



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

October 1, 2003

Glenn Broughton, P.E.
Bohannon Huston, Inc.
7500 Jefferson NE – Courtyard 1
Albuquerque, NM 87109

**Re: Quarters BBQ Restaurant, 3700 Ellison Dr. NW, Certificate of Occupancy
Engineer's Stamp dated 6-04-02 (A14/D9C)
Certification dated 9-23-03**

Dear Mr. Broughton,

Based upon the information provided in your submittal dated 9-23-03, the above referenced certification is approved for release of permanent Certificate of Occupancy by Hydrology.

If you have any questions, you can contact me at 924-3981.

Sincerely,

Kristal D. Metro
Engineering Associate, Planning Dept.
Development and Building Services

C: Phyllis Villanueva
file

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/11/2002)

PROJECT TITLE: Quarters BBQ Restaurant ZONE MAP/DRG. FILE # A-14 / D 9 C
DRB #: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: _____
CITY ADDRESS: 3700 Ellison Drive NW

ENGINEERING FIRM: Bohannon Huston, Inc. CONTACT: Glenn Broughton
ADDRESS: 7500 Jefferson NE – Courtyard I PHONE: (505) 823-1000
CITY, STATE: Albuquerque, NM ZIP CODE: 87109

OWNER: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

ARCHITECT: Martin Grummer CONTACT: _____
ADDRESS: 331 Wellesley Place NE PHONE: (505) 265-2507
CITY, STATE: Albuquerque, NM ZIP CODE: 87106

SURVEYOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

CONTRACTOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:

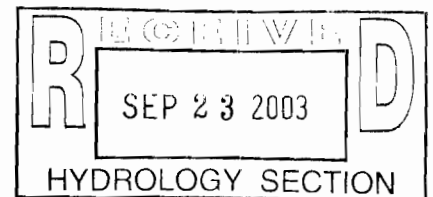
- ☐ DRAINAGE REPORT
☐ DRAINAGE PLAN
☒ CONCEPTUAL GRADING & DRAINAGE PLAN
☒ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ ENGINEERS CERTIFICATION (TCL)
☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D. APPROVAL
☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY (PERM.)
☐ CERTIFICATE OF OCCUPANCY (TEMP.)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

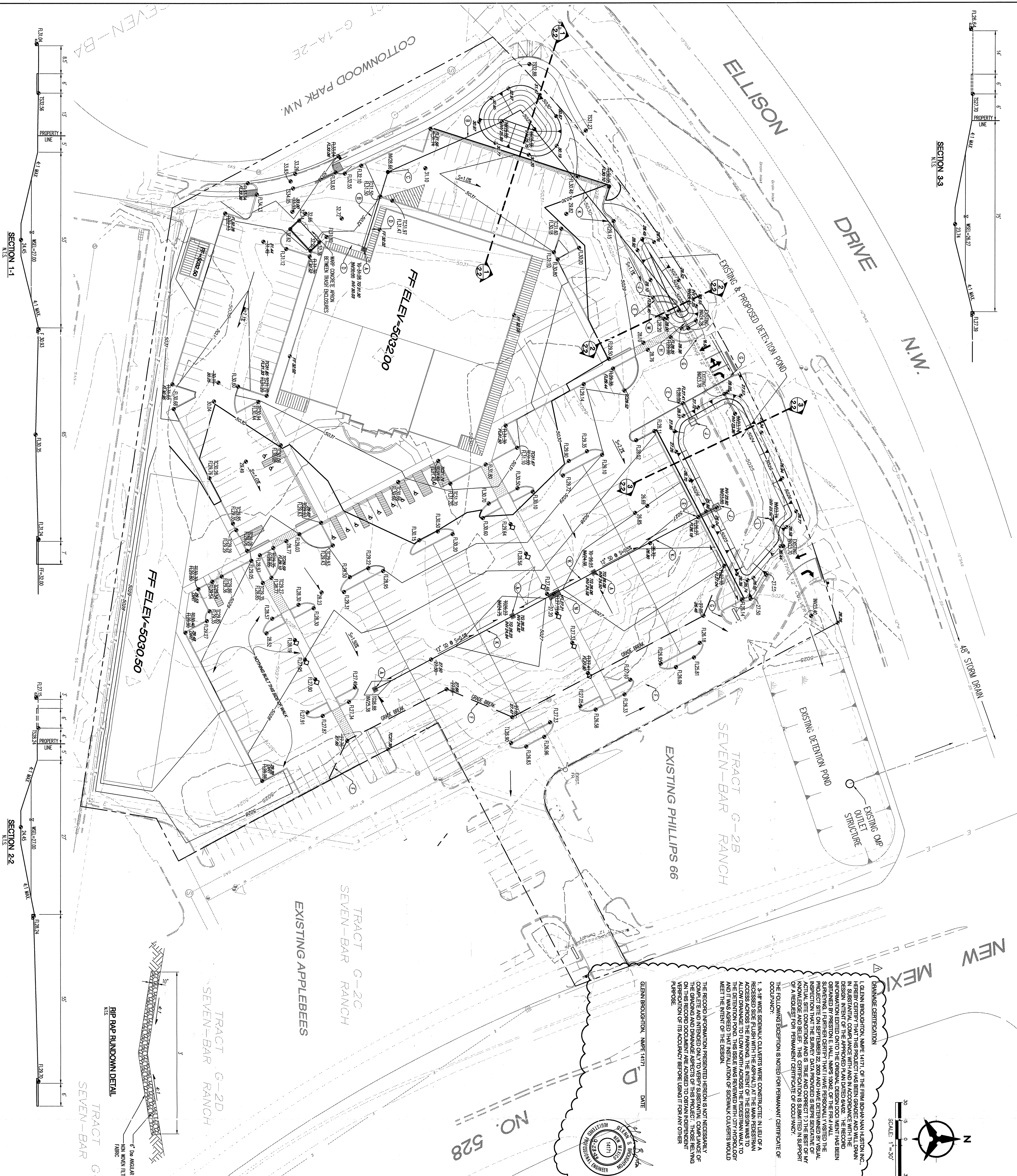
- ☐ YES
☐ NO
☐ COPY PROVIDED



DATE SUBMITTED: _____ BY: _____

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

- 1. Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
- 2. Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
- 3. Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.



ZONE FILMS A-14

- 5304' ±
 PROPERTY LINE
 EXISTING CONTOURS
 EXISTING GROUND SPOT ELEVATION
 EXISTING ELECTRICAL POLE
 PROPOSED SPOT ELEVATION
 TO = TOP OF CURB, P = LOW LINE
 OF = TOP OF WALL, R = SECTION OF WALL

- Public Response, Extensions, See City
Workorder Plans
- 9/25/23
- ~~SECRET~~
- _____ 5007 _____
- _____ PROPOSED DIRECTION OF FLOW _____
- _____ PROPOSED INLET CONTROLS _____
- _____ PROPOSED INTER CONTROLS _____
- _____ PROPOSED CURB & GUTTER _____
- _____ PROPOSED STORM DRAIN INLET _____
- _____ PROPOSED STORM DRAIN MANHOLE _____
- _____ PROPOSED STORM DRAIN INLET _____
- _____ EXISTING STORM DRAIN MANHOLE _____
- _____ (SEE ARCHITECTURAL) _____
- _____ SITE WALL _____
- _____ RESULT ELEVATION _____
- ~~SECRET~~


- ## KEYED NOTES

- A. SINGLE U/NET PEG DIA STD. DMS 200B.
 - B. P/PC STOM BRAIN
 - C. P/STOM BRAIN CLEANOUT
 - D. ALTY CUTTER PEG DIA STD. DMS 2415.
 - E. 1/8 OAB OPENING
 - F. W/NO EXPOSING PARENT.
 - G. M/NO EXPOSING CORR. PROXIMALLY AND VERTICALLY.
 - H. EXTEND EXPOSING 12" W/PC CLEAN EXPOSING P/PC THROUGH P/PC PRIOR TO EXTENDING. DEPT EXPOSING IN/MS EXPOSING OF CWR CUTLER P/PC.
 - I. RRR P/PC RANDOM. SEE DETAIL. THIS SHEET
 - J. 1/2 P/PC STOM BRAIN
 - K. CONTROL REMOVAL WITH 4" OFFICE PLATE. SEE DETAIL SHEET C-2A.
1. 1/2 OAB OPENING

2. 1/2-1/8" W/PC STOM BRAIN CUTTERS

GRADING NOTES

1. EXCEPT AS PROVIDED HEREIN, ALL MEASUREMENTS SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.
2. THE MOST REASONABLE CONSTRUCTION, COST AND EROSION CONTROL MEASURES SHALL BE ADOPTED TO THE PROJECT. MOST:
3. ALL WORK RELATING TO EROSION CONTROL, SLOPE PROTECTION, AND PLANTING SHALL BE IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN. IN ACCORDANCE WITH THE GENERAL MANUAL INSTRUCTIONS, AS PROVIDED BY THE ARCHITECT OR OWNER, ALL OTHER WORK SHALL, UNLESS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT (FIRST PRIORITY) SPECIFICATIONS, AND/OR THE CITY OF ALABAMA (CDA) STANDARD SPECIFICATIONS FOR ROAD, BRIDGE AND TRAIL (SECOND PRIORITY).
4. EXISTING STOPS SHALL NOT EXCEED 3 HORIZONTAL, 1 TO VERTICAL, UNLESS SHOWN OTHERWISE.
5. IT IS THE INTENT OF THESE PLANS THAT THE CONTRACTOR SHALL NOT PERFORM ANY WORK OUTSIDE OF THE PROPERTY BOUNDARIES EXCEPT AS REQUIRED BY THIS PLAN.
6. THE CONTRACTOR IS TO ENSURE THAT NO SIGN EXCESSES FROM THE SITE INTO ADJACENT PROPERTY OR PUBLIC RIGHT-OF-WAY. THIS SHOULD BE ACHIEVED BY THE CONTRACTOR BY THE USE OF AN EROSION CONTROL MAT, OR A MAT OF SHEET C24, AND SETTING THE POLE TO PROTECT IT FROM AN EROSION.
7. A PERSONS SITE FOR ANY AND ALL EXCESS EROSION MATERIAL, AND MATERIALS, SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND PERMITTED BY THE OPERATOR. ALL COSTS INCURRED IN REMEDIATING A PERSONS OR EROSION SITE SHALL BE PAID BY THE PERSON RESPONSIBLE TO THE PROJECT, AND NO SPECIAL DISCOUNTS OR PRICING SHALL BE MADE.
8. PAVING AND BUILDING STOPS SHALL BE +/- 0.1' FROM BUILDING ELEVATIONS. PAVE ELEVATION SHALL BE +/- 0.1' FROM BUILDING PAVE ELEVATION.
9. ALL APPROVED CONSTRUCTS SELECTED BY THE CONTRACTOR IN THE EROSION CONTROL PLAN, AND MUST BE ADAPTED FOR WEIRNS AND ELEVATIONS.

DATE:	PROJECT:		
	TITLE:		
	<div style="text-align: center;"> REVISION </div>	<div style="text-align: center;">  </div>	DRAINAGE CERTIFICATION

DATE:

DRAWN BY: 00/00/00

ED
CHECKED BY:

	GSB
	400001750 BY

GSB


SHEET NO:

C-2.2

[illegible]

TNE
THOMSEN NELLO
ENGINEERING
MECHANICAL CONSULTING
FOR BUILDING SYSTEMS

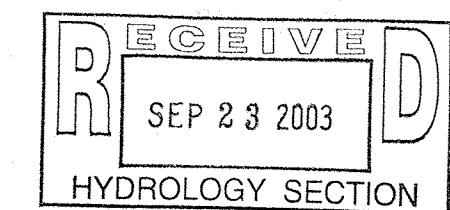
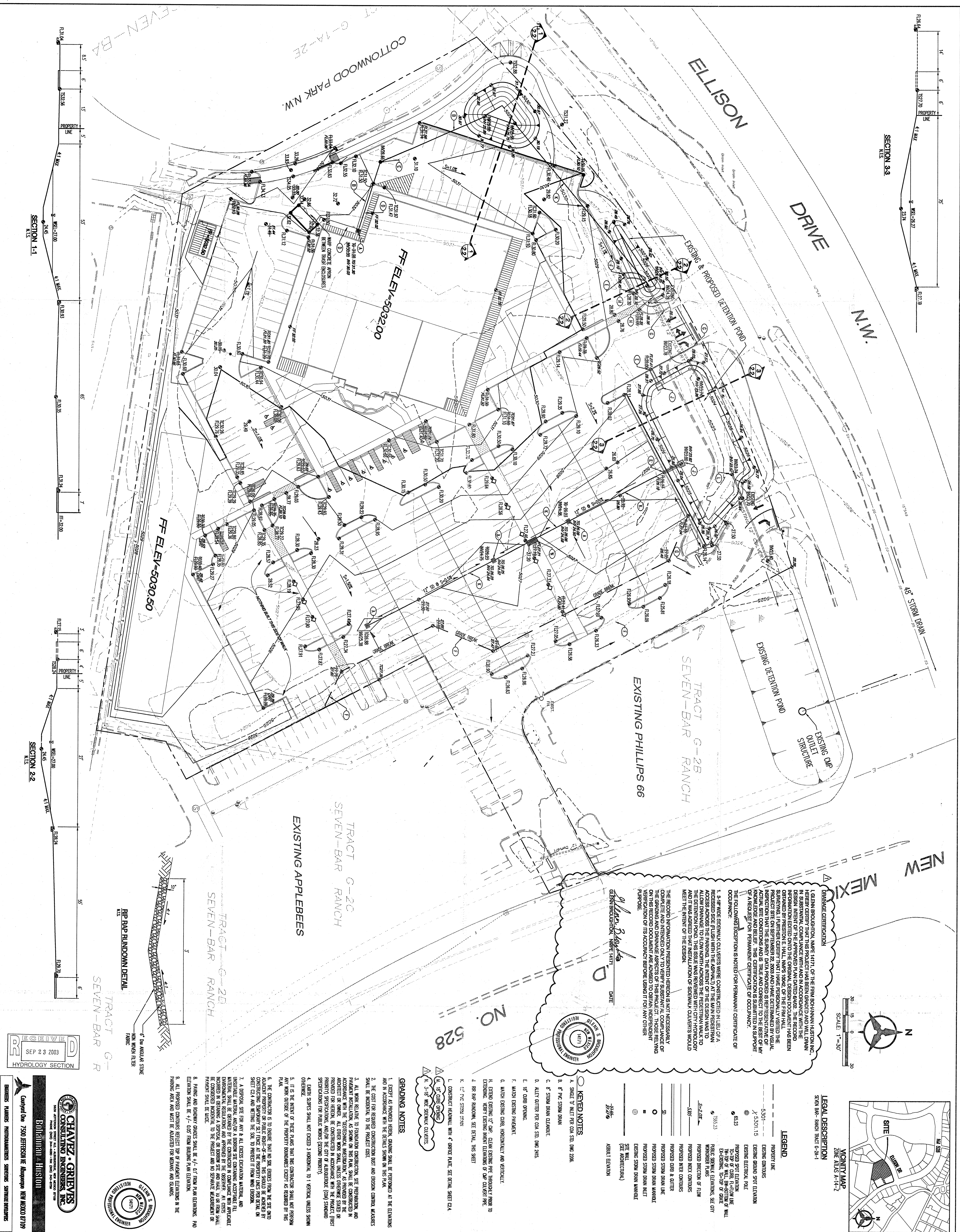
915 YALE BLVD., S.E.
ALBUQUERQUE, NEW MEXICO 87106
(505) 888-5808



MARTIN FM GRUMMER
ARCHITECT
331 WELLESLEY PLACE NE
ALBUQUERQUE, NEW MEXICO 87106
(505) 265-2507

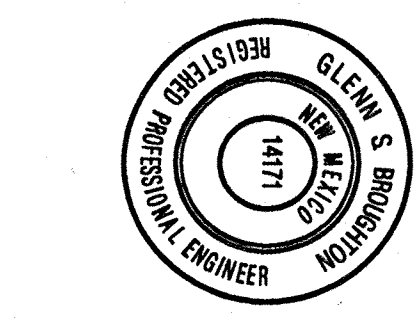
Nellos Brothers Inc. dba.
Quarters BBQ Restaurant
and Package Liquor

GRADING



CHAVEZ-GRIEVES
CONSULTING ENGINEERS, INC.
10000 W. 10th Street, Suite 100
Dallas, Texas 75243
(214) 343-1100
FAX (214) 343-1101
www.chavez-greaves.com

Bollman - Hinson
Consulting Engineers, Inc.
1700 Jefferson Highway
New Mexico 87109
(505) 265-2507



CHAVEZ-GRIEVES
CONSULTING ENGINEERS, INC.
10000 W. 10th Street, Suite 100
Dallas, Texas 75243
(214) 343-1100
FAX (214) 343-1101
www.chavez-greaves.com

Bollman - Hinson
Consulting Engineers, Inc.
1700 Jefferson Highway
New Mexico 87109
(505) 265-2507

DATE: 06/03/02
DRAWN BY: ED
CHECKED BY: CSB
APPROVED BY: CSB

REVISIONS
1. BOUNDARY CERTIFICATION

PROJECT: Nello Brothers Inc. dba. Quarters BBQ Restaurant and Package Liquor
TITLE: GRADING

PROJECT: Nello Brothers Inc. dba. Quarters BBQ Restaurant and Package Liquor
TITLE: GRADING

PROJECT: Nello Brothers Inc. dba. Quarters BBQ Restaurant and Package Liquor
TITLE: GRADING

PROJECT: Nello Brothers Inc. dba. Quarters BBQ Restaurant and Package Liquor
TITLE: GRADING

PROJECT: Nello Brothers Inc. dba. Quarters BBQ Restaurant and Package Liquor
TITLE: GRADING

PROJECT: Nello Brothers Inc. dba. Quarters BBQ Restaurant and Package Liquor
TITLE: GRADING

PROJECT: Nello Brothers Inc. dba. Quarters BBQ Restaurant and Package Liquor
TITLE: GRADING

PROJECT: Nello Brothers Inc. dba. Quarters BBQ Restaurant and Package Liquor
TITLE: GRADING

PROJECT: Nello Brothers Inc. dba. Quarters BBQ Restaurant and Package Liquor
TITLE: GRADING

PROJECT: Nello Brothers Inc. dba. Quarters BBQ Restaurant and Package Liquor
TITLE: GRADING

PROJECT: Nello Brothers Inc. dba. Quarters BBQ Restaurant and Package Liquor
TITLE: GRADING

PROJECT: Nello Brothers Inc. dba. Quarters BBQ Restaurant and Package Liquor
TITLE: GRADING

PROJECT: Nello Brothers Inc. dba. Quarters BBQ Restaurant and Package Liquor
TITLE: GRADING

PROJECT: Nello Brothers Inc. dba. Quarters BBQ Restaurant and Package Liquor
TITLE: GRADING