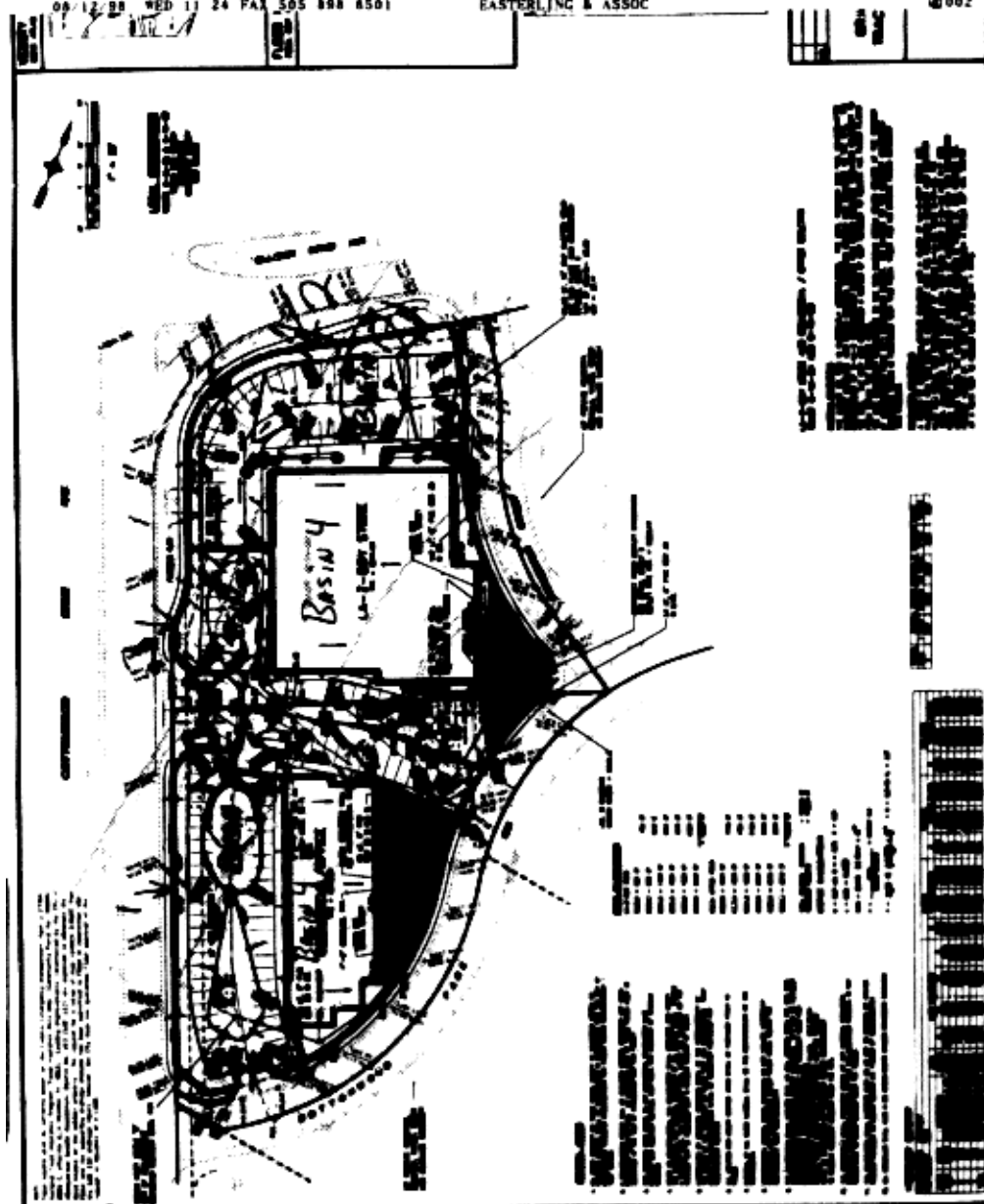






City of Albuquerque
P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

August 16, 1999

R. P. Bohannon, P.E.
Easterling & Associates, Inc.
2600 American Road SE, Suite 100
Rio Rancho, New Mexico 87124

RE: Engineer's Certification for La-Z-Boy, Tracts G-1A-2A and G-1A-2B, Seven Bar Ranch, (A14/D10B) Submitted for Certificate of Occupancy Approval, Engineer's Stamp Dated 8/12/99.

Dear Mr. Bohannon:

The above referenced plan is adequate for release of a Temporary Certificate of Occupancy, therefore, this site has been released for 30-days.

Prior to release of the permanent Certificate of Occupancy, however, the incomplete items identified on the plan must be constructed. After construction is complete, your office must certify that the entire site in compliance with the approved plan. Please include the certification of the finish floor elevation.

If you have any questions, or if I may be of further assistance to you, please call me at 924-3982.

Sincerely,

Susan M. Calongne, P.E.
City/County Floodplain Administrator

c: Whitney Reiersen, City Hydrology
Jeff Mauldin, LA-Z-Boy Furniture Gallery
File



City of Albuquerque
P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

August 16, 1999

R. P. Bohannon, P.E.
Easterling & Associates, Inc
2600 American Road SE, Suite 100
Rio Rancho, New Mexico 87124

RE: *Engineer's Certification for La-Z-Boy, Tracts G-1A-2A and G-1A-2B, Seven Bar Ranch, (A14/D10B) Submitted for Certificate of Occupancy Approval, Engineer's Stamp Dated 8/12/99.*

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Sincerely,

A handwritten signature in cursive script, appearing to read "Susan M. Calongne".

Susan M. Calongne, P.E.
City/County Floodplain Administrator

c: Whitney Reiersen, City Hydrology
Jeff Mauldin, LA-Z-Boy Furniture Gallery
File

DRAINAGE INFORMATION SHEET

PROJECT TITLE Seven Bar Ranch Tract G-1A-2A and G-1A-2B ZONE ATLAS/DRNG FILE # A-14 / 103

DRB # _____ EPC # _____ WORK ORDER # _____

LEGAL DESCRIPTION Tract G-1A-2A and G-1A-2B, Seven Bar Ranch

CITY ADDRESS Southeast Corner Ellison Drive and Cottonwood Drive, NW

ENGINEERING FIRM Easterling & Associates, Inc. CONTACT R. P. Bohannon
 ADDRESS 10131 Coors Road, NW, Suite H-7 PHONE 898-8021
Albuquerque, NM 87114-4048

OWNER LA-Z-BOY Furniture Gallery CONTACT Jeff Mauldin
 ADDRESS 5008 San Mateo NE PHONE 505-238-5331
Albuquerque, NM 87109

ARCHITECT SLNB Architects, Inc. CONTACT James C. Lewis
 ADDRESS 1620 Central Ave. SE PHONE 505-247-1528
Albuquerque, NM 87106

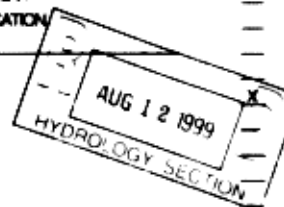
SURVEYOR Surv-TEK, Inc. CONTACT Rusty Mugg
 ADDRESS 5643 Paradise Blvd. NW PHONE 505-897-3366
Albuquerque, NM 87114

CONTRACTOR Jaynes Corporation CONTACT Mark Strong
 ADDRESS 2880 Broadway NE PHONE 345-8596
Albuquerque, NM 87107

TYPE OF SUBMITTAL:
☐ DRAINAGE REPORT
☒ DRAINAGE PLAN
☐ CONCEPTUAL GRADING & DRAINAGE PLAN
☒ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEERS CERTIFICATION
☐ OTHER _____

CHECK TYPE OF APPROVAL SOUGHT:
☐ SKETCH PLAT APPROVAL
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUBD. APPROVAL
☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY APPROVAL
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ S.A.D. DRAINAGE REPORT
☐ DRAINAGE REQUIREMENTS
☐ OTHER _____ (SPECIFY)

PPWS DESIGN MEETING:
☐ YES
☒ NO
☐ COPY PROVIDED



DATE SUBMITTED August 12, 1999
 BY: [Signature]

*ok for Temp
(30-DAY)
CO
Sme
9-13-99*

Easterling & Associates, Inc.

2600 THE AMERICAN ROAD SE. SUITE 100
RIO RANCHO, NEW MEXICO 87124
(505) 898-8821
FAX (505) 898-8501

To: City of Albuquerque
PWD Engineering Hydrology
Plaza del Sol, 600 2nd Street NW
Albuquerque, NM 87103

Attn: Susan Calongna, P.E.

Date: August 12, 1999	Job No. 4890
Re: Grading & Drainage Plan for	
Tracts G-1A-2A and G-1A-2B, Seven Bar	
La-z-boy Store	

WE ARE SENDING YOU ☒ Attached ☐ Under Separate Cover via Courier the following items:

☐ Shop Drawings	☐ Prints	☐ Plans	☐ Samples	☐ Specifications
☐ Copy of letter	☐ Change order	☐	☐	☐

Copies	Date	No.	Description
1	8/12/99		Engineer's Certification for Temporary Certificate of Occupancy
			Phase 1 Grading & Drainage Improvements
1	8/12/99		Drainage Information Sheet

THESE ARE TRANSMITTED AS CHECKED BELOW

☒ For approval	☐ Appro	Resubmit	copies for approval
☐ For your use	☐ Approv		Submit
☐ As requested	☐ Return	Return	corrected prints
☐ For review and comment	☐		
☐ FOR BIDS DUE	19		

TO EA AFTER BID

Remarks Susan:
Please call me when you get this so that we can discuss. The project changed during construction, and we prepared a revised grading and drainage plan. Fred Aguirre advised that we should just as-built the project at the end and not submit a revised G&D plan for approval because the turn-around was several weeks. In addition to the revision, the Phase 2 portion has been delayed. It is rough graded to retain all runoff. We need a temporary Certificate of Occupancy for the Phase 1 portion only.

Thanks,

COPY TO	Jeff Mauldin	SIGNED	<u>R. P. Bohannon</u>	RECEIVED BY	DATE
	Mark Strong		R. P. Bohannon		
	Randy Rhodes				

Easterling & Associates, Inc.

2600 THE AMERICAN ROAD SE. SUITE 100
RIO RANCHO, NEW MEXICO 87124
(505) 896-8821
FAX (505) 896-8581

To City of Albuquerque
PWD Engineering Hydrology
Plaza del Sol, 600 2nd Street NW
Albuquerque, NM 87103

Attn Susan Calongne, P.E.

Date:	August 12, 1999	Job No.	4890
Re: Grading & Drainage Plan for Tracts G-1A-2A and G-1A-2B, Seven Bar La-z-boy Store			

WE ARE SENDING YOU ☒ Attached ☐ Under Separate Cover via Courier the following items:

☐ Shop Drawings ☐ Prints ☐ Plans ☐ Samples ☐ Specifications
☐ Copy of letter ☐ Change order ☐ _____

Copies	Date	No	Description
1	8/12/99		Engineer's Certification for Temporary Certificate of Occupancy Phase 1 Grading & Drainage Improvements
1	8/12/199		Drainage Information Sheet

THESE ARE TRANSMITTED AS CHECKED BELOW

☒ For approval ☐ Approved as submitted ☐ Resubmit _____ copies for approval
☐ For your use ☐ Approved as noted ☐ Submit _____ copies for distribution
☐ As requested ☐ Returned for corrections ☐ Return _____ corrected prints
☐ For review and comment ☐ _____
☐ FOR BIDS DUE 19 ☐ PRINTS ON LOAN - RETURN TO EAI AFTER BID

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Thanks,

COPY TO Jeff Mauldin
Mark Strong
Randy Rhodes

SIGNED R. P. Bohannon
R. P. Bohannon

RECEIVED BY _____ DATE _____

DRAINAGE INFORMATION SHEET

PROJECT TITLE Seven Bar Ranch Tract G-1A -2A and G-1A-2B ZONE/ATLAS/DRNG FILE # A-14 /D10R
ORB# _____ EFC# _____ WORK ORDER# _____
LEGAL DESCRIPTION Tract G-1A, -2A and G-1A-2B, Seven Bar Ranch
CITY ADDRESS Southeast Corner Ellison Drive and Cottonwood Drive, NW
ENGINEERING FIRM Easterling & Associates, Inc. CONTACT R. P. Bohannon
ADDRESS 10131 Coors Road, NW, Suite H-7 PHONE 898-8021
Albuquerque, NM 87114-4048
OWNER LA-Z-BOY Furniture Gallery CONTACT Jeff Maudin
ADDRESS 5008 San Mateo NE PHONE 505-238-5331
Albuquerque, NM 87109
ARCHITECT SLNB Architects, Inc. CONTACT James C. Lewis
ADDRESS 1620 Central Ave. SE PHONE 505-247-1529
Albuquerque, NM 87106
SURVEYOR Surv-TEK, Inc. CONTACT Rusty Hugg
ADDRESS 5643 Paradise Blvd. NW PHONE 505-897-3366
Albuquerque, NM 87114
CONTRACTOR To be determined CONTACT _____
ADDRESS _____ PHONE _____

TYPE OF SUBMITTAL:
___ DRAINAGE REPORT
X DRAINAGE PLAN
___ CONCEPTUAL GRADING & DRAINAGE PLAN
X GRADING PLAN
___ EROSION CONTROL PLAN
___ ENGINEER'S CERTIFICATION
___ OTHER _____
PRE-DESIGN MEETING:
___ YES
X NO
___ COPY PROVIDED
CHECK TYPE OF APPROVAL SOUGHT:
___ SKETCH PLAT APPROVAL
___ PRELIMINARY PLAT APPROVAL
___ S. DEV. PLAN FOR SUBD. APPROVAL
X S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
___ SECTOR PLAN APPROVAL
___ FINAL PLAT APPROVAL
___ FOUNDATION PERMIT APPROVAL
X BUILDING PERMIT APPROVAL
___ CERTIFICATE OF OCCUPANCY APPROVAL
X GRADING PERMIT APPROVAL
___ PAVING PERMIT APPROVAL
___ S.A.D. DRAINAGE REPORT
X DRAINAGE REQUIREMENTS
___ OTHER _____ (SPECIFY)

DATE SUBMITTED July 28, 1988
BY [Signature]
Rev 1/80

EASTERLING & ASSOCIATES, INC.

2600 THE AMERICAN ROAD, SE SUITE 100
RIO RANCHO, NEW MEXICO 87124
(800) 888-8821
FAX (800) 888-8801

To City of Albuquerque Hydrology
Division
Plaza Del Sol - 2nd Floor
900 2nd Street NW
Albuquerque, NM

LETTER OF TRANSMITTAL

Date: 7/28/98	Job No. 4890
Attention: City of Albuquerque, Hydrology Division	
Re: LA-Z-BOY Seven Bar Ranch, Tracts G-1A-2A and 2B	

WE ARE SENDING YOU ☒ Attached ☐ Under Separate cover via Mail the following items:
☐ Shop Drawings ☐ Prints ☒ Plans ☐ Samples ☐ Specifications
☐ Copy of letter ☐ Change order ☐ _____

Copies	Date	No	Description
1			Grading and Drainage Plan for your review
1			Drainage Information Sheet

THESE ARE TRANSMITTED AS CHECKED BELOW

☐ For approval ☐ Approved as submitted ☐ Resubmit _____ copies for approval
☐ For your use ☐ Approved as noted ☐ Submit _____ copies for distribution
☐ As requested ☐ Returned for corrections ☐ Return _____ corrected prints
☒ For review and comment ☐ _____
☐ FOR BIDS DUE _____ 19__ ☐ PRINTS RETURNED AFTER LOAN TO US

Remarks: Please call if you have questions.

RECEIVED
COPY TO

JUL 28 1998

HYDROLOGY SECTION

Vicki Fry, P.E.

Vicki Fry, P.E.

08/12/98 WED 11:24 FAX 505 898 8501

EASTERLING & ASSOC

001

FAX No. (505) 898-8501

Easterling & Associates, Inc.
2800 The American Road SE, Suite 100
Rio Rancho, New Mexico 87124
(505) 898-8021

FAX TRANSMITTAL

Date: August 12, 1998

Number of Pages: 2
(includes this cover page)

Job No. 4890

Job Name: Seven Bar Ranch,
Tract G-1A-2AA 2B

To: Susan Calongne

Fax No.: 924-3884

From: Vicki Fry

Item: G&D plan, basin identification
Description:

Message: S - Here are the basin identification information. Sorry we left this off the
drawing. Please call if you have any other questions.
Thanks, V

Reply

Needed:

If you receive this fax in error or you do not receive all information as noted,
please notify us at once, 505-898-8021

Form Fax 07/88

DRAINAGE INFORMATION SHEET

PROJECT TITLE Seven Bar Ranch Tract G-1A-2A and G-1A-2B ZONE ATLAS/DRNG FILE # A-14 110103
DIB # _____ EPC # _____ WORK ORDER # _____
LEGAL DESCRIPTION Tract G-1A-2A and G-1A-2B, Seven Bar Ranch
CITY ADDRESS Southeast Corner Ellison Drive and Cottonwood Drive, NW 7750
ENGINEERING FIRM Easterling & Associates, Inc. CONTACT R. P. Bohannon
ADDRESS 10131 Coors Road, NW, Suite H-7 PHONE 898-8021
Albuquerque, NM 87114-4048
OWNER LA-Z-BOY Furniture Gallery CONTACT Jeff Mauldin
ADDRESS 5008 San Mateo NE PHONE 505-238-5331
Albuquerque, NM 87109
ARCHITECT SLNB Architects, Inc. CONTACT James C. Lewis
ADDRESS 1620 Central Ave. SE PHONE 505-247-1529
Albuquerque, NM 87106
SURVEYOR Surv-TEK, Inc. CONTACT Rusty Hugg
ADDRESS 5643 Paradise Blvd. NW PHONE 505-897-3366
Albuquerque, NM 87114
CONTRACTOR Jaynes Corporation CONTACT Mark Strong
ADDRESS 2880 Broadway NE PHONE 345-8598
Albuquerque, NM 87107

- TYPE OF SUBMITTAL:
- ☐ DRAINAGE REPORT
 - ☐ DRAINAGE PLAN
 - ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
 - ☐ GRADING PLAN
 - ☐ EROSION CONTROL PLAN
 - ☒ ENGINEERS CERTIFICATION
 - ☐ OTHER _____

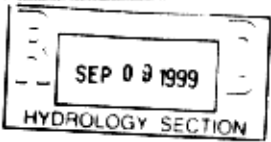
- PRE-DESIGN MEETING:
- ☐ YES
 - ☒ NO
 - ☐ COPY PROVIDED

DATE SUBMITTED September 8, 1999
BY _____

Rev 1/80

- CHECK TYPE OF APPROVAL SOUGHT:
- ☐ SKETCH PLAT APPROVAL
 - ☐ PRELIMINARY PLAT APPROVAL
 - ☐ S. DEV. PLAN FOR SUBD. APPROVAL
 - ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
 - ☐ SECTOR PLAN APPROVAL
 - ☐ FINAL PLAT APPROVAL
 - ☐ FOUNDATION PERMIT APPROVAL
 - ☐ BUILDING PERMIT APPROVAL
 - ☒ CERTIFICATE OF OCCUPANCY APPROVAL
 - ☐ GRADING PERMIT APPROVAL
 - ☐ PAVING PERMIT APPROVAL
 - ☐ S.A.D. DRAINAGE REPORT
 - ☐ DRAINAGE REQUIREMENTS
 - ☐ OTHER _____ (SPECIFY)

174



Easterling & Associates, Inc.

2600 THE AMERICAN ROAD SE. SUITE 100
RIO RANCHO NEW MEXICO 87124
(505) 898-8921
FAX (505) 898-8501

To City of Albuquerque
PWD Engineering Hydrology
Plaza del Sol, 600 2nd Street NW
Albuquerque, NM 87103

Attn: Susan Calongne, P.E.

Date	September 8, 1999	Job No.	4890
Re	Grading & Drainage Plan for Tracts G-1A-2A and G-1A-2B, Seven Bar La-z-boy Store		

WE ARE SENDING YOU ☒ Attached ☐ Under Separate Cover via Courier the following items

☐ Shop Drawings ☐ Prints ☐ Plans ☐ Samples ☐ Specifications
☐ Copy of letter ☐ Change order ☐ _____

Copies	Date	No.	Description
1	9/8/99		Engineer's Certification for Permanent Certificate of Occupancy Phase 1 Grading & Drainage Improvements
1	9/8/99		Drainage Information Sheet

THESE ARE TRANSMITTED AS CHECKED BELOW

☒ For approval	☐ Approved as submitted	SEP 03 1999 HYDROLOGICAL RESUBMIT RECEIVED	copies for approval
☐ For your use	☐ Approved as noted		copies for distribution
☐ As requested	☐ Returned for corrections		corrected prints
☐ For review and comment	☐ _____		
☐ FOR BIDS DUE	19 ☐ PRINTS ON LOAN - RETURN TO E&A AFTER BID		

Remarks Susan:
The punch list work noted on the Certification for the Temporary Certification has been completed. This certification is for the permanent CO. Please call me if you have any questions.

Thanks,

COPY TO
Jeff Mauldin, La-z-boy
Mark Strong, Jaynes
Randy Rhodes, Jaynes
Jim Lewis, SLNB Architects

SIGNED R. P. Bohannon
R. P. Bohannon

RECEIVED BY [Signature] DATE 9/11/99

If enclosures are not as noted, kindly notify us at once

Form Rev 6/18/97

DRAINAGE INFORMATION SHEET

PROJECT TITLE

Seven Bar Ranch Tract G-1A, 2A and G-1A-2B

ZONE ATLAS / DRNG FILE #

A-14

10 B

DRB #

EPC #

WORK ORDER #

LEGAL DESCRIPTION

Tract G-1A, 2A and G-1A-2B, Seven Bar Ranch

CITY ADDRESS

Southeast Corner Ellison Drive and Cottonwood Drive, NW

ENGINEERING FIRM

Easterling & Associates, Inc

CONTACT

R. P. Bohannon

ADDRESS

10131 Coors Road NW, Suite H-7

PHONE

898-8021

Albuquerque, NM 87114-4048

OWNER

Lazy Boy Furniture Gallery

CONTACT

Jeff Mauldin

ADDRESS

5008 San Mateo NE

PHONE

505-238-5331

Albuquerque, NM 87109

ARCHITECT

N/A

CONTACT

ADDRESS

PHONE

SURVEYOR

N/A

CONTACT

ADDRESS

PHONE

CONTRACTOR

To be determined

CONTACT

ADDRESS

PHONE

TYPE OF SUBMITTAL:

— DRAINAGE REPORT

— DRAINAGE PLAN

— CONCEPTUAL GRADING & DRAINAGE PLAN

— GRADING PLAN

— EROSION CONTROL PLAN

— ENGINEER'S CERTIFICATION

X OTHER Compacted Fill Stockpile Plan

CHECK TYPE OF APPROVAL SOUGHT:

— SKETCH PLAT APPROVAL

— PRELIMINARY PLAT APPROVAL

— S. DEV. PLAN FOR SUBD. APPROVAL

— S. DEV. PLAN FOR BLDG. PERMIT APPROVAL

— SECTOR PLAN APPROVAL

— FINAL PLAT APPROVAL

— FOUNDATION PERMIT APPROVAL

— BUILDING PERMIT APPROVAL

— CERTIFICATE OF OCCUPANCY APPROVAL

— GRADING PERMIT APPROVAL

— PAVING PERMIT APPROVAL

— S.A.D. DRAINAGE REPORT

— DRAINAGE REQUIREMENTS

X OTHER Stockpile Approval (SPECIFY)

PRE-DESIGN MEETING:

— YES

X NO

COPY PROVIDED HYDROLOGICAL SECTION

DATE SUBMITTED

June 1, 1998

BY

R. P. Bohannon



August 19, 1998

Charles M. Easterling, P.E.
Easterling & Associates, Inc.
2600 American Road SE, Suite 100
Rio Rancho, New Mexico 87124

**RE: Grading and Drainage Plan for Seven Bar Ranch Tract G-1A-2A and G-1A-2B,
Submitted for Site Development Plan for Building Permit Approval, Building and
Grading Permit Approval, Engineer's Stamp Dated 7/24/98.**

Dear Mr. Easterling:

Based on the information provided with the submittal of July 28, 1998, the above referenced plan is approved for Site Development Plan for Building Permit Approval.

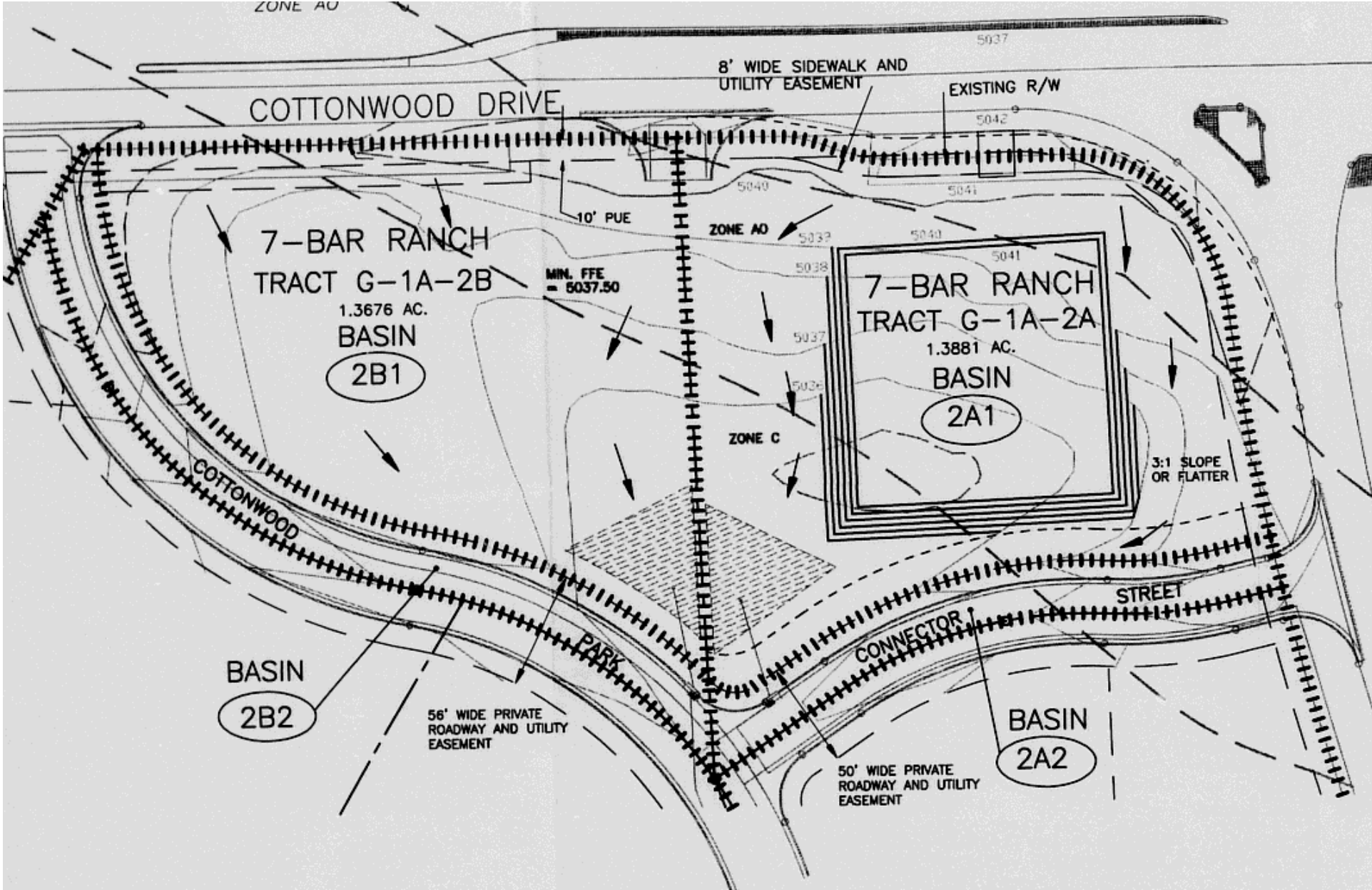
Prior to release of the Grading Permit or Building Permit, this plan must be approved by the DRB. As you are aware, the Engineer's Certification must be submitted to and approved by City Hydrology prior to release of the Certificate of Occupancy for this development.

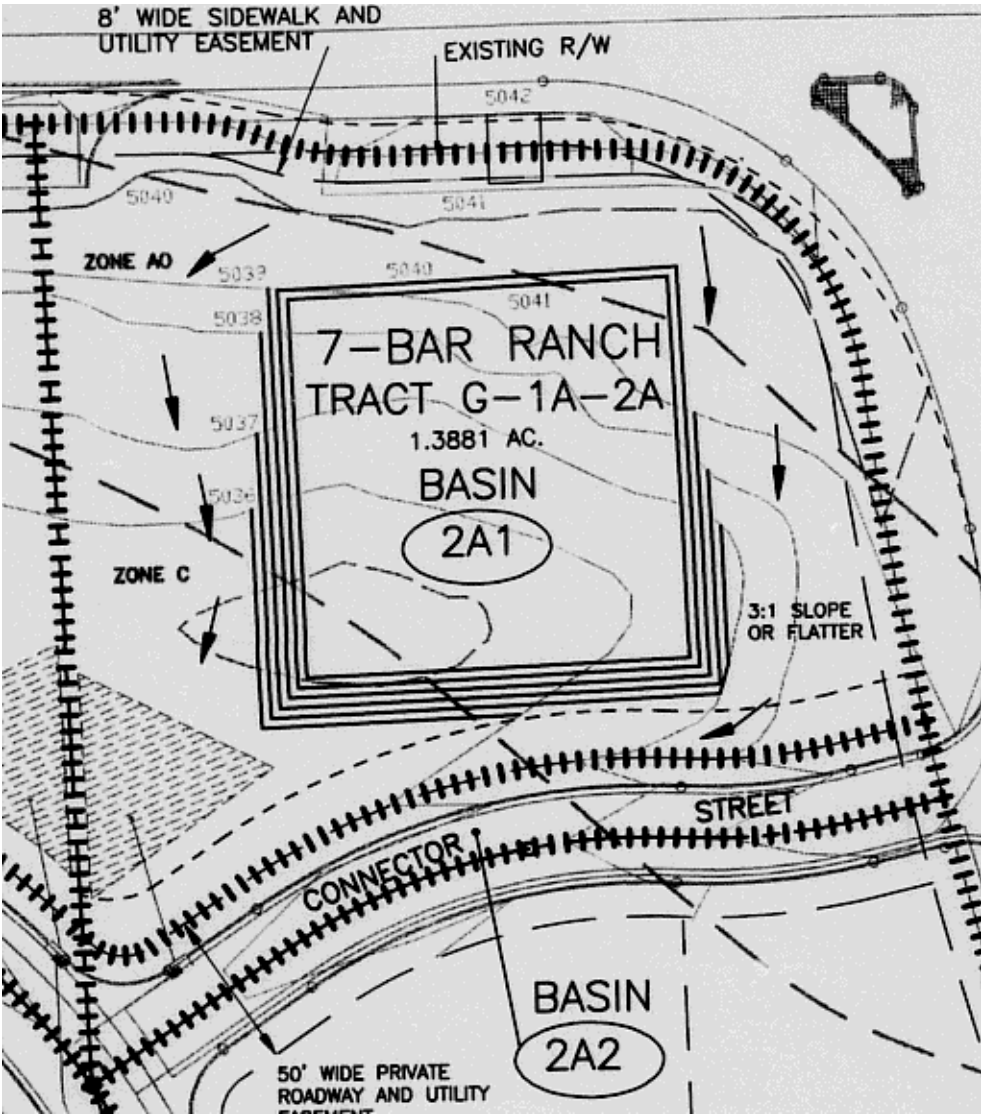
If you have any questions, or if I may be of further assistance to you, please call me at 924-3982.

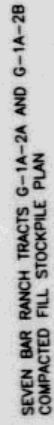
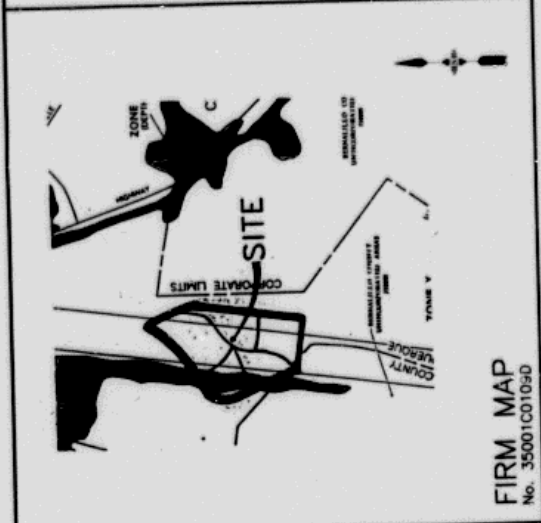
Sincerely,

Susan M. Calongne, P.E.
City/County Floodplain Administrator

c: Andrew Garcia, City Hydrology
Jeff Mauldin, LA-Z-Boy Furniture Gallery
File







GENERAL TRACTS G-1A-2A AND 2B, SEVEN BAR RANCH FORM A 2.76 ACRE SITE LOCATED AT THE SOUTHEAST CORNER OF ELLISON DRIVE AND COTTONWOOD DRIVE NW. THE SITE IS ZONED SU-1 FOR C2 USE.

THIS COMPACTED FILL SHOULD BE USED FOR THE TRACTS G-1A-2A AND 2B. (REFER TO EPC 2-96-927). TRACTS G-1A-2A AND 2B ARE TO BE USED FOR THE DRAINAGE PLAN FOR TRACTS G-1A-2A THROUGH G-1A-2E IS STILL APPLICABLE TO TRACTS G-1A-2A AND 2B.

METHOD
THE HYDROLOGY FOR THIS GRADING AND DRAINAGE PLAN IS BASED ON THE METHODS PRESENTED IN THE CITY OF ALBUQUERQUE DEVELOPMENT PROCESS MANUAL, VOLUME 2, DESIGN CRITERIA, SECTION 22.2 HYDROLOGY, JANUARY 1983, PROCEDURE FOR 40 ACRE AND SMALLER BASINS. THE HYDROLOGY FOR EXISTING (UNDEVELOPED) AND FOR

EXISTING CONDITIONS
THE SITE IS CURRENTLY UNDEVELOPED. THE EXISTING SITE TERRAIN IS RELATIVELY MILD AND SLOPES GENERALLY FROM SOUTH TO NORTH AT ABOUT 1% MOST OF THE SITE DRAINS TO THE TEMPORARY DETENTION POND AT THE EAST END OF THE SITE. THERE ARE NO OFFSITE FLOODS ENTERING THE SITE. THE FEMA FLOOD INSURANCE RATE MAP FOR THE CITY OF ALBUQUERQUE, NEW MEXICO AND THE INCORPORATED AREAS, PANEL 2 OF 50, (COMMUNITY NUMBER 350003 0002 C) INDICATES THAT A SMALL PORTION OF THE SITE IS WITHIN THE ZONE 10 (FORTH 1) FLOOD HAZARD AREA. THE FLOOD HAZARD AREA ENCRACHING ON THE SITE IS EXPECTED TO BE ELIMINATED BY A LETTER OF MAP REVISION BEING PROCESSED IN CONNECTION WITH SAO 223 INITIAL DEVELOPMENT OF TRACTS G-1A-2B THROUGH G-1A-2E INCLUDED CONSTRUCTION OF REQUIRED OFFSITE IMPROVEMENTS, ONSITE ROADWAYS AND DRAINAGE IMPROVEMENTS AND INTERM RETENTION PONDS PROPOSED (DEVELOPED) CONDITIONS IS INCLUDED IN THE HYDROLOGIST SUMMARY TABLE.

ON EACH TRACT, EXCEPT FOR THESE IMPROVEMENTS, TRACTS 2 AND 3. NO DEVELOPMENT IS PROPOSED AT THIS TIME
PROPOSED CONDITIONS
IMPROVEMENTS TO BE PLACED ON TRACT 6-1A-2A TO BE AVAILABLE FOR USE IN FUTURE DEVELOPMENT OF THE SITE. NO DEVELOPMENT IS PROPOSED AT THIS TIME
FROM THE TRACTS 6-1A-2A AND 2B AREAS IS 2.89 CFS.

IT IS PROPOSED THAT A COMPACTED FILL STOCKPILE BE CONSTRUCTED ON TRACTS 2A AND 2B WILL BE RE-SEEDDED SO THAT THE DEVELOPED SITE HYDROLOGY WILL NOT CHANGE FROM THE EXISTING UNDEVELOPED CONDITION. ALL AREAS DISTURBED DURING STOCKPILING ON TRACTS 2A AND 2B WILL BE AT LEAST ONE FOOT ABOVE THE FLOOD HAZARD ELEVATION.

FUTURE BUILDING FINISHED FLOOR ELEVATIONS SHALL BE AT LEAST ONE FOOT ABOVE THE PREVIOUS FINISHED FLOOR ELEVATION TO PREVENT SEDIMENT EROSION FROM THE SITE.

EROSION CONTROL:

TEMPORARY SWALES, PONDS, EARTH RETENTION WALLS, AND OTHER MEASURES SHALL BE INSTALLED UPON COMPLETION OF EACH PHASE OF CONSTRUCTION TO PREVENT EROSION OF EXPOSED SOILS.

BAIN	AREA (AC)	CURVE FLOW RATE (GPM)	RELEASE RATE (GPM)	APPROXIMATE RETENTION POND VOLUME REQUIRED FOR STORAGE IN STORM CONDITION (CU FT)	
				75% FT	75% FT
3A1	1.1760	1.31	0.44	3,154	7243
3A2	0.89	0.89	0.89	0	0
3B1	1.0833	1.41	0.41	2,837	6,745
3B2	1.15	1.15	1.15	0	0
TOTALS	2.7557	4.66	2.89		

BASIN	CONDITION	PERCENT DEVELOPED	PERCENT DEVELOPED	PERCENT DEVELOPED	TOTAL SITE UNDER DEV.
2A1	DEVELOPED				
2A2	DEVELOPED				
2B1	DEVELOPED				
2B2	DEVELOPED				
TOTAL	SITE				

DESCRIPTION	AREA	LAND TREATMENTS			100 YEAR			100 YEAR		
		A	B	C	Q	W	24 hr	Q	W	24 hr
UNDESIGNED TRACT 0-14-35 SITE	1.17-0.40	100%	0%	0.08	0.00	0.00	0.00	0.00	0.00	0.00
UNDESIGNED TRACT 0-14-35 STREET	0.21-0.41	100%	0%	0.08	0.00	0.00	0.00	0.00	0.00	0.00
UNDESIGNED TRACT 0-14-35 SITE	0.27-0.43	0.0%	0.0%	12.0%	66.0%	0.42	0.01-0.46	0.01-0.46	0.01-0.46	0.01-0.46
UNDESIGNED TRACT 241-282 UNCLV./REV.	2.75-0.7	62.3%	0.0%	2.5%	15.3%	0.74	0.02-0.9	0.02-0.9	0.02-0.9	0.02-0.9

INPUT DATA:					
PRECIP	RAINFALL DEPTHS (INCHES) AT 100-YEAR STORM				
ZONE	1 HOUR	5 HOUR	24 HOUR	6 DAY	10 DAY
1	1.87	2.20	2.68	3.12	3.87

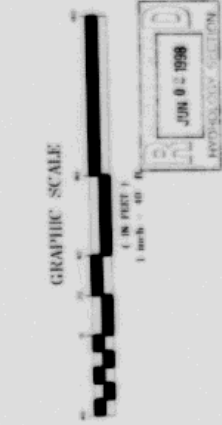
CONSTRUCTION NOTES

1. CLEAR AND GRUB STOCKPILE AREA.
2. COMPACT FILL TO 90% ASTM D 1557 WITH MOISTURE AT OPTIMUM $\pm 2\%$.
3. RE-SEED ALL DISTURBED AREAS.

LEGAL DESCRIPTION
TRACTS G-1A-2A AND G-1A-2B
SEVEN - BAR RANCH
CITY OF ALBUQUERQUE
BERNALILLO COUNTY,
NEW MEXICO
NOVEMBER, 1996

BENCHMARK
NMSHC MONUMENT "NM-448-N12"
ELEV. = 5023.41'
LOCATED 60' WEST OF COORS RD.
CENTERLINE AND 550' SOUTH OF
ALAMEDA BLVD. (NMSR 528)
CENTERLINE

LEGEND	DESCRIPTION	NEW	EXISTING
	CONTOURS	5034	5034
	SPOT ELEVATIONS	5038	5038
	DRAINAGE AREA BOUNDARY		
	DRAINAGE DIVIDE		
	WATER BLOCK		
	DIRECTION OF FLOW		
	ASPHALT PAVING	ASPHALT L.S.	ASPHALT L.S.
	LANDSCAPING		
	RETAINING WALL		
	GARDEN WALL		
	SWALE		
	PROPERTY LINE		
	FENCE		
	CATCH BASIN		
	STORM DRAIN M.H. & LINE		
	SANITARY SEWER M.H. & LINE		
	FIRE HYDRANT & WATER LINE		
	REDUCERS		
	WATER VALVES		
	WATER CONNECTIONS		
	WATER JOINTS		
	CONCRETE		
	GAS LINE		
	UNDERGROUND TELEPHONE		
	CABLE TELEVISION		
	POWER/TELEPHONE POLE		
	UNDERGROUND ELECTRICAL		
	CURB ELEVATION		
	HYDROLOGICAL ANALYSIS PT.		



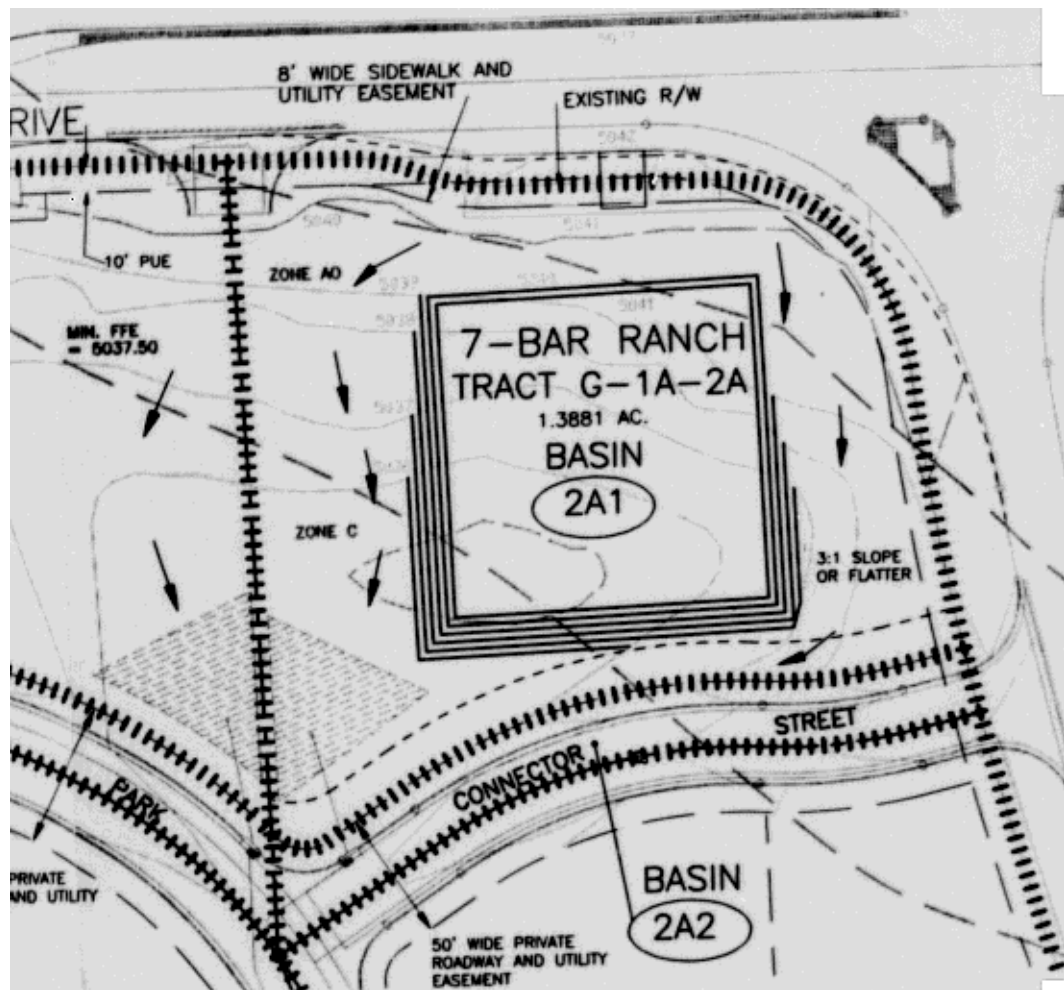
NO.	REVISIONS	BY	DATE

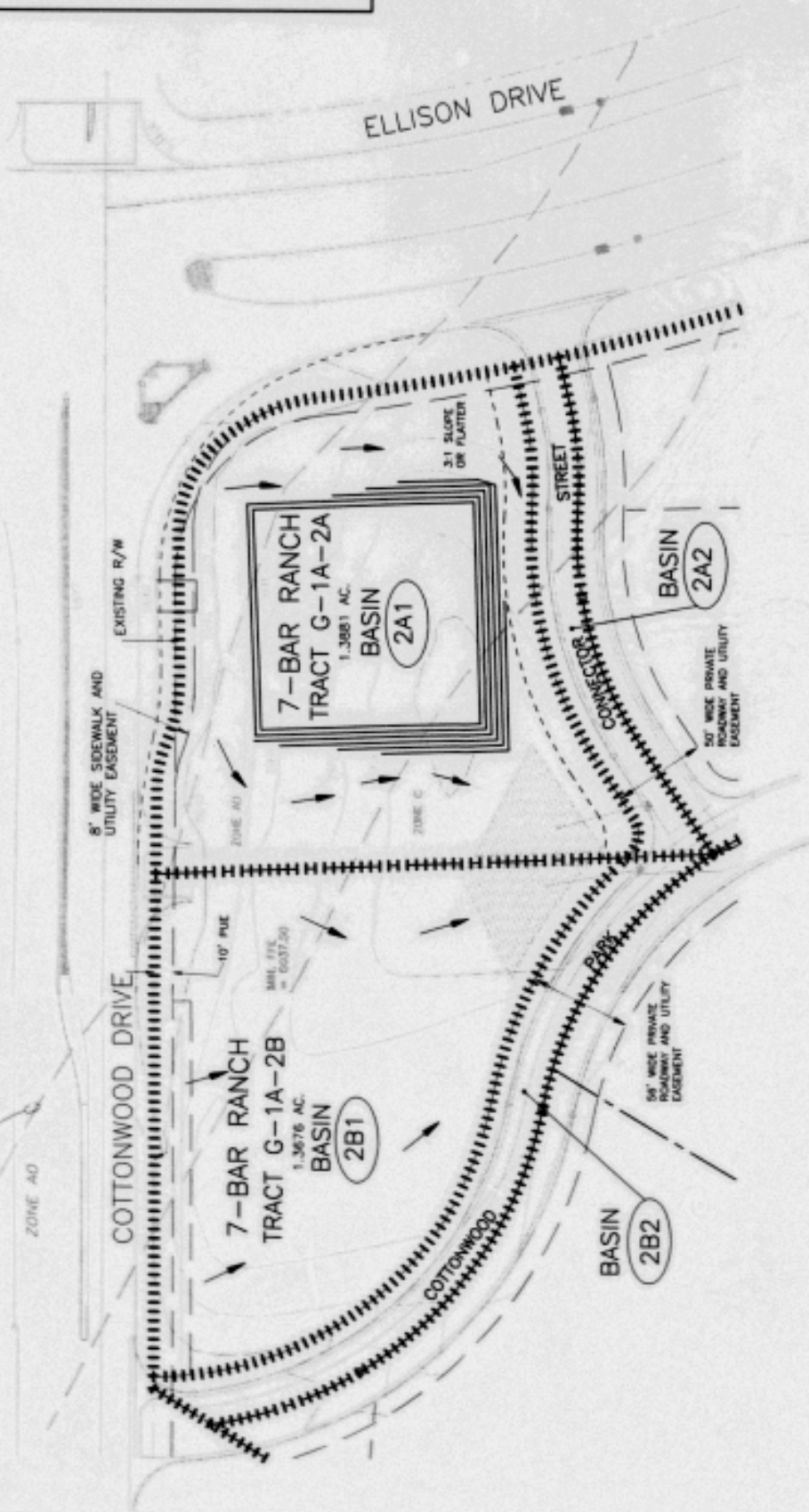
TRACTS G-1A--2A AND 2B
SEVEN BAR RANCH
COMPACTED FILL STOCKPILE PLAN



Easterling & Associates, Inc.
CONSULTING ENGINEERS
2600 The American Rd., SE, Suit 100
Rio Rancho, New Mexico 87124
(505) 898-8023 FAX (505) 898-8560

	DESIGNED BY	CHECKED BY	SHEET 1 OF 1
	VAF	RFB	
	DATE	5/98	
	JOB NO. 4960		





GENERAL
TRACTS G-1A-2A AND 2B, SEVEN BAR RANCH FORM A 2.76 ACRE SITE LOCATED AT THE SOUTHEAST CORNER OF ELLEGON DRIVE AND COTTAGEWOOD DRIVE NW. THE SITE IS ZONED SU-1 FOR C2 USES (UPPER TO EPC 2-6M-182). TRACTS G-1A-2A AND 2B WERE CREATED BY SUBDIVISION OF PARCELS G-1A-2 AND 2B INTO TWO TRACTS, G-1A-2A AND G-1A-2B. TRACTS G-1A-2A AND 2B WERE CREATED BY SUBDIVISION OF PARCELS G-1A-2 AND 2B INTO TWO TRACTS, G-1A-2A AND 2B. THIS COMPACTED FILL SCOPELINE PLAN DOES NOT REVERSE DRAINAGE DIRECTION. DRAINAGE DIRECTION IS INDICATED BY ARROWS. DRAINAGE DIRECTION IS INDICATED BY ARROWS. DRAINAGE DIRECTION IS INDICATED BY ARROWS.

METHODS
THE HYDROLOGY FOR THIS GRADING AND DRAINAGE PLAN IS BASED ON THE METHODS PRESENTED IN THE CITY OF ALBUQUERQUE DEVELOPMENT PROCESS MANUAL, VOLUME 2, DESIGN CRITERIA, SECTION 22.2 HYDROLOGY, JANUARY 1983, PROCEDURE FOR 40 ACRE AND SMALLER BASINS. THE HYDROLOGY FOR EXISTING (UNDEVELOPED) AND FOR PROPOSED (DEVELOPED) CONDITIONS IS INCLUDED IN THE HYDROLOGY SUMMARY TABLE.

EXISTING CONDITIONS

THE SITE IS CURRENTLY UNDEVELOPED. THE EXISTING SITE TERRAIN IS RELATIVELY MILD AND SLOPES GENERALLY FROM SOUTH TO NORTH AT ABOUT 1%. MOST OF THE SITE DRAINS TO THE TEMPORARY DETENTION POND AT THE EAST END OF THE SITE. THERE ARE NO OFFSITE FLOWING ENTERING THE SITE. THE FEMA FLOOD INSURANCE RATE MAP FOR THE CITY OF ALBUQUERQUE, NEW MEXICO AND RECORPORATED AREAS, PANEL 2 OF 50, (COMMUNITY PANEL NO. 350022 0002 C) INDICATES THAT A SMALL PORTION OF THE SITE IS WITHIN THE ZONE A (DEPTH 1' FLOOD HAZARD) AREA. THE FLOOD HAZARD AREA ENCROACHING ON THE SITE IS EXPECTED TO BE ELIMINATED BY A LETTER OF MAP REVISION BEING PROCESSED IN CONNECTION WITH SAU 223. INITIAL DEVELOPMENT OF TRACTS 0-1A-2A THROUGH 6-1A-3E INCLUDED CONSTRUCTION OF REQUIRED OFFSITE IMPROVEMENTS, ONSITE ROADWAYS AND DRAINAGE IMPROVEMENTS AND INTERIM RETENTION POUNDS ON EACH TRACT. EXCEPT FOR THESE IMPROVEMENTS, TRACTS 6-1A-2A AND 7-1A-2E REMAIN UNDEVELOPED.

PROPOSED CONDITIONS

IT IS PROPOSED THAT A COMPACTED FILL STOCKPILE BE PLACED ON TRACT G-1A-2A TO BE AVAILABLE FOR USE IN FUTURE DEVELOPMENT OF THE SITE. NO DEVELOPMENT IS PROPOSED AT THIS TIME. IN ACCORDANCE WITH THE PREVIOUS GRADING & DRAINAGE PLAN FOR TRACT G-1A-2, THE TOTAL ALLOWABLE RELEASE RATE FROM THE TRACTS G-1A-3A AND 2B AREAS IS 2.89 CFS. ALL AREAS DISTURBED DURING STOCKPILING ON TRACTS 2A AND 2B WILL BE RE-SEEDING SO THAT THE DEVELOPED SITE HYDROLOGY WILL NOT CHANGE FROM THE EXISTING UNDEVELOPED CONDITION. FUTURE BUILDING FINISHED FLOOR ELEVATIONS SHALL BE AT LEAST ONE FOOT ABOVE THE FLOOD HAZARD ELEVATION.

ERIDSON CONTROL. ALL DISTURBED AREAS SHALL BE RE-SEEDED UPON COMPLETION. TEMPORARY SNALES, PONDS, EARTH BERM, STRAW BALES AND SALT FENCING SHALL BE IMPLEMENTED AS NECESSARY DURING CONSTRUCTION TO PREVENT SEDIMENT EROSION FROM THE SITE.

GRADING & DRAINAGE PLAN		ALLOWABLE RELEASE RATES		APPROXIMATE RETENTION		APPROXIMATE RETENTION	
BASIN	AREA (AC)	PEAK FLOW RATE (CFS)	Q/100 / BAR	RELEASE RATE (CFS)	POUND VOLUME	POUND VOLUME	POUND VOLUME
					PER ACRE OF BASIN DEVELOPED	PER ACRE OF BASIN DEVELOPED	PER ACRE OF BASIN DEVELOPED
204	1,792	1.31		0.44	3,154	7243	(30 FT)
205	0.89	0.89		0.89	0	0	
206	0.13	0.13		1.11	2.83	6,145	
207	0.743	1.58		1.73	0	0	
TOTAL	2,730.9			2.89			

HYDROLOGY SUMMARY		
DATE	CONDITION	RESPONSE
1/1	DEVELOPED	RESPONSE
1/2	DEVELOPED	RESPONSE
1/3	DEVELOPED	RESPONSE
1/4	DEVELOPED	RESPONSE
TOTAL	UNDER/DEV.	TOTAL

AREA	2 YEAR			15 YEAR			150 YEAR		
	AREA [km ²]	VOLUME [10 ⁶ m ³]	D [m]	AREA [km ²]	VOLUME [10 ⁶ m ³]	D [m]	AREA [km ²]	VOLUME [10 ⁶ m ³]	D [m]
1	1.1740	0.076	0.06	0.80	0.007	0.008	0.00	0.00	0.00
2	0.2741	0.016	0.06	0.80	0.007	0.008	0.00	0.00	0.00
3	0.0833	0.008	0.06	0.80	0.007	0.008	0.00	0.00	0.00
4	0.2743	0.016	0.06	0.80	0.007	0.008	0.00	0.00	0.00
5	0.2743	0.016	0.06	0.80	0.007	0.008	0.00	0.00	0.00
6	0.2743	0.016	0.06	0.80	0.007	0.008	0.00	0.00	0.00
7	0.2743	0.016	0.06	0.80	0.007	0.008	0.00	0.00	0.00
8	0.2743	0.016	0.06	0.80	0.007	0.008	0.00	0.00	0.00
9	0.2743	0.016	0.06	0.80	0.007	0.008	0.00	0.00	0.00
10	0.2743	0.016	0.06	0.80	0.007	0.008	0.00	0.00	0.00
11	0.2743	0.016	0.06	0.80	0.007	0.008	0.00	0.00	0.00
12	0.2743	0.016	0.06	0.80	0.007	0.008	0.00	0.00	0.00
13	0.2743	0.016	0.06	0.80	0.007	0.008	0.00	0.00	0.00
14	0.2743	0.016	0.06	0.80	0.007	0.008	0.00	0.00	0.00
15	0.2743	0.016	0.06	0.80	0.007	0.008	0.00	0.00	0.00
16	0.2743	0.016	0.06	0.80	0.007	0.008	0.00	0.00	0.00
17	0.2743	0.016	0.06	0.80	0.007	0.008	0.00	0.00	0.00
18	0.2743	0.016	0.06	0.80	0.007	0.008	0.00	0.00	0.00
19	0.2743	0.016	0.06	0.80	0.007	0.008	0.00	0.00	0.00
20	0.2743	0.016	0.06	0.80	0.007	0.008	0.00	0.00	0.00
21	0.2743	0.016	0.06	0.80	0.007	0.008	0.00	0.00	0.00
22	0.2743	0.016	0.06	0.80	0.007	0.008	0.00	0.00	0.00
23	0.2743	0.016	0.06	0.80	0.007	0.008	0.00	0.00	0.00
24	0.2743	0.016	0.06	0.80	0.007	0.008	0.00	0.00	0.00
25	0.2743	0.016	0.06	0.80	0.007	0.008	0.00	0.00	0.00
26	0.2743	0.016	0.06	0.80	0.007	0.008	0.00	0.00	0.00
27	0.2743	0.016	0.06	0.80	0.007	0.008	0.00	0.00	0.00
28	0.2743	0.016	0.06	0.80	0.007	0.008	0.00	0.00	0.00
29	0.2743	0.016	0.06	0.80	0.007	0.008	0.00	0.00	0.00
30	0.2743	0.016	0.06	0.80	0.007	0.008	0.00	0.00	0.00
31	0.2743	0.016	0.06	0.80	0.007	0.008	0.00	0.00	0.00
32	0								



DESCRIPTION	NEW	EXISTING
CONTOURS	5088	
SPOT ELEVATIONS	5088	
DRAINAGE AREA BOUNDARY		
WATER FLOW		
WATER BLOCK		
DIRECTION OF FLOW		
ASPHALT PAVING		
LANDSCAPING		
RETAINING WALL		
GARDEN WALL		
SEWER		
PROPERTY LINE		
FENCE		
CATCH BASIN		
STORM DRAIN M.H. & LINE		
SANITARY SEWER M.H. & LINE		
FIRE HYDRANT & WATER LINE		
REDUCERS		
WATER VALVES		
WATER CONNECTIONS		
WATER JOINTS		
CONCRETE		
GAS LINE		
UNDERGROUND TELEPHONE		
CABLE TELEVISION		
POWER/TELEPHONE POLE		
UNDERGROUND ELECTRICAL		
CURB ELEVATION		
HYDROLOGICAL ANALYSIS PT.		

BENCHMARK
NAD83-C MOVEMENT "NM-448-N12"
ELEV. = 5023.41'
LOCATED 80' WEST OF COORS RD.
CENTERLINE AND 560' SOUTH OF
ALAMEDA BLVD. (NMSR 528)
CENTERLINE

APPROVED FOR ROUGH GRADING: Sam Colangelo DATE: 7-6-98

NO.	REVISIONS	BY	DATE

TRACTS G-1A-2A AND 2B
SEVEN BAR RANCH

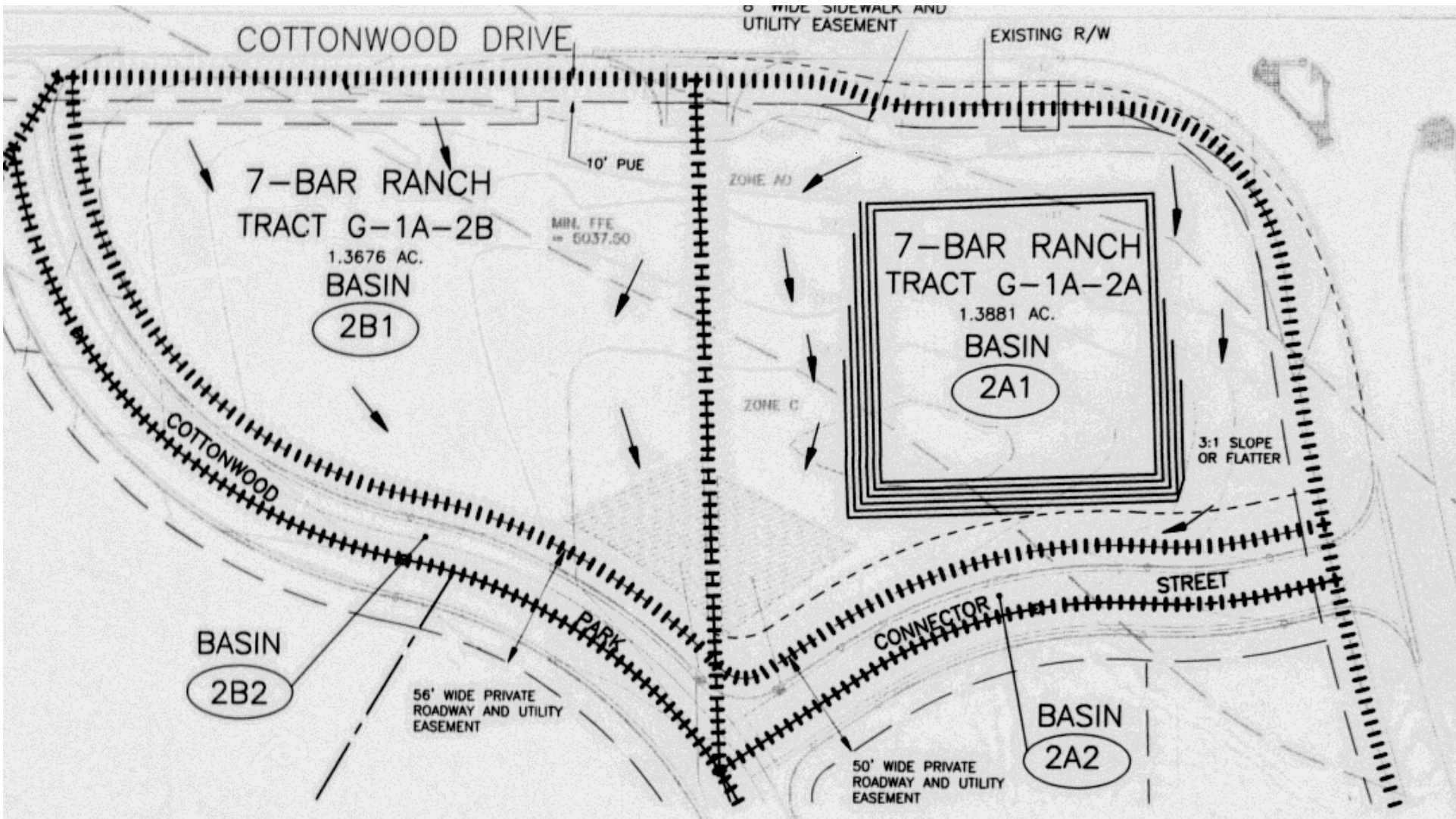
COMPACTED FILL STOCKPILE PLAN

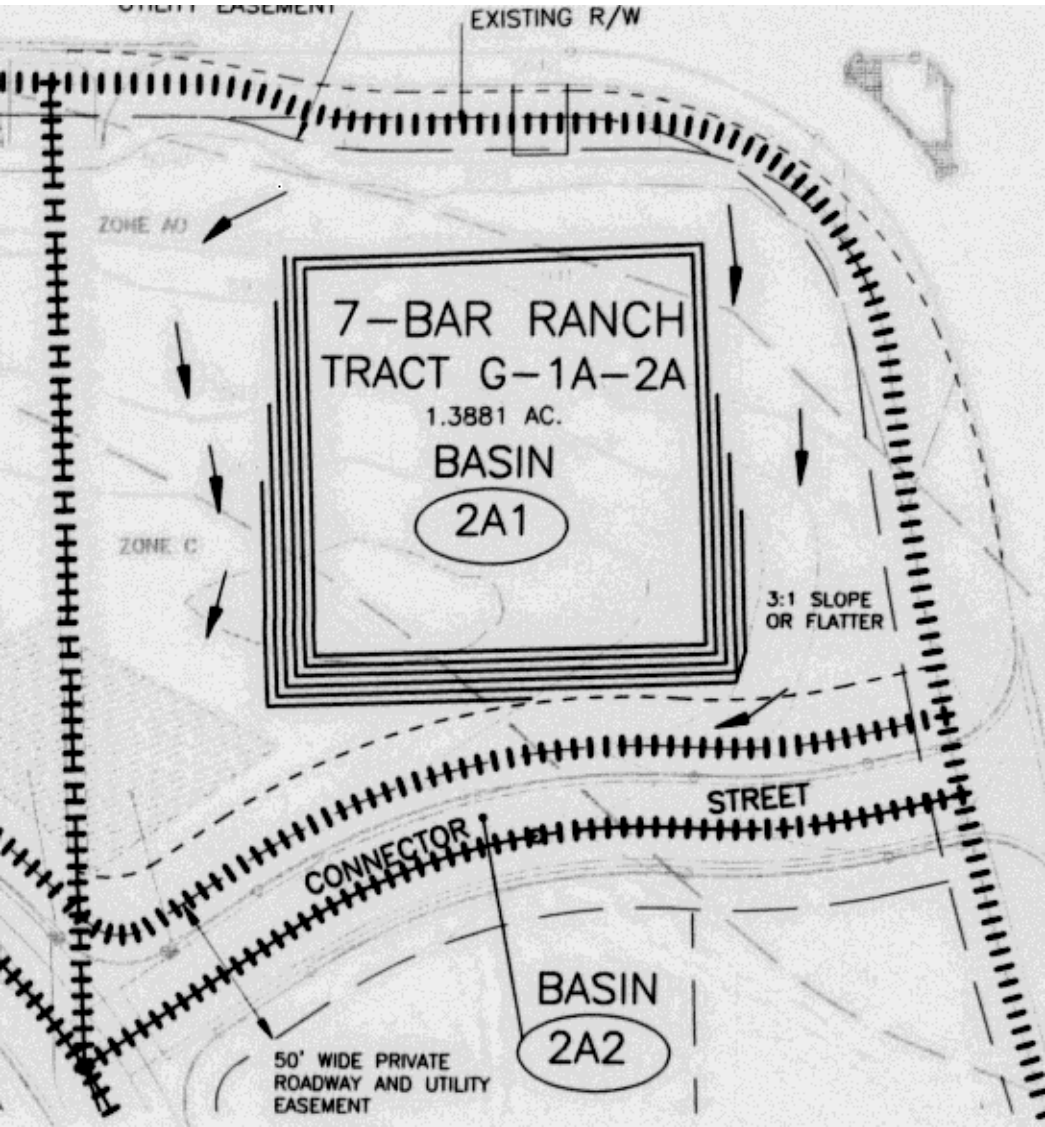


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Los Angeles, New Mexico 87724
(505) 898-8031 FAX (505) 898-8660

REVISIONS BY	DATE	CHECKED BY	SHEET
VAF	4860	RFB	1
DATE		DATE	OF
			1

BSP-UT DATA					
RECORDER ZONE	TOTAL HOURS	BSP-UTS 8 HOURS	(BSP-UTS) AT 24 HOURS	AT 100-HOUR STATION	STATION
1	1.87	2.25	3.96	3.12	3.87





Flood Hazard Zone Line
Adapted from FEMA Map
Number 550002Z 002 C
ZONE AO

ZONE AO

COTTONWOOD DRIVE

7-BAR RANCH
TRACT G-1A-2B
1.3676 AC.
BASIN
2B1

M.B. ELEV.
= 5037.70

167' PUE

8' WIDE SIDEWALK AND
UTILITY EASEMENT

EXISTING R/W

7-BAR RANCH
TRACT G-1A-2A
1.3581 AC.
BASIN
2A1

3:1 SLOPE
OR FLATTER

STREET

50' WIDE PRIVATE
ROADWAY AND UTILITY
EASEMENT

BASIN
2A2

50' WIDE PRIVATE
ROADWAY AND UTILITY
EASEMENT

BASIN
2B2

ELLISON DRIVE

SEVEN BAR RANCH TRACTS G-1A-2A AND G-1A-2B COMPACTED FILL STOCKPILE PLAN

GENERAL
TRACTS G-1A-2A AND 2B, SEVEN BAR RANCH FORM A 2.76 ACRE SITE LOCATED AT THE SOUTHWEST CORNER OF ELLISON DRIVE AND COTTONWOOD DRIVE NW. THE SITE IS ZONED SU-1 FOR C2 USES (REFER TO EPC 2-94-62). TRACTS G-1A-2A AND 2B WERE CREATED BY SUBDIVISION OF PARCEL G-1A-2A INTO TRACTS G-1A-2A THROUGH G-1A-2E. THE 1/31/97 GRADING & DRAINAGE PLAN FOR TRACTS G-1A-2A THROUGH G-1A-2E IS STILL APPLICABLE TO TRACTS G-1A-2A AND 2B. THIS COMPACTED FILL STOCKPILE PLAN DOES NOT REUSE DRAINAGE GUIDELINES FOR TRACTS G-1A-2A AND 2B.

METHOD
THE HYDROLOGY FOR THIS GRADING AND DRAINAGE PLAN IS BASED ON THE METHODS PRESENTED IN THE CITY OF ALBUQUERQUE DEVELOPMENT PROCESS MANUAL, VOLUME 2, DESIGN CRITERIA, SECTION 22.2 HYDROLOGY, JANUARY 1983, PROCEDURE FOR 40 ACRE AND SMALLER BASINS. THE HYDROLOGY FOR EXISTING (UNDEVELOPED) AND FOR PROPOSED (DEVELOPED) CONDITIONS IS INCLUDED IN THE HYDROLOGY SUMMARY TABLE.

EXISTING CONDITIONS
THE SITE IS CURRENTLY UNDEVELOPED. THE EXISTING SITE TERRAIN IS RELATIVELY FLAT AND SLOPES GENERALLY FROM SOUTH TO NORTH AT ABOUT 1%. MOST OF THE SITE DRAWS TO THE TEMPORARY RETENTION POND AT THE EAST END OF THE SITE. THERE ARE NO OFFSITE FLOWS ENTERING THE SITE. THE FLOOD HAZARD AREA WITHIN THE SITE IS WITHIN THE ZONE AO WITHIN THE CITY OF ALBUQUERQUE, NEW MEXICO AND THE FLOOD HAZARD AREA ENCOMPASSING THE SITE IS EXPECTED TO BE ELIMINATED BY A LETTER OF MAP REVISION BEING PROCESSED IN CONNECTION WITH SMO 223. THE FLOOD HAZARD AREA WITHIN TRACTS G-1A-2A THROUGH G-1A-2E INCLUDED CONSTRUCTION OF REQUIRED OFFSITE IMPROVEMENTS, ONSITE ROADWAYS AND DRAINAGE IMPROVEMENTS AND INTERIM RETENTION PONDS ON EACH TRACT. EXCEPT FOR THESE IMPROVEMENTS, TRACTS G-1A-2A AND 2B REMAIN UNDEVELOPED.

PROPOSED CONDITIONS
IT IS PROPOSED THAT A COMPACTED FILL STOCKPILE BE PLACED ON TRACT G-1A-2A TO BE AVAILABLE FOR USE IN FUTURE DEVELOPMENT OF THE SITE. NO DEVELOPMENT IS PROPOSED AT THIS TIME. IN ACCORDANCE WITH THE PREVIOUS GRADING & DRAINAGE PLAN FOR TRACT G-1A-2, THE TOTAL ALLOWABLE RELEASE RATE FROM THE TRACTS G-1A-2A AND 2B AREAS IS 2.89 CFS. ALL AREAS DISTURBED DURING STOCKPILING ON TRACTS 2A AND 2B WILL BE RE-SEEDING SO THAT THE DEVELOPED SITE HYDROLOGY WILL NOT CHANGE FROM THE EXISTING UNDEVELOPED CONDITION. FUTURE BUILDING FINISHED FLOOR ELEVATIONS SHALL BE AT LEAST ONE FOOT ABOVE THE FLOOD HAZARD ELEVATION.

EROSION CONTROL
ALL DISTURBED AREAS SHALL BE RE-SEEDING UPON COMPLETION. TEMPORARY SNAKES, PONDS, EARTH BERM, STRAW BALES AND Silt FENCING SHALL BE IMPLEMENTED AS NECESSARY DURING CONSTRUCTION TO PREVENT SEDIMENT EROSION FROM THE SITE.

GRADING & DRAINAGE PLAN ALLOWABLE RELEASE RATES

AREA (AC)	ALLOWABLE RELEASE RATE (CFS)	APPROXIMATE RETENTION POND VOLUME (CU FT)	APPROXIMATE RETENTION POND VOLUME (CU FT)
2A1	1.51	3,174	7,143
2A2	0.89	0.00	0.00
2B1	1.15	2.89	8,740
2B2	0.34	0.00	0.00
TOTALS	3.89	6.06	15,883

HYDROLOGY SUMMARY

BASIN	CONSTRUCTION	DESCRIPTION	LAND TREATMENTS				2 YEAR		12 YEAR		100 YEAR	
			A	B	C	D	Q	Q ₁₀₀	Q	Q ₁₀₀	Q	Q ₁₀₀
2A1	DEVELOPED	PROPOSED TRACT G-1A-2A SITE	100%	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%
2A2	DEVELOPED	PROPOSED TRACT G-1A-2A STREET	0.2141	0.0%	0.0%	0.0%	0.0113	0.0001	0.0001	0.0001	0.0001	0.0001
2B1	DEVELOPED	PROPOSED TRACT G-1A-2B STREET	0.2141	0.0%	0.0%	0.0%	0.0113	0.0001	0.0001	0.0001	0.0001	0.0001
2B2	DEVELOPED	PROPOSED TRACT G-1A-2B STREET	0.2141	0.0%	0.0%	0.0%	0.0113	0.0001	0.0001	0.0001	0.0001	0.0001
TOTAL, SITE UNDEVELOPED		TOTAL, BASINS 2A1-2B2 UNDEVELOPED	2.7627	0.0%	0.0%	0.0%	0.0226	0.0001	0.0001	0.0001	0.0001	0.0001

INPUT DATA

PRECIP. DATA	1 HOUR	2.57
PRECIP. DATA	24 HOUR	2.57
PRECIP. DATA	48 HOUR	2.57
PRECIP. DATA	72 HOUR	2.57
PRECIP. DATA	10 DAY	2.57

CONSTRUCTION NOTES
1. CLEAN AND GRADE STOCKPILE AREA
2. CONSTRUCT FILL TO 10% ASDM 5' 100'
3. RE-SEED ALL DISTURBED AREAS



GRAPHIC SCALE



LEGEND

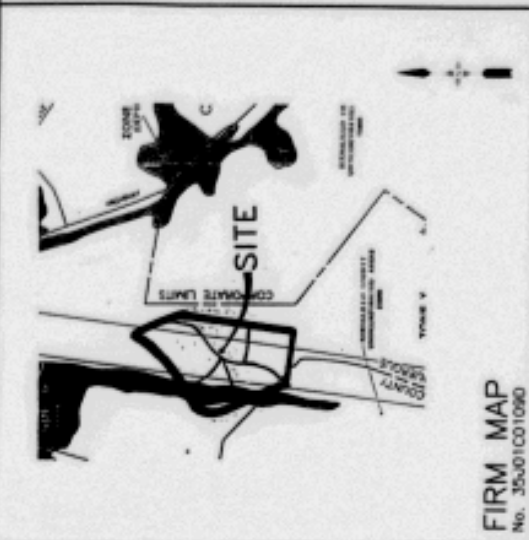
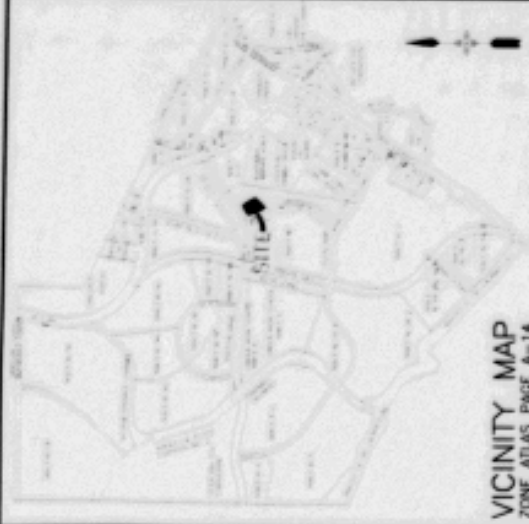
DESCRIPTION	NEW	EXISTING
CONTOURS	10' & 20'	10' & 20'
SPOT ELEVATIONS	10' & 20'	10' & 20'
DRAINAGE AREA BOUNDARY	10' & 20'	10' & 20'
DRAINAGE DITCH	10' & 20'	10' & 20'
WATER BLOCK	10' & 20'	10' & 20'
DIRECTION OF FLOW	10' & 20'	10' & 20'
ASPHALT PAVING	10' & 20'	10' & 20'
LANDSCAPING	10' & 20'	10' & 20'
RETAINING WALL	10' & 20'	10' & 20'
GARDEN WALL	10' & 20'	10' & 20'
SWALE	10' & 20'	10' & 20'
PROPERTY LINE	10' & 20'	10' & 20'
FENCE	10' & 20'	10' & 20'
CATCH BASIN	10' & 20'	10' & 20'
STORM DRAIN MAN & LINE	10' & 20'	10' & 20'
SANITARY SEWER M.H. & LINE	10' & 20'	10' & 20'
FIRE HYDRANT & WATER LINE	10' & 20'	10' & 20'
ACRODERS	10' & 20'	10' & 20'
WATER VALVES	10' & 20'	10' & 20'
WATER CONNECTIONS	10' & 20'	10' & 20'
WATER JOINTS	10' & 20'	10' & 20'
CONCRETE	10' & 20'	10' & 20'
GAS LINE	10' & 20'	10' & 20'
UNDERGROUND TELEPHONE	10' & 20'	10' & 20'
CABLE TELEVISION	10' & 20'	10' & 20'
POWER/TELEPHONE POLE	10' & 20'	10' & 20'
UNDERGROUND ELECTRICAL	10' & 20'	10' & 20'
CURB ELEVATION ANALYSIS	10' & 20'	10' & 20'
HYDROLOGICAL ANALYSIS	10' & 20'	10' & 20'

LEGAL DESCRIPTION
TRACTS G-1A-2A AND 2B
SEVEN BAR RANCH
CITY OF ALBUQUERQUE
BERNALILLO COUNTY,
NEW MEXICO
NOVEMBER, 1996

BENCHMARK
MAGNETIC MONUMENT "M-448-N12"
ELEV. = 5023.51'
LOCATED 65' WEST OF COORDS TO
CENTERLINE AND 550' SOUTH OF
COTTONWOOD BLVD. (NAD83 528)

FIRM MAP
No. 35301C01090

VICINITY MAP
ZONE ATLAS PAGE A-14

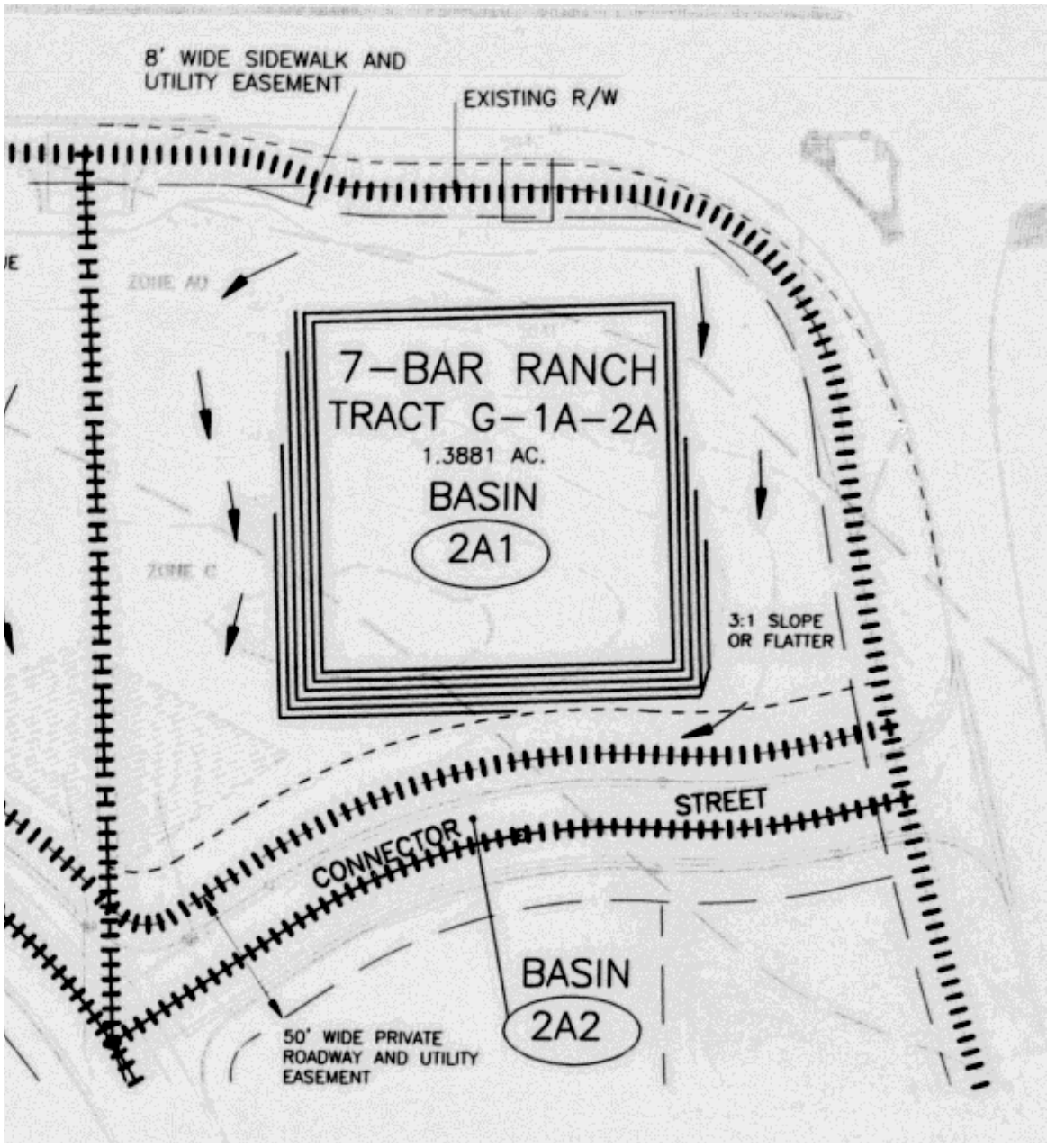


NO.	REVISIONS	BY	DATE
1	4860	5/96	1

TRACTS G-1A-2A AND 2B
SEVEN BAR RANCH
COMPACTED FILL STOCKPILE PLAN

Easterling & Associates, Inc.
CONSULTING ENGINEERS
2800 The American Rd., SE, Suite 100
Buckeye, New Mexico 87114
(505) 898-9000 FAX (505) 898-9500

DESIGNED BY: MARK BY: CHECKED BY: DATE: 5/96
DRAWN BY: DATE: 5/96
SHEET 1 OF 1



NOTE: Flood hazard area as currently shown on the Federal Emergency Management Agency (FEMA) National Flood Insurance Program "Flood Insurance Rate Map" (Conventionally Flood Map No. 200002 0002 C, effective date October 14, 1983). Existing improvements constructed by the City of Albuquerque Special Assessment District No. 223 (SAD 223) are expected to eliminate the flood hazard on the subject property. The project is to be constructed in accordance with the City of Albuquerque Flood Ordinance, Chapter 16, Article 1, Section 16-1-1, and the City of Albuquerque Flood Ordinance, Chapter 16, Article 1, Section 16-1-2. The City does not guarantee FEMA approval of the request or issuance of a LOMR.

UNDERGROUND DETENTION PONDING SYSTEM (5,163 CF) COMPLETED WITH PHASE 1 IMPROVEMENTS

PHASE 2 IMPROVEMENTS

PHASE 1 IMPROVEMENTS

CONSTRUCTION COMPLETED

STORM INLET SINGLE "D" STANDARD DRAWING 2206, TYP.

57 LF, 8" PVC SDR 35 STORM DRAIN S=3.14%

POND OUTLET STRUCTURE WITH 21" DIA. OFFICE

56' PRIVATE ROADWAY, SIDEWALK, WATER, SEWER AND DRAINAGE EASEMENT

148 LF, 18" PVC SDR 35 STORM DRAIN, S=0.50%

147 LF, 8" PVC SDR 35 STORM DRAIN, S=3.14%

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VICINITY MAP
ZONE ATLAS MAP NO.

LEGAL DESCRIPTION
TRACTS G-1A-2A & G-1A-2B
SEVEN BAR RANCH
SANTA FE COUNTY
NEW MEXICO

1" = 30'

ELBORN DRIVE N.W.

COTTONWOOD DRIVE

PHASE 1 IMPROVEMENTS

PHASE 2 IMPROVEMENTS

CONSTRUCTION COMPLETED

STORM INLET SINGLE "D" STANDARD DRAWING 2206, TYP.

57 LF, 8" PVC SDR 35 STORM DRAIN S=3.14%

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147 LF, 8" PVC SDR 35 STORM DRAIN, S=3.14%



FLOOD HAZARD MAP & OFFSITE FLOWS
FEMA MAP NO.

1" = 30'

ELBORN DRIVE N.W.

COTTONWOOD DRIVE

PHASE 1 IMPROVEMENTS

PHASE 2 IMPROVEMENTS

CONSTRUCTION COMPLETED

STORM INLET SINGLE "D" STANDARD DRAWING 2206, TYP.

57 LF, 8" PVC SDR 35 STORM DRAIN S=3.14%

POND OUTLET STRUCTURE WITH 21" DIA. OFFICE

56' PRIVATE ROADWAY, SIDEWALK, WATER, SEWER AND DRAINAGE EASEMENT

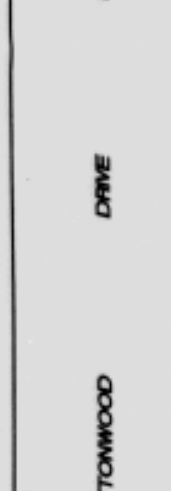
148 LF, 18" PVC SDR 35 STORM DRAIN, S=0.50%

147 LF, 8" PVC SDR 35 STORM DRAIN, S=3.14%

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VICINITY MAP
ZONE ATLAS MAP NO.

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SEVEN BAR RANCH
SANTA FE COUNTY
NEW MEXICO

1" = 30'

ELBORN DRIVE N.W.

COTTONWOOD DRIVE

PHASE 1 IMPROVEMENTS

PHASE 2 IMPROVEMENTS

CONSTRUCTION COMPLETED

STORM INLET SINGLE "D" STANDARD DRAWING 2206, TYP.

57 LF, 8" PVC SDR 35 STORM DRAIN S=3.14%

POND OUTLET STRUCTURE WITH 21" DIA. OFFICE

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VICINITY MAP
ZONE ATLAS MAP NO.

LEGAL DESCRIPTION
TRACTS G-1A-2A & G-1A-2B
SEVEN BAR RANCH
SANTA FE COUNTY
NEW MEXICO

1" = 30'

ELBORN DRIVE N.W.

COTTONWOOD DRIVE

PHASE 1 IMPROVEMENTS

PHASE 2 IMPROVEMENTS

CONSTRUCTION COMPLETED

STORM INLET SINGLE "D" STANDARD DRAWING 2206, TYP.

57 LF, 8" PVC SDR 35 STORM DRAIN S=3.14%

POND OUTLET STRUCTURE WITH 21" DIA. OFFICE

56' PRIVATE ROADWAY, SIDEWALK, WATER, SEWER AND DRAINAGE EASEMENT

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VICINITY MAP
ZONE ATLAS MAP NO.

LEGAL DESCRIPTION
TRACTS G-1A-2A & G-1A-2B
SEVEN BAR RANCH
SANTA FE COUNTY
NEW MEXICO

1" = 30'

ELBORN DRIVE N.W.

COTTONWOOD DRIVE

PHASE 1 IMPROVEMENTS

PHASE 2 IMPROVEMENTS

CONSTRUCTION COMPLETED

STORM INLET SINGLE "D" STANDARD DRAWING 2206, TYP.

57 LF, 8" PVC SDR 35 STORM DRAIN S=3.14%

POND OUTLET STRUCTURE WITH 21" DIA. OFFICE

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147 LF, 8" PVC SDR 35 STORM DRAIN, S=3.14%

147 LF, 8" PVC SDR 35 STORM DRAIN, S=3.14%

On October 19, 1992, existing improvements, including but not limited to, are shown on the record Assessment District No. 225 (SAD 225) are expected to eliminate the need for the subject property. The request for a letter of map revision (LDMR) from the subject property owner has been submitted to FEMA in connection with the supporting drainage analysis. The City does not guarantee FEMA approval of the drainage report, however, the City does not guarantee FEMA approval of the LDMR.

COTTONWOOD

DRIVE

N.W.

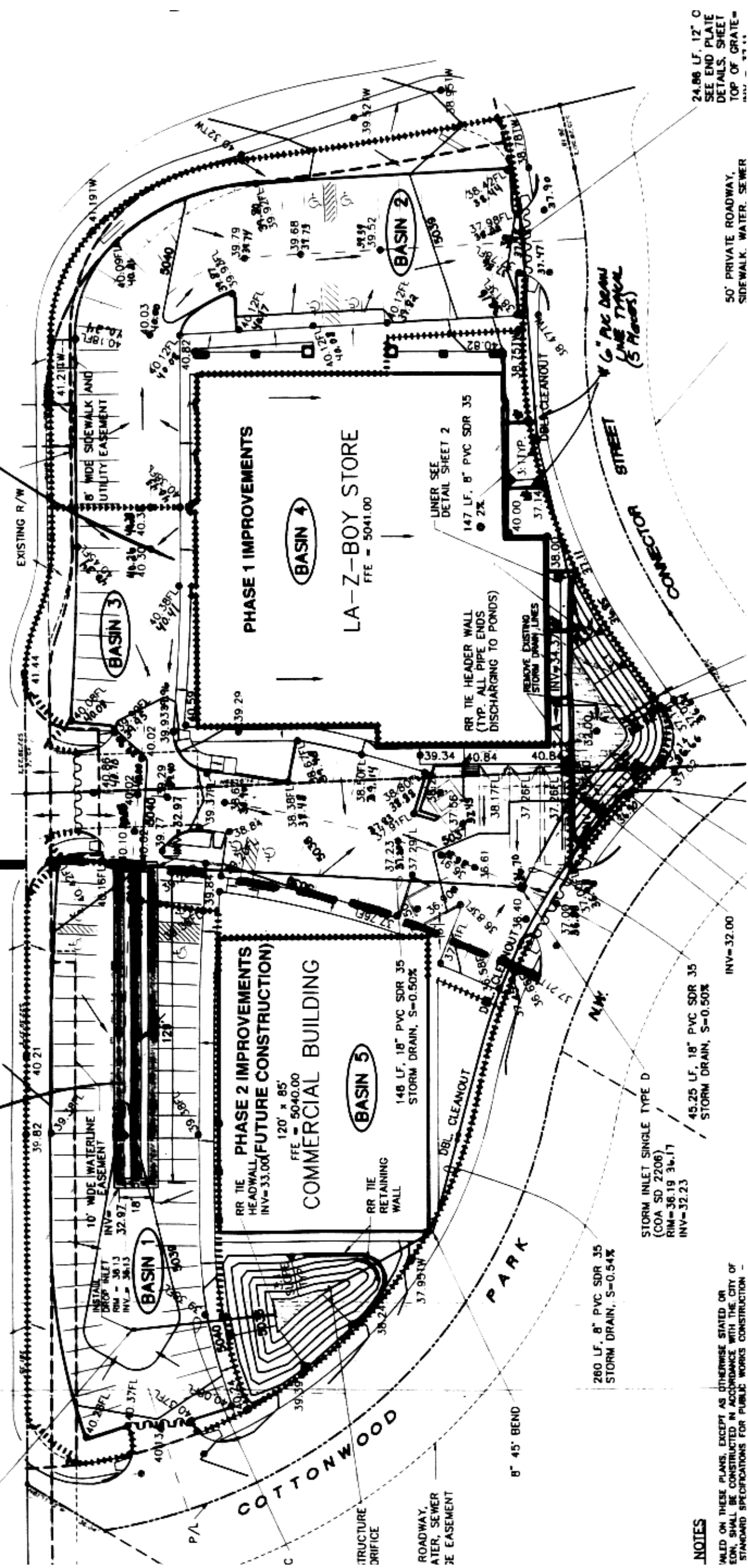
UNDERGROUND DETENTION PONDING SYSTEM (5,163 CF) COMPLETED WITH PHASE 1 IMPROVEMENTS

PHASE 2 IMPROVEMENTS

PHASE 1 IMPROVEMENTS

CONSTRUCTION COMPLETED

SCALE "D" ENGINEERING 2206, TYP.

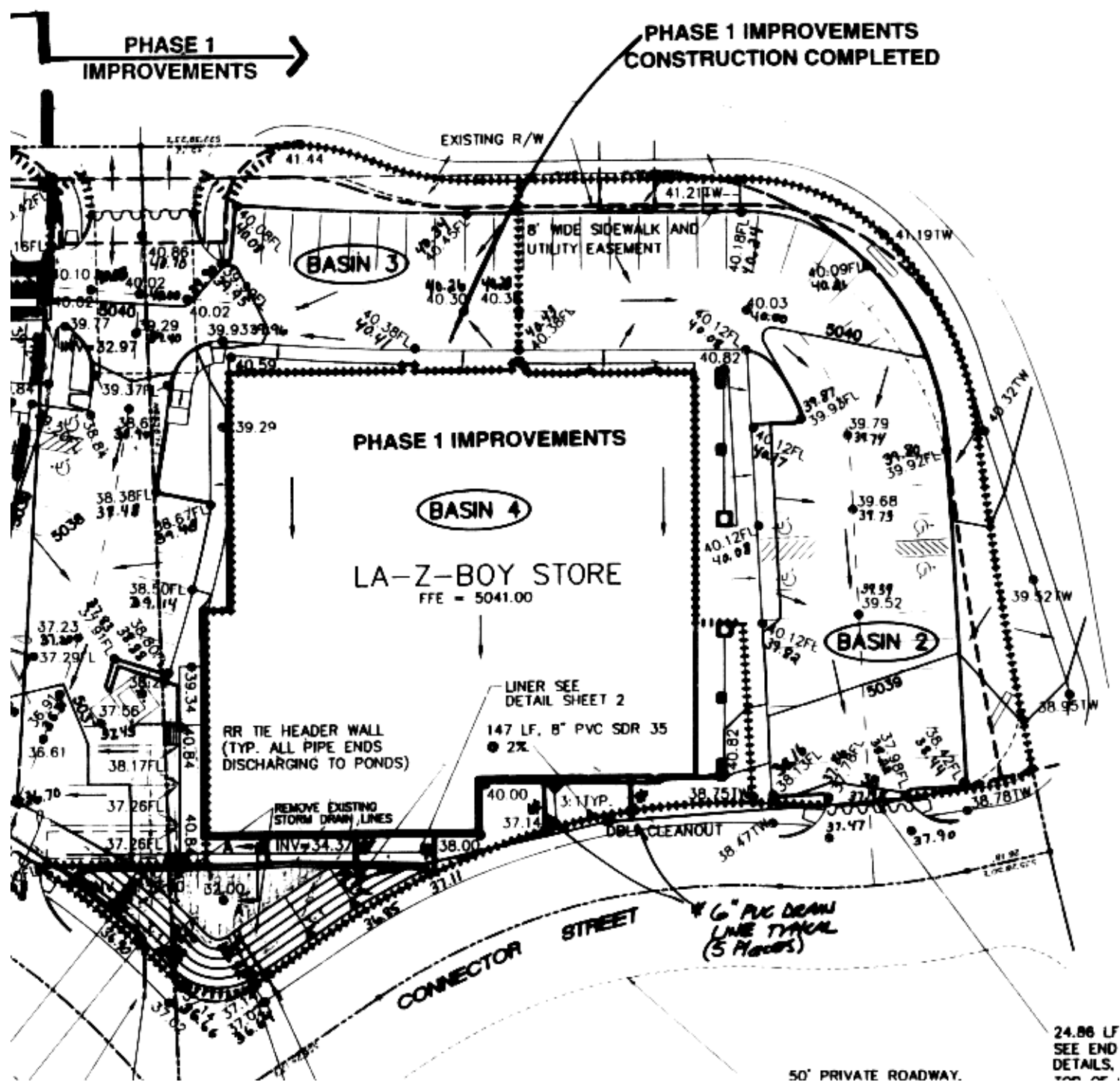


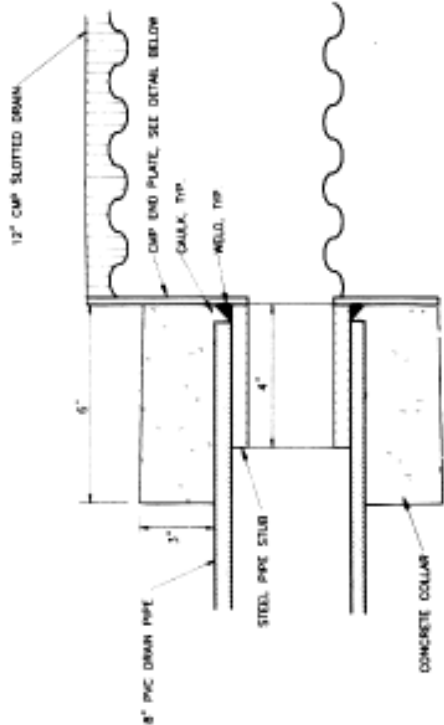
NOTES

1. UNLESS OTHERWISE NOTED, ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF DENVER STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.

50' PRIVATE ROADWAY, SIDEWALK, WATER, SEWER

24.86 LF, 12\"/>



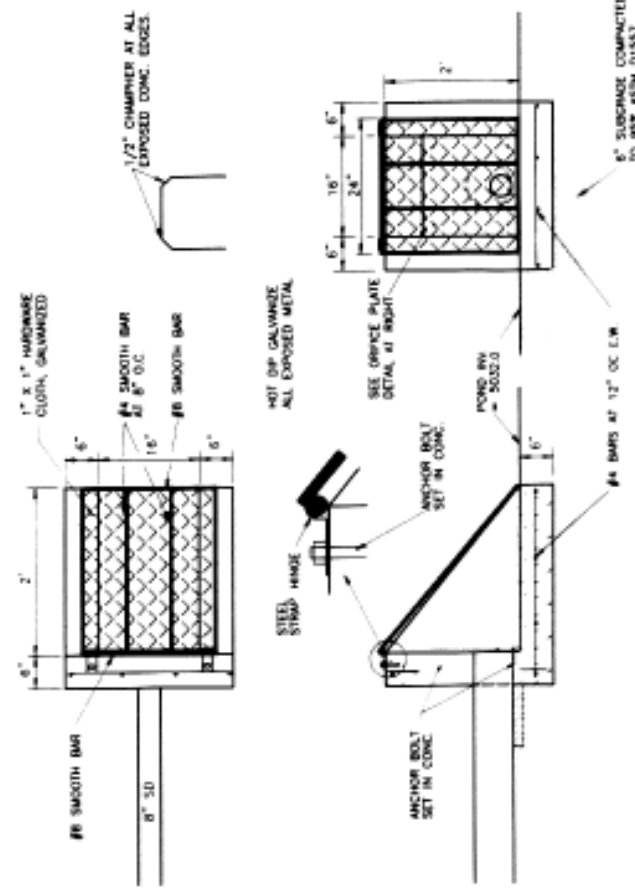


POND OUTLET
N.T.S.

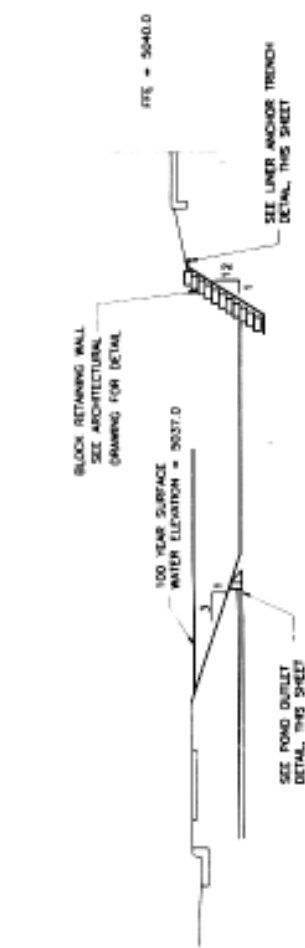


WELD STEEL PIPE STUB TO CMP END PLATE.
SELECT STEEL PIPE WITH OUTSIDE DIAMETER TO MATCH
INSIDE DIAMETER OF 8\"/>

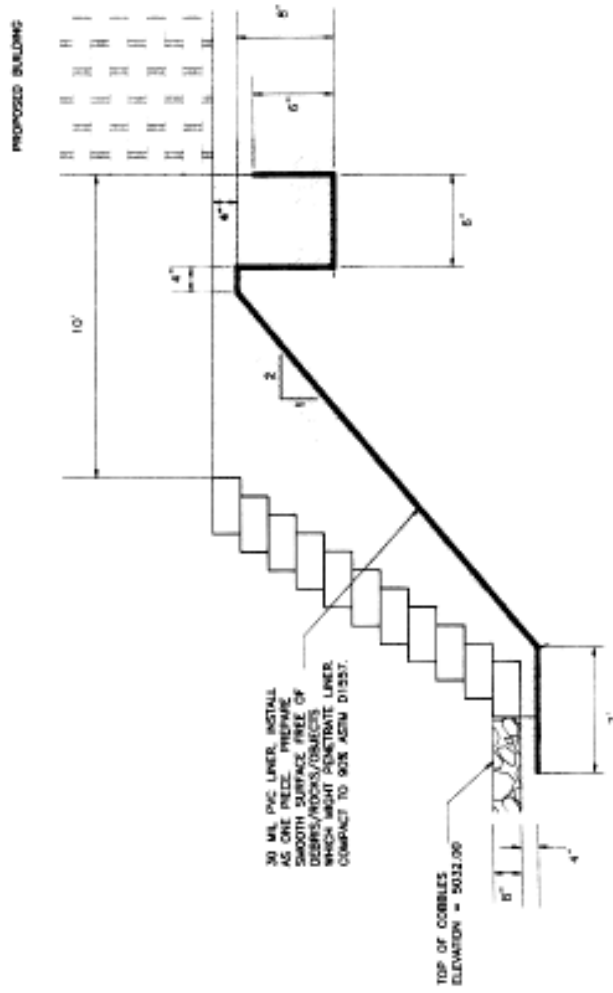
SLOTTED DRAIN / PVC PIPE CONNECTION DETAIL
N.T.S.



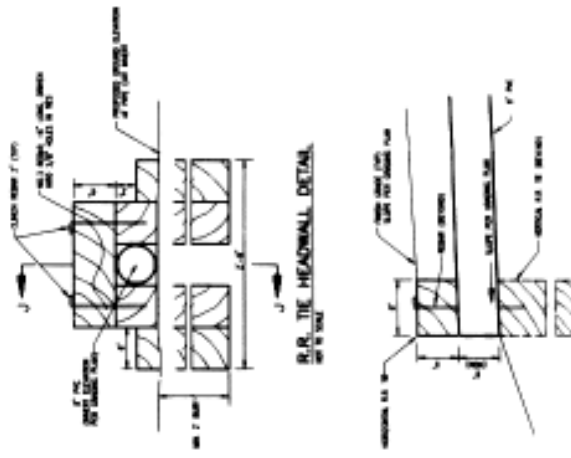
SLOTTED DRAIN / PVC PIPE CONNECTION DETAIL
N.T.S.



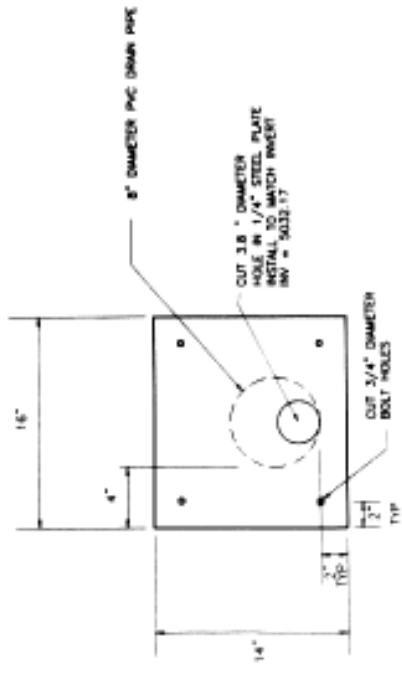
POND TYPICAL SECTION A-A
N.T.S.



LINER ANCHOR TRENCH DETAIL
N.T.S.



LINER PENETRATION DETAIL
N.T.S.



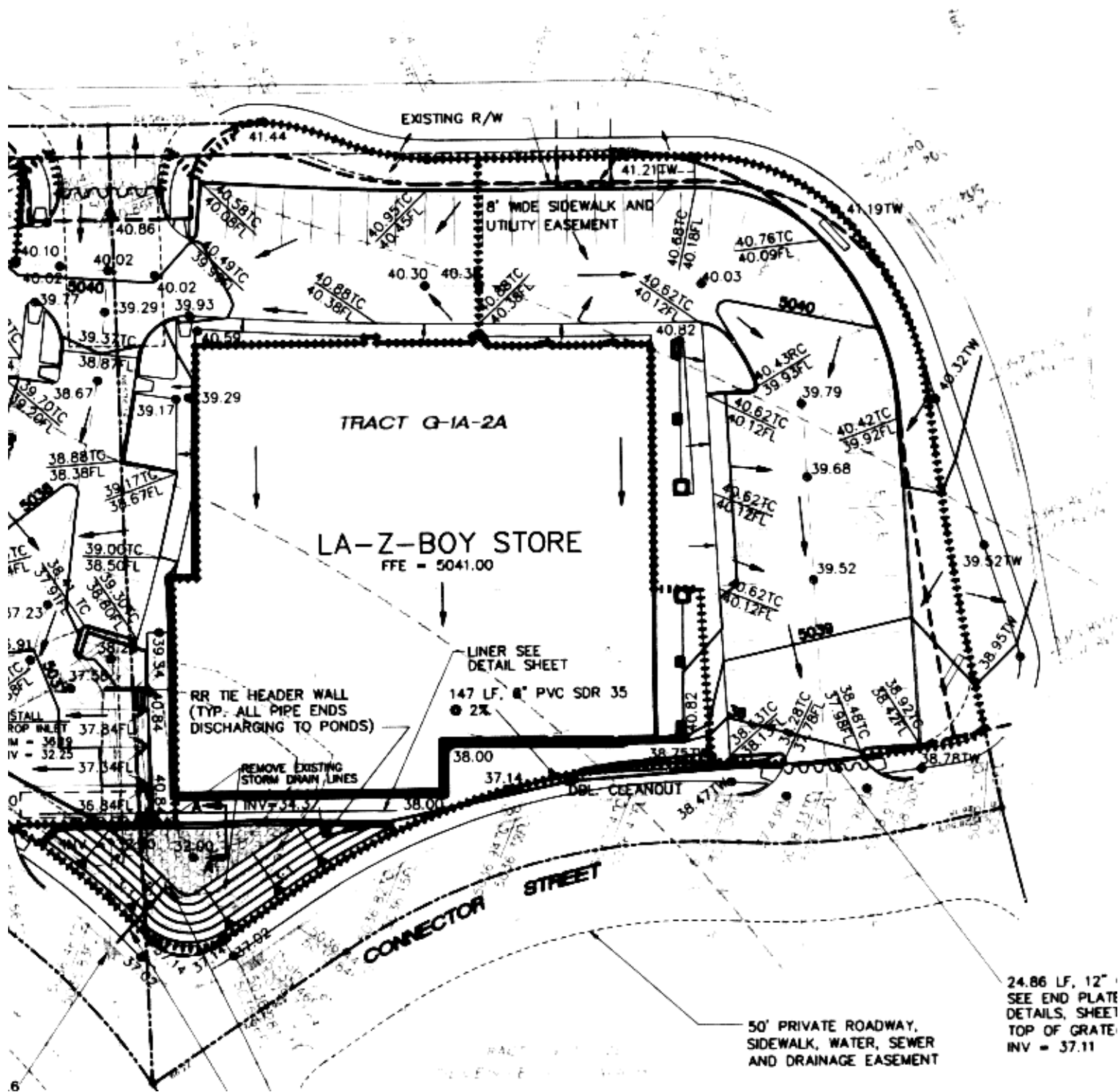
ORIFICE PLATE DETAIL
N.T.S.

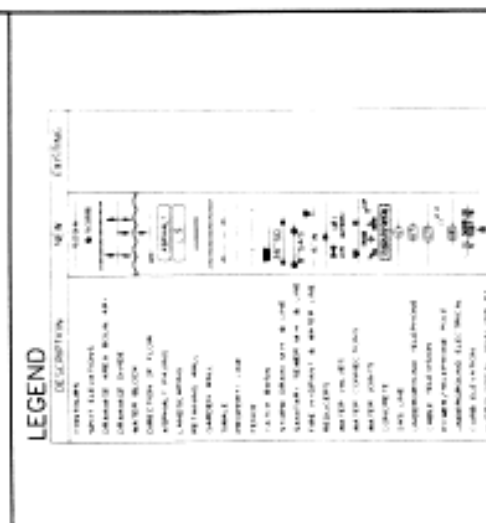
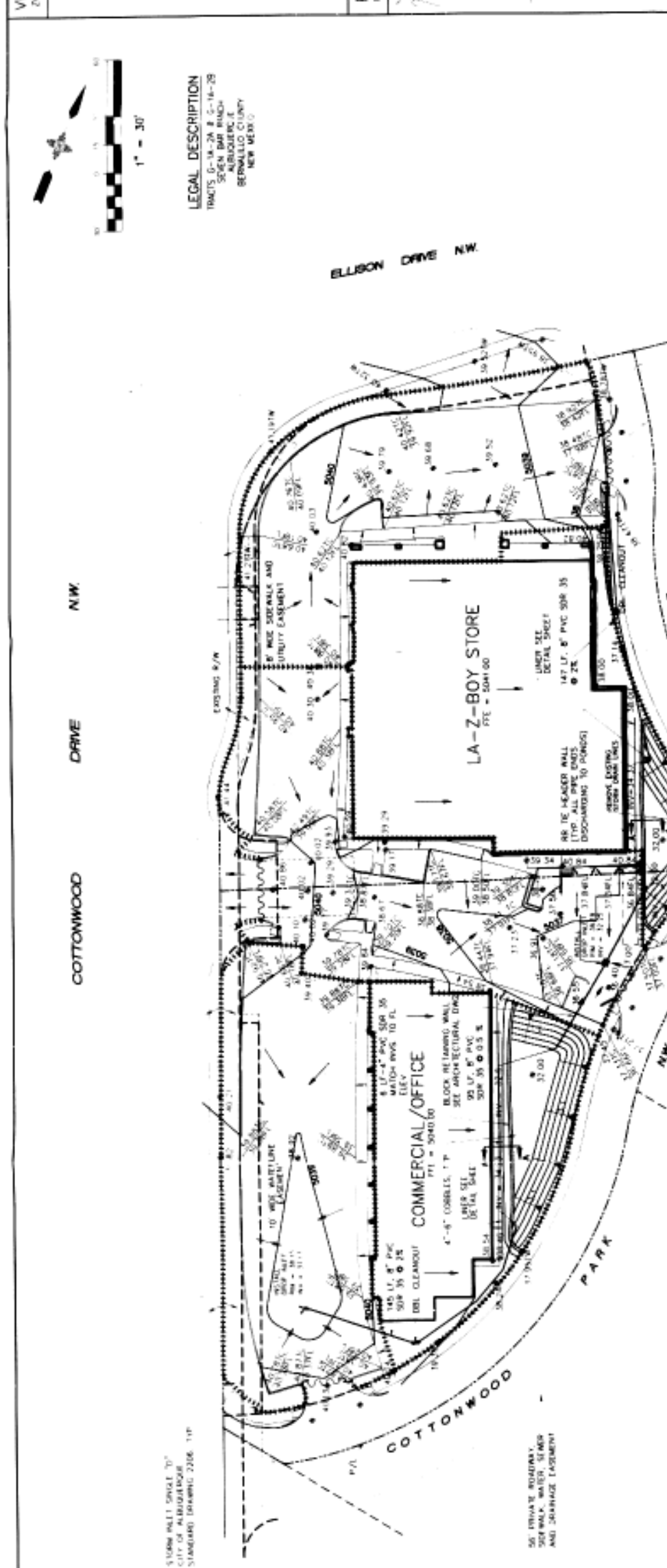
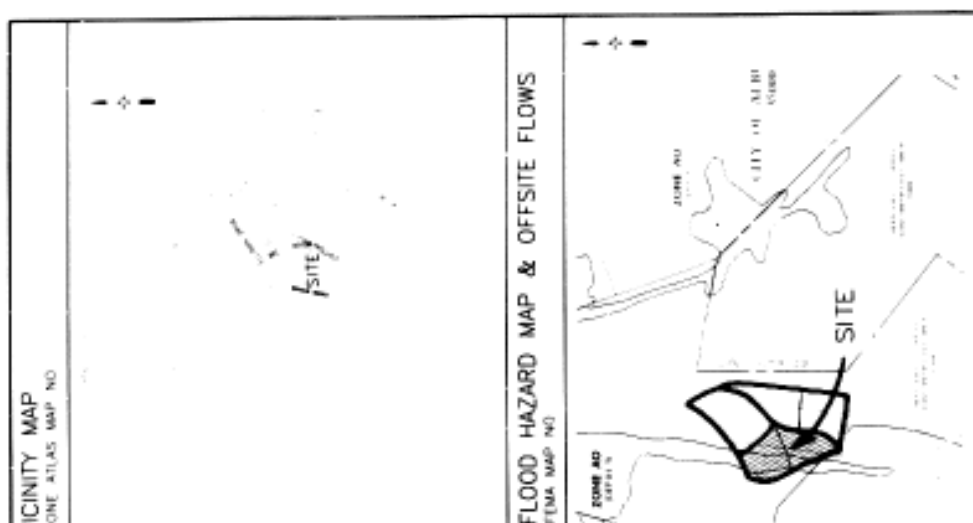
NO.	REVISIONS	BY	DATE
1	LA-Z-BOY		
2	DETAILS		
3	TRACTS G1-1A-2A & G1-1A-2B		
4	SEVEN BAR RANCH		

LA-Z-BOY
DETAILS
TRACTS G1-1A-2A & G1-1A-2B
SEVEN BAR RANCH

Mastering & Associates, Inc.
CONSULTING ENGINEERS
2600 The American Rd., Suite 100
Riverside, New Mexico 87114
(505) 848-8021 FAX (505) 848-8021
COURTESY: MASTERING.COM

DESIGNED BY: JMM
CHECKED BY: JMM
DATE: 1-98
SHEET 2 OF 2

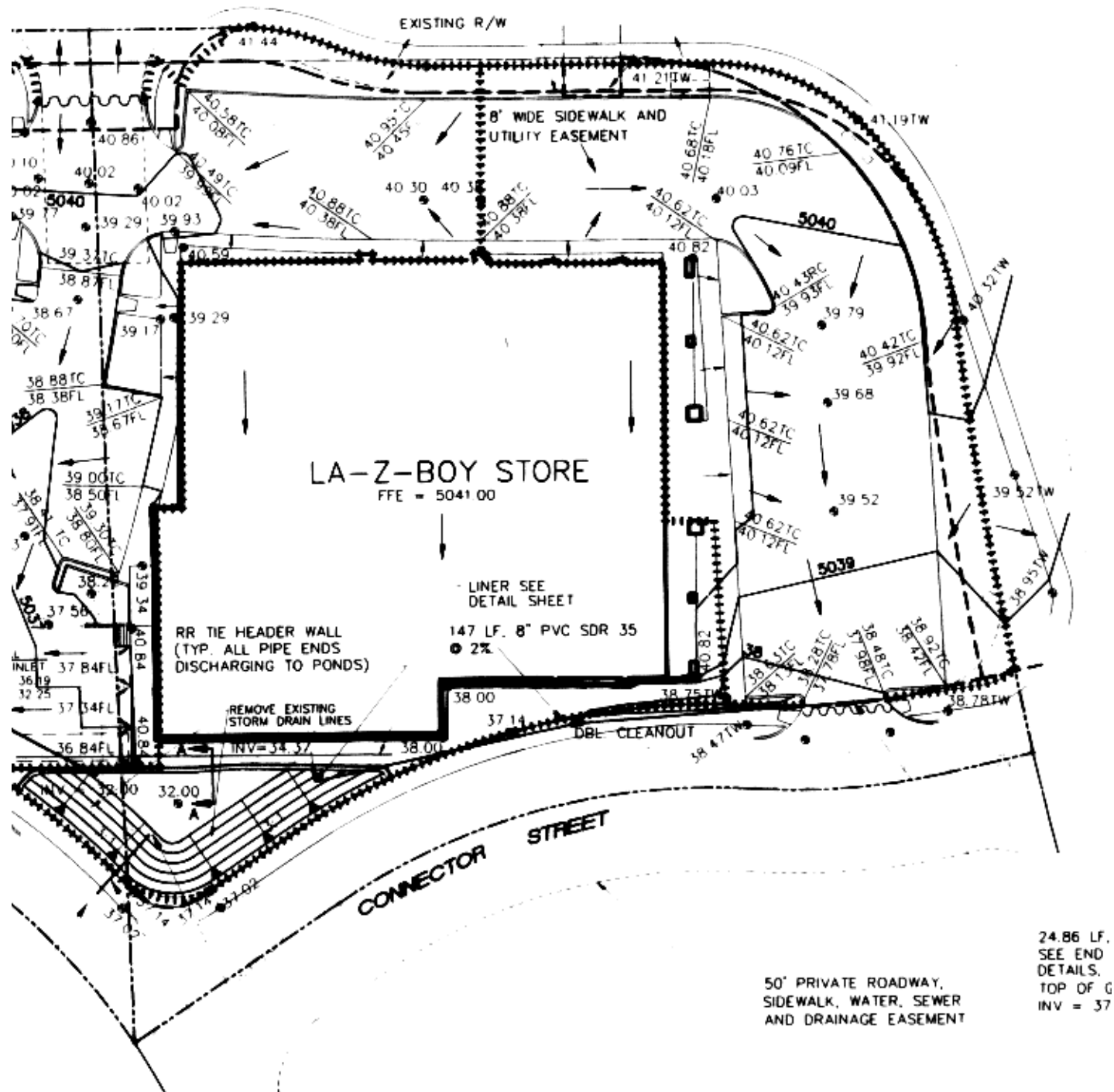


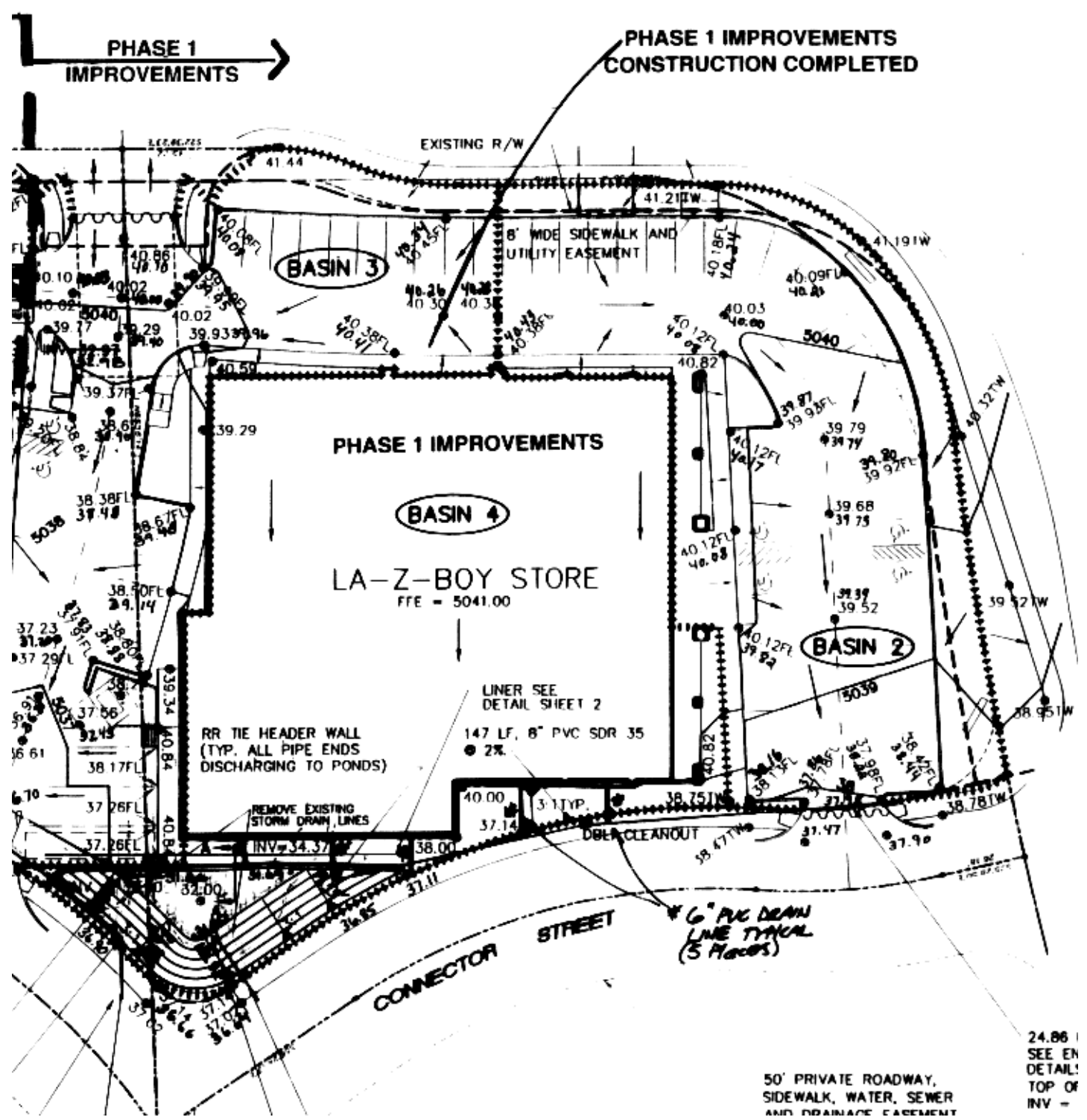
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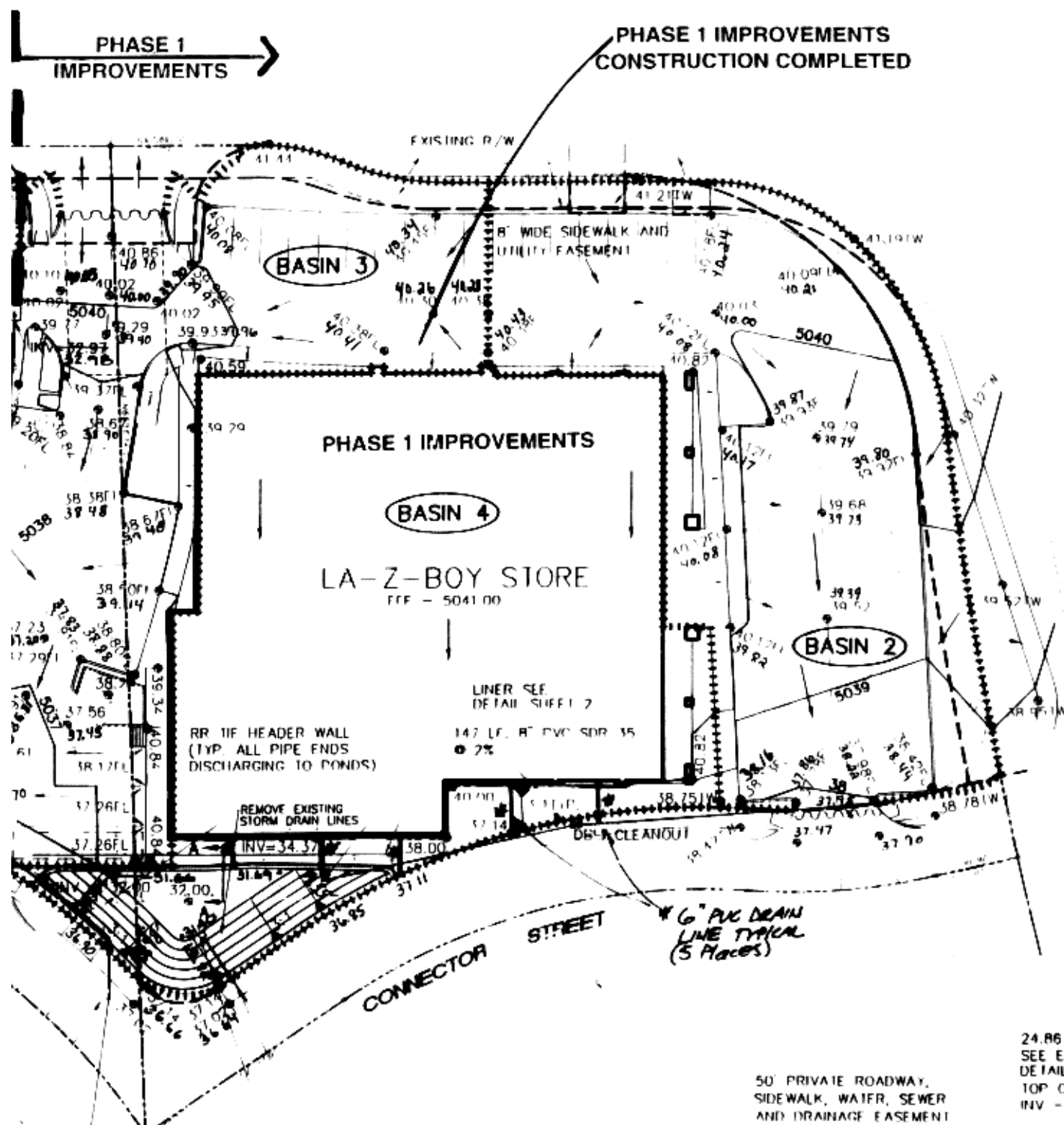
24.08 LF 12" C&P SLOTTED DRAIN
FROM EXISTING DRAIN AND CONNECTION
DETAILS SEE SHEET 2
TOP OF GRADE = 37.98
INV = 37.11

PRIVATE ROADWAY,
SEWER, WATER, SLOTTED
DRAINAGE EASEMENT

[illegible][illegible]







24.86 LF. 1
SEE END PL
DETAILS. SH
TOP OF GRI
INV = 37.11

50' PRIVATE ROADWAY,
SIDEWALK, WATER, SEWER
AND DRAINAGE EASEMENT

6" PVC DRAIN
LINE TYPICAL
(5 Places)

50' PRIVATE ROADWAY,
SIDEWALK, WATER, SEWER
AND DRAINAGE EASEMENT

24.86 LF. 12" CMP SLOTTED DRAIN
SEE END PLATE AND CONNECTION
DETAILS. SHEET 2
TOP OF GRADE - 37.98
INV - 37.11

ENGINEER'S CERTIFICATION FOR CERTIFICATE OF OCCUPANCY
PHASE 1 (NORTH) IMPROVEMENTS - LA-Z-BOY FURNITURE GALLERIES

I hereby certify that I have inspected the site grading and drainage improvements and that they have been constructed and are expected to function in accordance with the intent of the approved Grading and Drainage Plan as amended by this certification. As shown on this certification plan, an underground detention ponding facility has been added to accommodate future development of the Phase 2 (south) portion of the site. Jaynes Corporation provided the as-constructed information shown on this plan. Proposed contours have not been revised to reflect the as-constructed information and should be considered approximate.

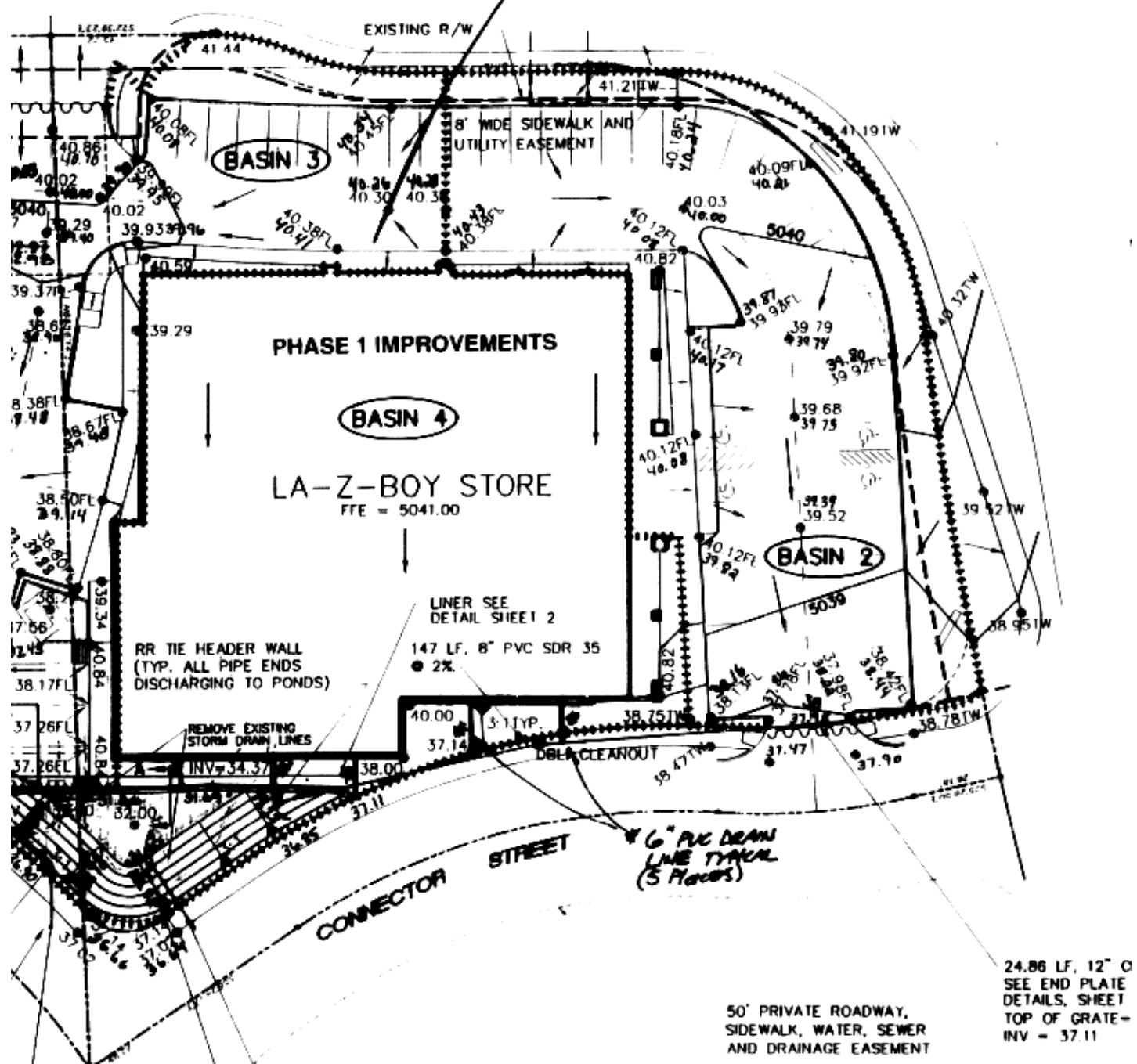


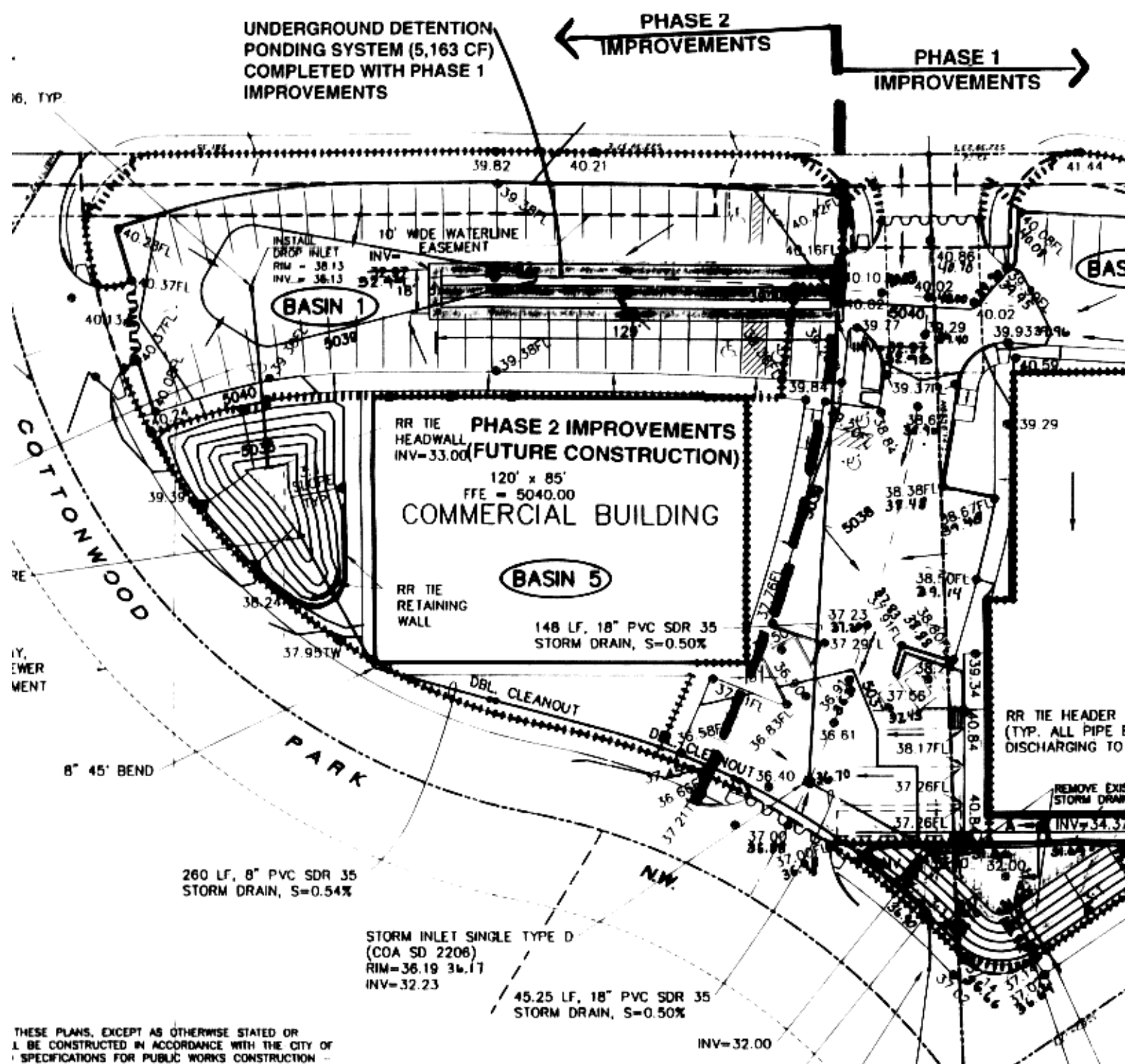
R. P. Bohannon
R. P. Bohannon, PE
New Mexico PE No. 9814

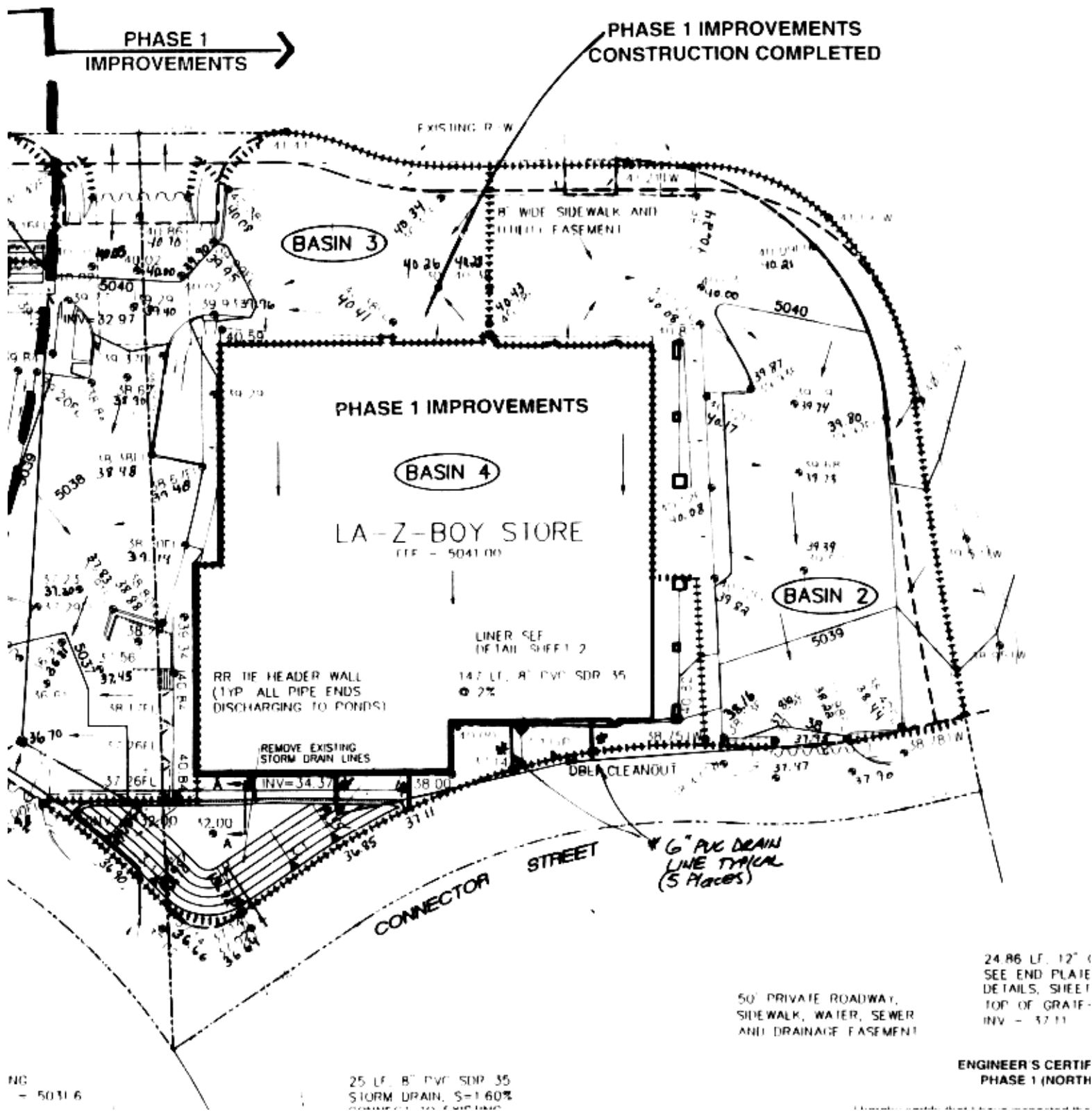
Date 9/8/95

LA-Z-BOY STORE AND COMMERCIAL / OFFICE BUILDING
TRACT G-1A-2A AND G-1A-2B

**PHASE 1 IMPROVEMENTS
CONSTRUCTION COMPLETED**







UNDERGROUND DETENTION,
PONDING SYSTEM (5.163 CF)
COMPLETED WITH PHASE 1
IMPROVEMENTS

PHASE 1 IMPROVEMENTS

