's Stamp Dated 11/08/04

P.O. Box 1293

Dear Mr. Johnson:

Albuquerque

The TCL / Letter of Certification submitted on November 12, 2004 is sufficient for acceptance by this office for final Certificate of Occupancy (C.O.). Notification has been made to the Building and Safety Section.

New Mexico 87103

Sincerely,

Nilo E. Salgado-Fernandez, P.E.  
Senior Traffic Engineer  
Development and Building Services  
Planning Department

[www.cabq.gov](http://www.cabq.gov)

c: Engineer  
Hydrology file  
CO Clerk

November 8, 2004


Mr. Dave Harmon  
City of Albuquerque – Public Works Department  
P.O. Box 1293  
Albuquerque, NM 87103

Re: Chick-fil-A  
Letter of Certification  
3801 Ellison Drive NW  
Albuquerque, New Mexico

Dear Mr. Harmon:

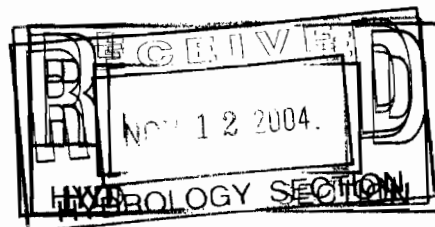
The project construction for the above-referenced site is substantially complete. We believe the site work to be in conformance with our plans as it relates to the civil site design. Please let us know if we can be of further assistance.

Sincerely,

  
Mark R. Johnson, P.E.  
Senior Project Manager



I:\049\128\Letter\110804 Harmon.doc.hs





ING. 25' WATER & SANITARY  
EASEMENT FILED MAY 29,  
IN BOOK A36, PAGE 8190 AS  
NO. 2002069387

EXISTING 15' WATERLINE EASEMENTS FILED  
FEBRUARY 24, 1998 IN BOOK 9805, PAGE 8742  
AS DOCUMENT # 1998020203 AND BOOK 9805,  
PAGE 8741 AS DOC. # 1998020202

WWM#1  
RM ELEV= 5045.66  
INV ELEV (W)= 5030.71  
INV ELEV (H)= 5030.71  
INV ELEV (S)= 5030.66

EXISTING 10' PNM UNDERGROUND EASEMENT  
FILED- MARCH 22, 2002, IN BOOK A33, PAGE  
7841, AS DOC. NO. 2002032939

EXISTING 10' UNDERGROUND ELECTRIC  
EASEMENT FILED- DECEMBER 17, 1999  
IN BOOK 9916, PAGE 1076, DOC.#  
1999154557

EXISTING 20' SANITARY SEWER EASEMENT FILED  
MAY 29, 2002 IN BOOK A36, PAGE 8190 AS  
DOCUMENT NO. 2002069387

EXISTING 20' SANITARY SEWER EASEMENT FILED  
FEBRUARY 24, 1998 IN BOOK 9805, PAGE 8740 AS  
DOCUMENT NO. 1998020203 AND 1998020202

LINE	LENGTH	BEARING
L1	21.52'	N90°00'00"E
L2	49.88'	S22°39'32"E
L3	43.00'	S67°20'25"W

CURVE	LENGTH	RADIUS	TANGENT	CHORD	CHORD BEARING	DELTA
C1	152.51'	2232.36'	76.29'	152.48'	S20°32'09"E	3°54'52"
C2	40.97'	25.00'	26.79'	36.34'	S24°17'45"W	93°53'56"
C3	195.20'	1022.00'	97.80'	194.91'	S76°43'22"W	10°56'37"

## LAYOUT NOTES

- 1 DIRECTIONAL ARROW
- 2 DRIVE-THRU GRAPHICS
- 3 STOP LINE GRAPHIC
- 4 PAINTED HANDICAP SYMBOL
- 5 STANDARD PARKING STALL / 4" PAINTED STRIPE
- 6 DIRECTIONAL SIGNAGE (OTHER THAN CHICK-FIL-A SIGNS, NOTE: "TO BE APPROVED AND INSTALLED BY CHICK-FIL-A SIGN CONTRACTOR)
- 7 CHICK-FIL-A MAIN ENTRY HANDICAP RAMP
- 8 CURBED RAMP
- 9 24" CURB & GUTTER
- 10 CONCRETE WHEEL STOP
- 11 TYPICAL POLE BASE DETAIL (NOT USED)
- 12 BOLLARD AT DRIVE-THRU
- 13 PIPE BUMPER POST
- 14 CURB SECTION DRIVE-THRU
- 15a A TYPICAL SIDEWALK WITH PICTURE FRAME PATTERN
- 15b A TYPICAL SIDEWALK WITH BROOM FINISH
- 16 SIDEWALK WITH CURB
- 17 6"/2"/1" ASPHALT PAVEMENT SECTION
- 18 6" CONCRETE PAVEMENT SECTION AT DRIVE-THRU
- 19 SECTION THRU CONCRETE PAVEMENT AT DUMPSTER
- 20 CONTRACTION JOINT (SEE SHEET C-5)
- 21 CONTRACTION JOINT (SEE SHEET C-5)
- 22 SEWER CLEANOUT (SEE SHEET PS1 FOR LOCATION)
- 23 MENUBOARD AND CANOPY ORDERING STATION
- 24 FLAGPOLE - EXC SERIES 50' POLE PACKAGE, BY APPROVED VENDORS; THE FLAG COMPANY OR ATLAS FLAGS.
- 25 GREASE TRAP
- 26 EXISTING TRANSFORMER
- 27 DUMPSTER/STORAGE
- 28 CHICK-FIL-A PRIME SIGN (SUBJECT TO V.S. RETAIL RESTRICTIVE COVENANTS) (NOT USED)
- 29 CHICK-FIL-A ENTER SIGN (NOT USED)
- 30 CHICK-FIL-A EXIT SIGN (NOT USED)
- 31 DRIVE-THRU STRIPING (NOT USED)
- 32 STRIPING
- 33 PRE-SELL MENU BOARD
- 34 INTEGRAL CURB (NOT USED)
- 35 EXPANSION JOINT LAYOUT (SEE SHEET C-5)
- 36 PARKING AREA (REFERENCE NOTE 5, SHEET C-5)
- 37 DRIVE WAY (REFERENCE NOTE 5, SHEET C-5)
- 38 FIRE ZONE - CONTRACTOR TO PAINT 4" RED STRIPES 24" O.C. "FIRE ZONE" SHALL BE PAINTED ON THE DRIVE WAY PERIMETER STRIPE IN 4" WHITE LETTERS. (NOT USED)
- 39 SOLID 8" YELLOW STRIPE (NOT USED)
- 40 LANDSCAPE & IRRIGATION PROTECTOR.
- 41 PROPOSED 5' CURB INLET
- 42 PROPOSED DRIVE THRU RAMP. REFER TO DETAIL 15/C-6 (IF REQUIRED)
- 43 5' PEDESTRIAN CROSSWALK
- 44 EXISTING WASTEWATER MANHOLE RIM TO BE ADJUSTED TO MATCH PROPOSED GRADES. CONTRACTOR TO COORDINATE WITH NEW MEXICO UTILITIES, INC.

## PROJECT INFORMATION

ADDRESS: NWC ELLISON DRIVE NW AND COTTONWOOD DRIVE ALBUQUERQUE, NEW MEXICO  
CURRENT ZONING: SU-1 FOR IP USES  
SITE AREA: 1.16 AC  
BUILDING AREA: 4,261 SQ. FT.  
TOTAL SEATING: 152  
BUILDING HEIGHT: 25'-6"  
PARKING PROVIDED: 45 SPACES (2 ACCESSIBLE)  
PARKING REQUIRED: 38 BY CITY  
PARKING RATIO PROVIDED: 1:95

## NOTES

1. ALL ON-SITE CONSTRUCTION SHALL BE IN ACCORDANCE WITH CURRENT CHICK-FIL-A SPECIFICATIONS.
2. ALL CONSTRUCTION IN CITY RIGHT-OF-WAYS AND/OR EASEMENTS SHALL BE IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS.
3. ALL ON-SITE CONSTRUCTION SHALL ALSO BE IN ACCORDANCE WITH CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS.
4. BUILDING IS PARALLEL TO THE NORTHWEST PROPERTY LINE.
5. PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL MAKE CERTAIN THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS AS APPROVED BY ALL OF THE PERMITTING AUTHORITIES.
6. THE CONTRACTOR SHALL GIVE THE CITY A MINIMUM OF 48 HOURS NOTICE BEFORE BEGINNING EACH PHASE OF CONSTRUCTION.
7. THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES DURING THE CONSTRUCTION OF THIS PROJECT.
8. IF CONTRACTOR FINDS A DISCREPANCY WITH THE TOPOGRAPHIC INFORMATION ON THESE PLANS, HE/SHE SHALL CONTACT THE CONSTRUCTION MANAGER/SUPERVISOR IMMEDIATELY.
9. CONTRACTOR SHALL PROTECT ALL BENCHMARKS AND PROPERTY MONUMENTATION AND SHALL REPLACE OR REPAIR, AT HIS OWN EXPENSE, BENCHMARKS AND MONUMENTATION DISTURBED DURING CONSTRUCTION.
10. IF CONTRACTOR RELOCATES OR SETS NEW BENCHMARKS, THE VERTICAL ELEVATIONS OF THE BENCHMARKS SHALL BE SET TO A TOLERANCE OF 0.010 FT.
11. ALL DIMENSIONS SHOWN ARE TO FACE OF CURB, BUILDING FACE OF BRICK.
12. REFER TO ARCHITECTURAL PLANS FOR DETAILED BUILDING DIMENSIONS.
13. ALL CURB RADII SHALL BE 5.0' UNLESS OTHERWISE NOTED.
14. THE AMERICANS WITH DISABILITIES ACT (ADA) GUIDELINES, BOTH FEDERAL AND STATE ARE TO BE INCORPORATED IN ALL CONSTRUCTION DOCUMENTS. IF ANY CRITERIA CANNOT BE MET THEN CHICK-FIL-A IS TO BE ALERTED OF THE CONDITION AND INFORMED OF THE MEASURES THAT WOULD BE NECESSARY TO BE IN CONFORMANCE.
15. CONSTRUCTION IN R.O.W. REQUIRES NMDOT COORDINATION. CONTRACTOR SHALL CONTACT NMDOT AND CITY OF ALBUQUERQUE 48 HOURS PRIOR TO CONSTRUCTION.

## LEASE/LEGAL DESCRIPTION:

TRACT "B-6" OF TRACTS A THRU I, COTTONWOOD CORNERS, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE REPLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON MARCH 3, 2000, IN PLAT BOOK 2000C, FOLIO 68.

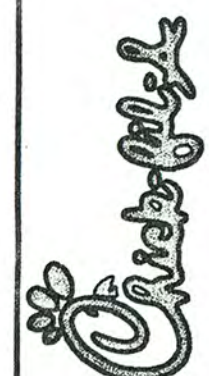
## REFERENCE BENCHMARK:

TBM #1 CONCRETE NAIL AND BRASS DISK ON EAST BOUNDARY OF TRACT. ELEVATION = 5041.90  
TBM #2 CONCRETE NAIL AND BRASS DISK AT NORTHEAST CORNER OF TRACT. ELEVATION = 5044.53  
TBM #3 CONCRETE NAIL AND BRASS DISK AT NORTHEAST CORNER OF TRACT. ELEVATION = 5045.42

## ADMINISTRATIVE AMENDMENT

File # 04AA-00465 Project # 1000081  
Admission to AA to show dimensions  
APPROVED BY: [Signature] DATE: 5-17-04

REV	DATE	BY	REVISION
A			
A			
A			
A			
A			



CHICK FILA  
5200 BUFFINGTON RD.  
ATLANTA, GEORGIA  
30349-2998

Bury+Partners  
Consulting Engineers and Surveyors  
San Antonio, Texas Tel 210/561-0000 Fax 210/561-0829  
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PROJECT TITLE CHICK-FIL-A	STORE # 1688
NWC Ellison Drive NW and Cottonwood Drive Albuquerque, New Mexico	
PROJECT MANAGER William O. Schock, P.E.	DRAWN BY: MW
JOB NO. 50049-128-30	
SHEET TITLE Site Plan	
DATE: 5/11/04	SHEET C-2
SCALE: 1"=20'	