

CITY OF ALBUQUERQUE

PLANNING DEPARTMENT – Development Review Services



June 6, 2016

Richard J. Berry, Mayor

Jeffrey T. Wooten
Wooten Engineering
1368 Reynosa Loop SE
Rio Rancho, NM, 87124

**RE: Shoppes at Ellison (S. of La-Z-Boy)
Drainage and Grading Plan | Engineer's Stamp Date 5-23-2016 (File: A14D010E)**

Dear Mr. Wooten:

Based upon the information provided in your submittal received 2-3-2016, the above referenced plan is approved for Building Permit.

Please attach a copy of this approved plan in the construction sets for Building Permit processing. Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

As you are aware, there is a 'ghost' floodplain across the site. Please ensure that a Floodplain Permit is filled out prior to construction, to help the City justify the elevation criteria for this project. It will be a condition for approval for Certificate of Occupancy.

PO Box 1293

If you have any questions, you can contact me at 924-3986.

Albuquerque

Sincerely,

New Mexico 87103

Abiel Carrillo, P.E.
Principal Engineer, Planning Dept.
Development Review Services

www.cabq.gov



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Project Title: Shoppes at Ellison Building Permit #: _____ City Drainage #: A14/D010E
DRB#: _____ EPC#: _____ Work Order#: _____
Legal Description: Tract G1A2B1, Seven Bar Ranch
City Address: 10301 Cottonwood Park NW

Engineering Firm: Wooten Engineering Contact: Jeffrey T. Wooten, P.E.
Address: 1005 21st St SE, Suite B1, Rio Rancho, NM 87124
Phone#: 505-980-3560 Fax#: N/A E-mail: jeffwooten.pe@gmail.com

Owner: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

Architect: DSA Architects Contact: Maria Shelton
Address: 4700 Lincoln NE, Suite 111
Phone#: 505-342-6200 Fax#: N/A E-mail: marias@dsaabq.com

Other Contact: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

Check all that Apply:

DEPARTMENT:

☒ HYDROLOGY/ DRAINAGE
☐ TRAFFIC/ TRANSPORTATION
☐ MS4/ EROSION & SEDIMENT CONTROL

TYPE OF SUBMITTAL:

☐ ENGINEER/ ARCHITECT CERTIFICATION
☐ CONCEPTUAL G & D PLAN
☒ GRADING PLAN
☐ DRAINAGE MASTER PLAN
☐ DRAINAGE REPORT
☐ CLOMR/LOMR

☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)

☐ OTHER (SPECIFY) _____

IS THIS A RESUBMITTAL?: ☒ Yes ☐ No

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

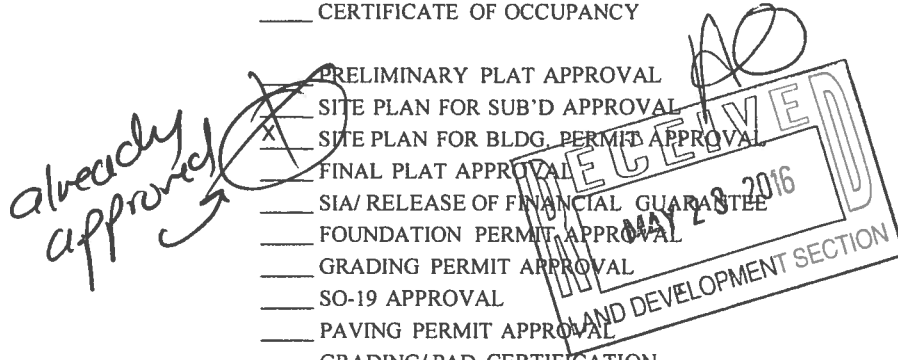
☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY

☐ PRELIMINARY PLAT APPROVAL
☒ SITE PLAN FOR SUB'D APPROVAL
☒ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR

☐ PRE-DESIGN MEETING
☐ OTHER (SPECIFY) _____

DATE SUBMITTED: 5/23/2016 By: Jeffrey T. Wooten, P.E.

COA STAFF: ELECTRONIC SUBMITTAL RECEIVED: _____





Wooten Engineering

1005 21st Street SE, Suite A5
Rio Rancho, NM 87124
505-980-3560
jeffwooten.pe@gmail.com

May 20, 2016

Mr. Abiel Carillo, PE
Principal Engineer, Planning Department
City of Albuquerque
PO Box 1293
Albuquerque, NM 87103

VIA E-Mail: acarillo@cabq.gov

RE: Shoppes at Ellison (S. of La-Z-Boy)
Drainage and Grading Plans, Revised 05/23/2016 (File: A14/D010E)

Abiel,

We are in receipt of your comments dated March 21, 2016 regarding the subject project. The revised plans are included with this resubmittal. Below are responses to your comments.

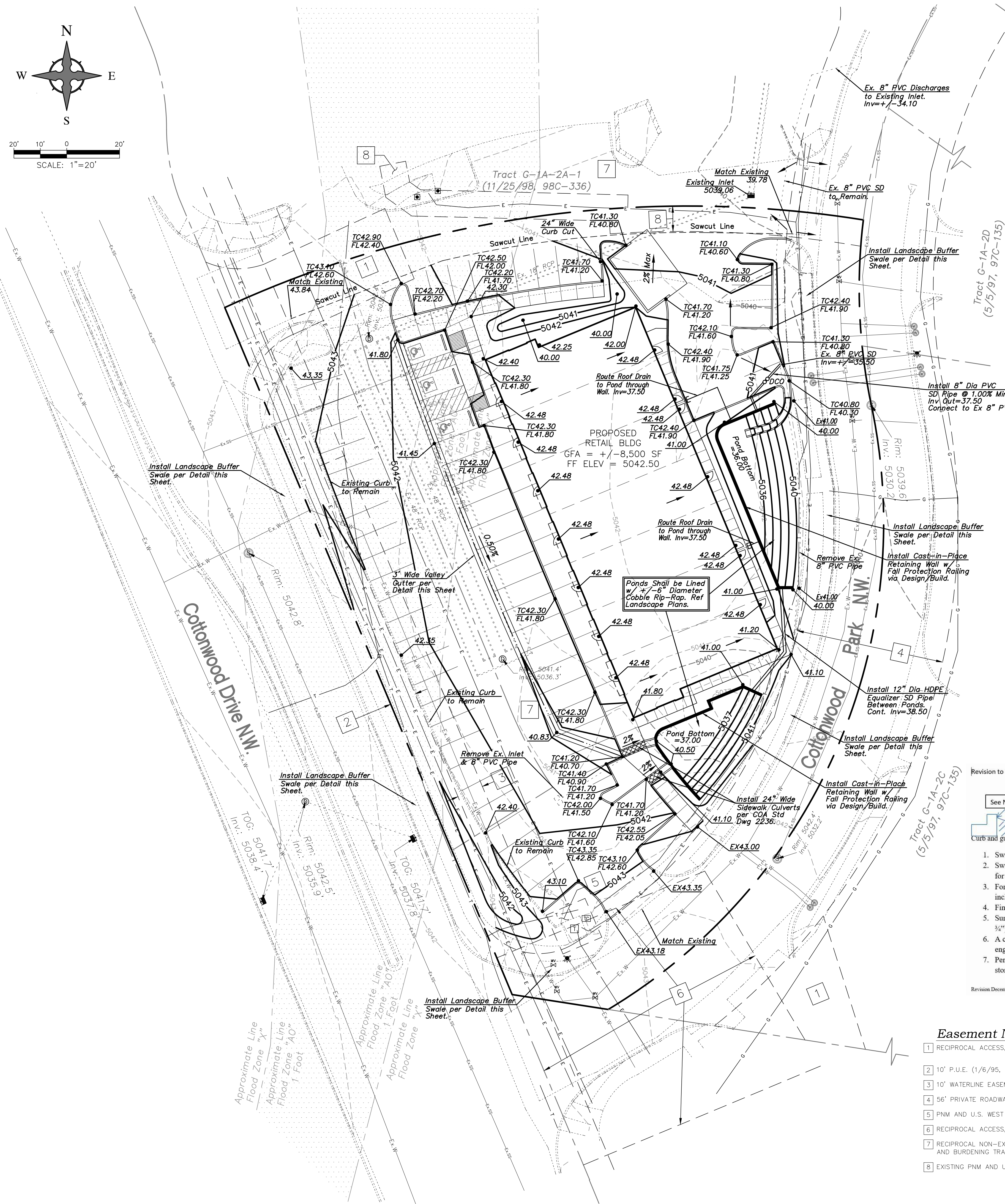
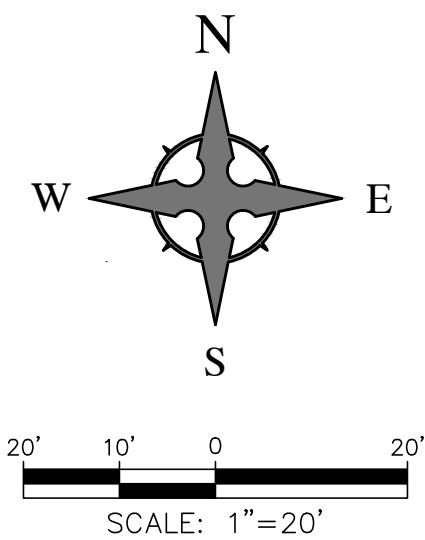
1. Since the 12" pipe is an equalizing pipe, there is a single invert elevation of 5038.50 as shown on the note for the pipe on the grading plan.
2. The ponds have been sized to capture over the 100-Yr, 6-Hr storm; therefore, the ponds are sized adequate to prevent overtopping. The 8" pipe is only being installed to allow the pond to discharge quicker than just evaporation and infiltration alone. If you prefer, we can delete the proposed 8" pipe and allow any excess flows to discharge over the parkway/curb into Cottonwood Park.
3. We have added the 'Landscape Buffer Swale' detail you sent over and added notes as required.
4. We have added a detail for the Sidewalk Culvert/Wall detail as requested.
5. A set of double cleanouts have been shown on the proposed 8" pipe. The section of existing 8" pipe to remain already has double clean-outs installed per the original plans by RP Bohannon.
6. The proposed roof drains have shown and flow arrows added to the grading plan showing direction of flow. All roof drains shall drain into Pond 'C'.
7. We have added elevations on the first flush calculations table as required for Ponds 'B' and 'C'. Since the ponds are in a 'retention' condition, all flows are captured.

We believe we have addressed all engineering related comments on the plans. Please feel free to call if you have any further questions or comments concerning the revised plans.

Respectfully submitted,

WOOTEN ENGINEERING

Jeffrey T. Wooten, P.E.
Owner

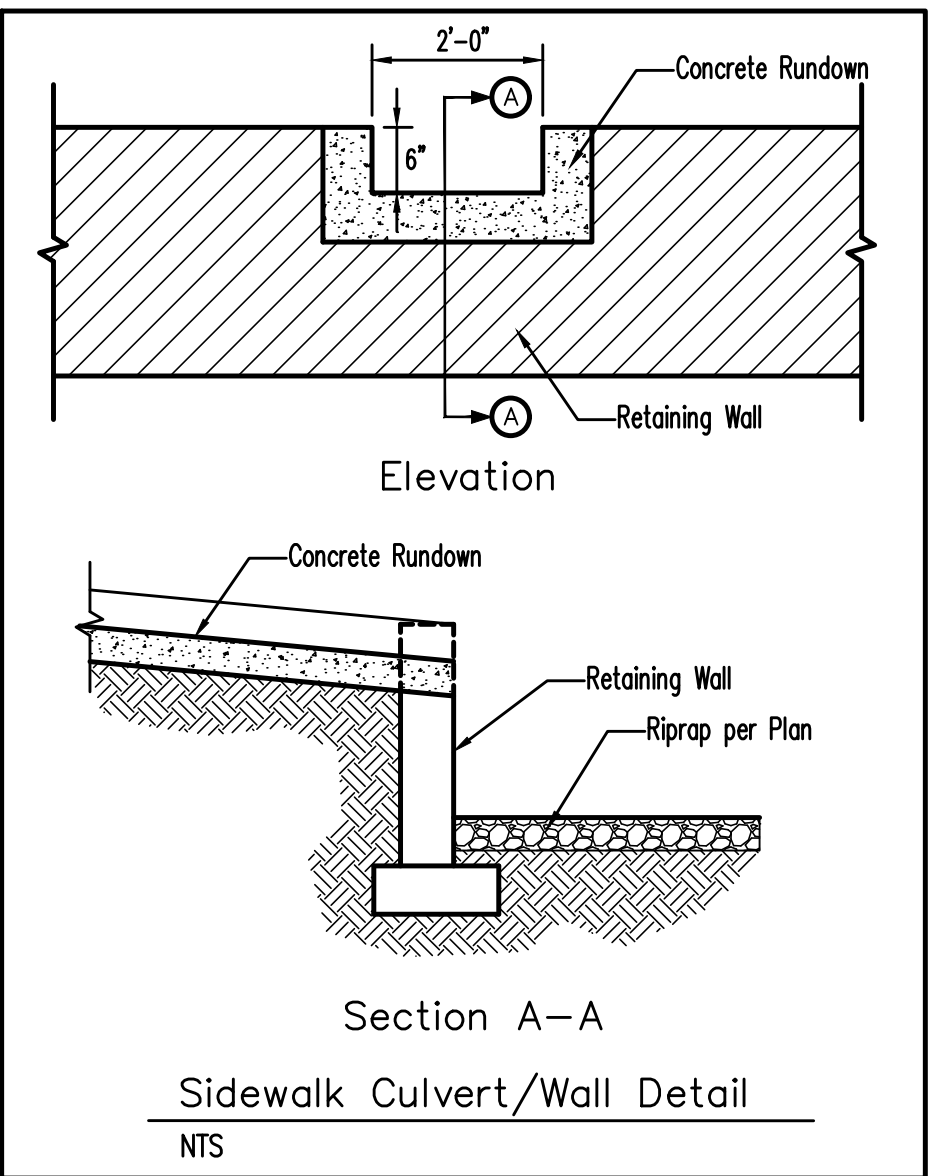


CAUTION - NOTICE TO CONTRACTOR

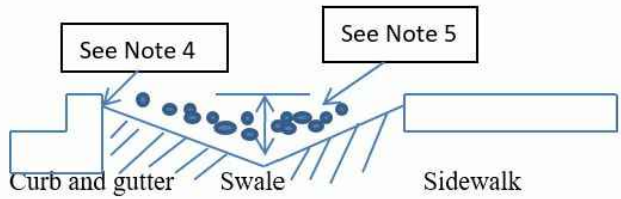
THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL NEW MEXICO ONE CALL (811) AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

LEGEND

- FLOW ARROW
- 27.8 PROPOSED TOP OF GRADE/PVMT ELEVATIONS
- FL27.8 PROPOSED FLOW LINE/GUTTER ELEVATIONS
- TC27.8 PROPOSED TOP OF CURB ELEVATIONS
- TG27.8 PROPOSED TOP OF GRATE ELEVATION
- 515 EXISTING CONTOUR
- 515 PROPOSED CONTOUR
- EXISTING STORM DRAIN
- FLOW LINE
- RIDGE LINE



Revision to City Standard Drawing 2405A and 2405B to include Landscape Buffer Swale.



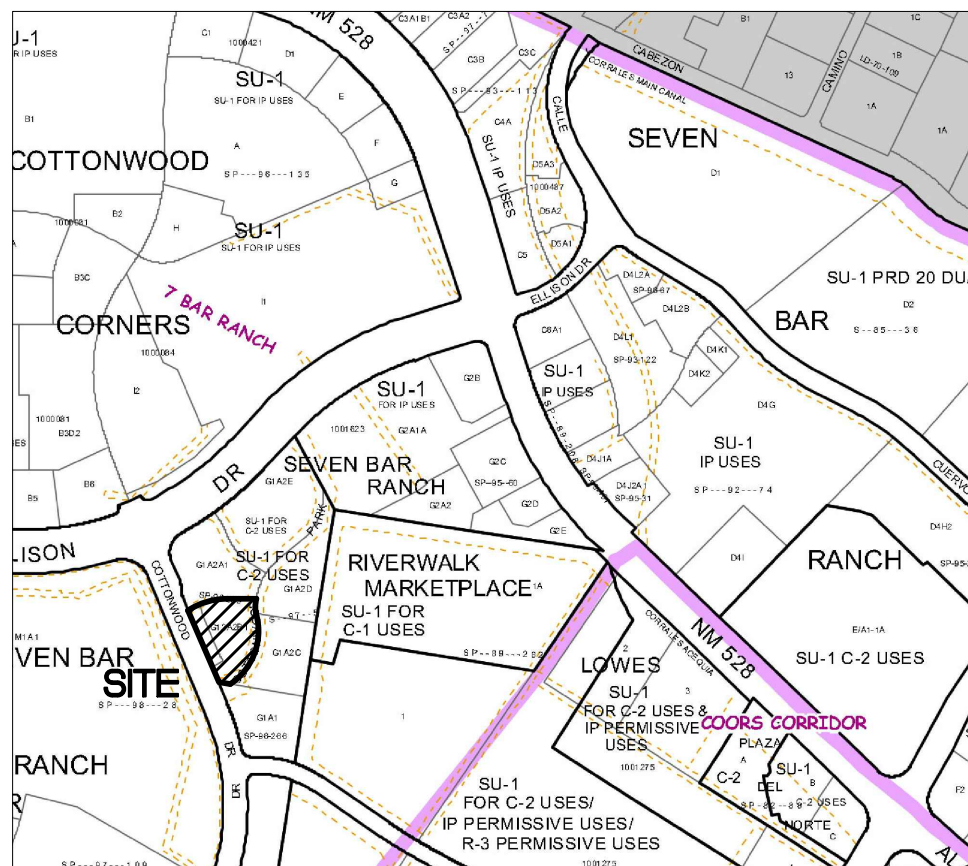
- Swale to be 6" deep when the distance between back of curb and the sidewalk is 5 feet.
- Swale to be 1" deeper than the distance in feet between the back of curb and the sidewalk for landscape buffers different than 5 feet wide.
- For extremely wide landscape buffers, greater than 10 feet, the maximum depth is 10 inches.
- Final grade of dirt to be 1 to 2 inches below top of curb and top of sidewalk grade.
- Surface between back of curb and sidewalk to be covered with gravel mulch (minimum 3/4"), cobbles or rip-rap. Do not fill entire swale.
- A check dam will be required for swales on steeper slopes and longer sections. The engineer will determine the location.
- Permeable landscape fabric is not required, but is acceptable, between the dirt and the stone.

Landscape Buffer Swale Detail

Revision December, 2015 NTS

Easement Notes

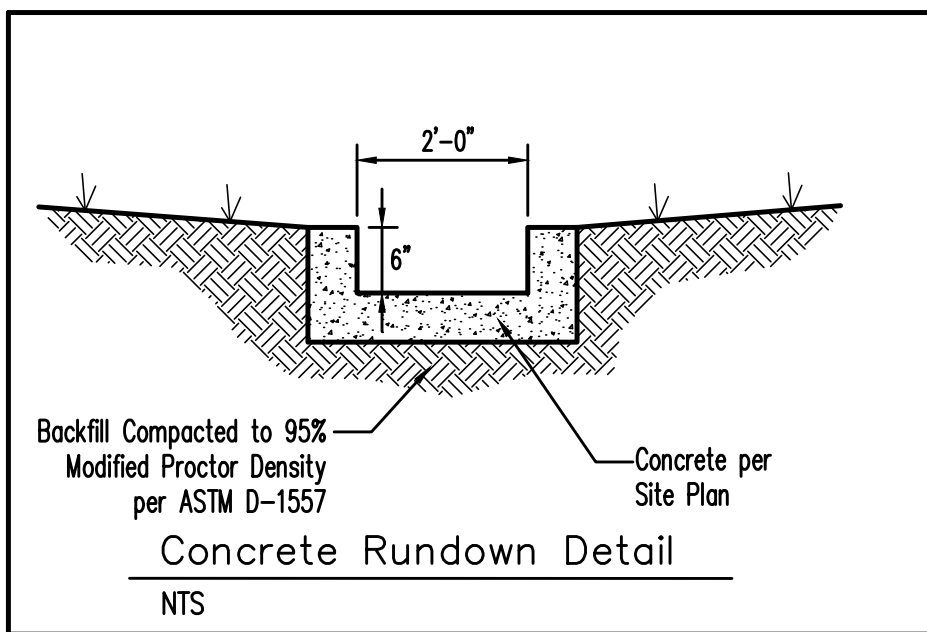
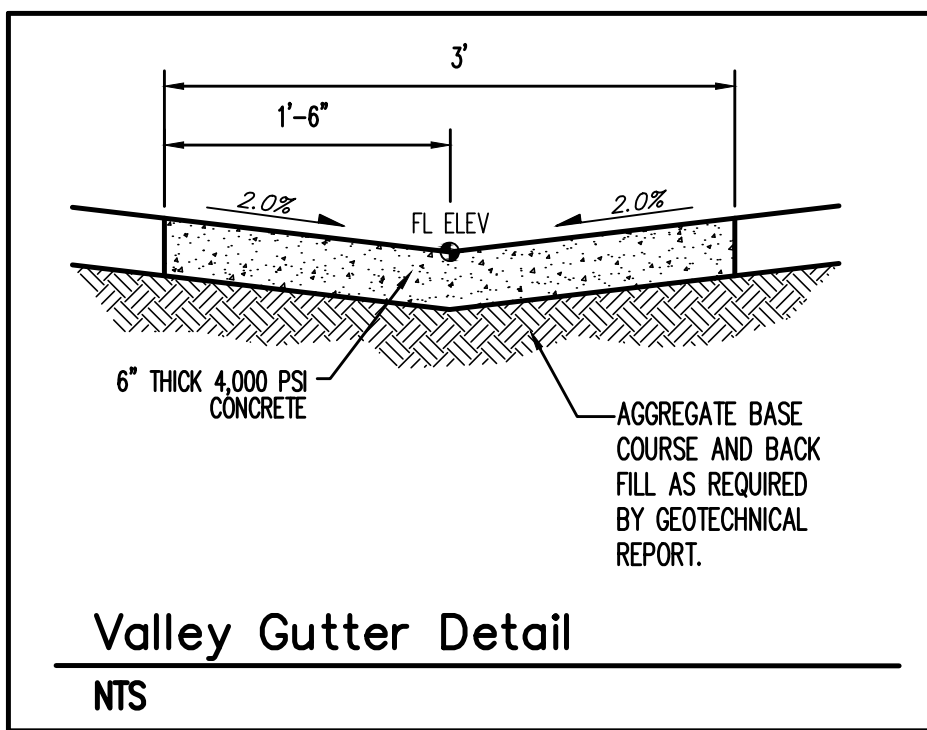
- RECIPROCAL ACCESS, UTILITY AND DRAINAGE EASEMENT (5/5/97, 97C-135)
- 10' P.U.E. (1/6/95, 95C-3)
- 10' WATERLINE EASEMENT (5/5/97, 97C-135)
- 56' PRIVATE ROADWAY, DRAINAGE AND P.U.E. (5/5/97, 97C-135)
- PNM AND U.S. WEST EASEMENT (9/8/98, 9815-2148)
- RECIPROCAL ACCESS, UTILITY AND DRAINAGE EASEMENT (12/26/96, 96C-499)
- RECIPROCAL NON-EXCLUSIVE EASEMENT FOR INGRESS/EGRESS, PARKING, AND DRAINAGE, BENEFITING AND BURDENING TRACTS G-1A-2A-1 AND G-1A-2B-1 (2/11/99, BK. 9902, PG. 9195)
- EXISTING PNM AND USWEST EASEMENT (8/23/99, BK. 9913, PAGE. 2680)



VICINITY MAP - Zone Atlas A-14

GRADING NOTES

- EXCEPT AS PROVIDED HEREIN, GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.
- THE COST FOR REQUIRED CONSTRUCTION DUST AND EROSION CONTROL MEASURES SHALL BE INCIDENTAL TO THE PROJECT COST.
- ALL WORK RELATIVE TO FOUNDATION CONSTRUCTION, SITE PREPARATION, AND PAVEMENT INSTALLATION, AS SHOWN ON THIS PLAN, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "GEOTECHNICAL INVESTIGATION," AS PROVIDED BY THE ARCHITECT OR OWNER. ALL OTHER WORK SHALL, UNLESS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT, (FIRST PRIORITY) SPECIFICATIONS, AND/OR THE CITY OF ALBUQUERQUE (COA) STANDARD SPECIFICATIONS FOR PUBLIC WORKS (SECOND PRIORITY).
- EARTH SLOPES SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL UNLESS SHOWN OTHERWISE.
- IT IS THE INTENT OF THESE PLANS THAT THIS CONTRACTOR SHALL NOT PERFORM ANY WORK OUTSIDE OF THE PROPERTY BOUNDARIES EXCEPT AS REQUIRED BY THIS PLAN.
- THE CONTRACTOR IS TO ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO ADJACENT PROPERTY OR PUBLIC RIGHT-OF-WAY. THIS SHOULD BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS OR SILT FENCE AT THE PROPERTY LINES AND WETTING THE SOIL TO PROTECT IT FROM WIND EROSION.
- A DISPOSAL SITE FOR ANY & ALL EXCESS EXCAVATION MATERIAL, AND UNSUITABLE MATERIAL AND/OR A BORROW SITE CONTAINING ACCEPTABLE FILL MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE OBSERVER. ALL COSTS INCURRED IN OBTAINING A DISPOSAL OR BORROW SITE AND HAIL TO OR FROM SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT AND NO SEPARATE MEASUREMENT OR PAYMENT SHALL BE MADE.
- PAVING AND ROADWAY GRADES SHALL BE +/- 0.05' FROM PLAN ELEVATIONS. PAD ELEVATION SHALL BE +/- 0.05' FROM BUILDING PLAN ELEVATION.
- ALL PROPOSED CONTOURS AND SPOT ELEVATIONS REFLECT TOP OF PAVEMENT ELEVATIONS IN THE PARKING AREA AND MUST BE ADJUSTED FOR PAVEMENT, MEDIANS, AND ISLANDS.
- VERIFY ALL ELEVATIONS SHOWN ON PLAN FROM BASIS OF ELEVATION CONTROL STATION (IF APPLICABLE) PRIOR TO BEGINNING CONSTRUCTION.
- THE CONTRACTOR SHALL PROVIDE THE SWPPP DOCUMENT (IF NECESSARY) AND SHALL ABIDE BY ALL LOCAL, STATE, AND FEDERAL LAWS, RULES AND REGULATIONS WHICH APPLY TO THE CONSTRUCTION OF THESE IMPROVEMENTS, INCLUDING EPA REQUIREMENTS WITH RESPECT TO STORM WATER DISCHARGE.



Darren Sowell
ARCHITECTS

4700 Lincoln N.E., Suite 111
Albuquerque, N.M. 87109
Phone: (505) 342-6200
Fax: (505) 342-6201



5/23/2016

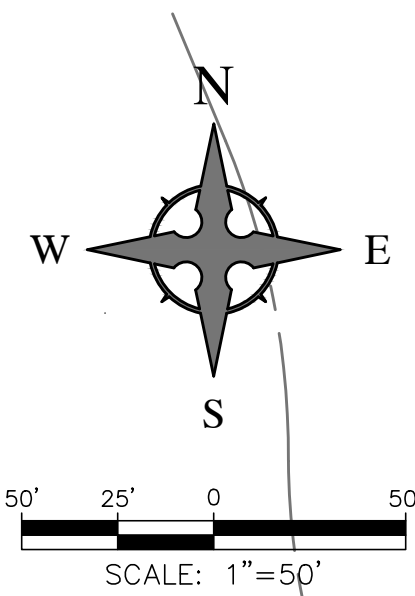
The Shoppes at Ellison
Retail Shell
10301 Cottonwood Park NW
Albuquerque, New Mexico 87114

Wooten
Engineering
1005 21st Street, Suite B1
Rio Rancho, NM 87124
Ph: 505.980.3560

Grading Plan

Scale:

C1.1



EXISTING LA-Z-BOY
POND (6,895 CF)

EXISTING UNDERGROUND
POND (5,163 CF)

C
0.28Ac

PROPOSED
RETAIL BLDG
GFA = +/-8,500 SF
FF ELEV = 5042.50

A
0.06Ac

D
0.12Ac

B
0.43Ac

LEGEND

- FLOW ARROW
- EXISTING CONTOUR
- PROPOSED CONTOUR
- EXISTING STORM DRAIN
- FLOW LINE
- RIDGE LINE
- B-1
1.87Ac
BASIN NUMBER
- SIZE OF BASIN (ACRES)

POND VOLUME CALCULATIONS

POND 'A'	CONTOUR	ELEVATION	AREA (SF)	VOLUME (CF)
		5042.50	1,000 SF	310 CF
		5042.00	242 SF	121 CF
		5041.00	0 SF	431 CF
		TOTAL		

POND 'B'	CONTOUR	ELEVATION	AREA (SF)	VOLUME (CF)
		5041.00	1,248 SF	999 CF
		5040.00	750 SF	695 CF
		5039.00	640 SF	586 CF
		5038.00	532 SF	479 CF
		5037.00	426 SF	2,759 CF
		TOTAL		

POND 'C'	CONTOUR	ELEVATION	AREA (SF)	VOLUME (CF)
		5041.00	1,510 SF	1,352 CF
		5040.00	1,194 SF	1,081 CF
		5039.00	968 SF	866 CF
		5038.00	764 SF	670 CF
		5037.00	576 SF	492 CF
		5036.00	408 SF	4,461 CF
		TOTAL		

<u>POND 'D'</u>		AREA (SF)	VOLUME (CF)
CONTOUR	ELEVATION		
5041.00		176 SF	
5040.00		0 SF	88 CF
TOTAL			88 CF
<u>GRAND TOTAL</u>			<u>7,739 CF</u>

NOTE: THE ABOVE POND VOLUMES SHALL BE VERIFIED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.

DRAINAGE MANAGEMENT PLAN

INTRODUCTION

The purpose of this submittal is to provide a final drainage management plan for Shoppes at Ellison project located at the NEQ of Cottonwood Dr and Cottonwood Park in Albuquerque, NM. The site contains approximately 1.20 acres.

EXISTING HYDROLOGIC CONDITIONS

The site is located within the SAD 223 area and was initially designed by RP Bohannon (plans dated 8/12/1999) as part of the La-Z-Boy facility located to the north. There is an existing Zone 'AO' (depth 1') floodplain that exists along the west side of the site. No offsite flows are currently entering the site.

The site is currently vacant and drains via surface flow from southwest to northeast into an earthen pond located on-site which was constructed as part of the existing La-Z-Boy facility. This earthen pond then discharges via an 8" PVC pipe to the existing detention pond located on the east end of the La-Z-Boy facility. The maximum discharge from the site entire La-Z-Boy and Shoppes at Ellison site is 0.85 cfs (through a 3.8" diameter orifice outlet) as determined by the above referenced plans by RP Bohannon.

PROPOSED HYDROLOGIC CONDITIONS

The proposed site is to be split into 4 distinct drainage basins per this plan and per the Drainage Calculations Table this sheet. Basins 'A', 'B', and 'C' all contain new ponds and will not have a discharge from the site. Basins 'B' and 'C' are interconnected via a new 8" PVC pipe and will drain to the existing pond located on the east end of the La-Z-Boy site. The discharge from the La-Z-Boy pond will remain unchanged per the original design by RP Bohannon and discharge at a rate of 0.85 cfs.

Basin 'A' will drain to a new water harvesting pond located on the west side of the property parallel to Cottonwood Dr NW. This basin consists of 100% pervious area and requires 217 cubic feet of storage for the 100-Year, 24-hour storm. The proposed pond has a capacity of 431 cubic feet. Any excess flows will overflow to Cottonwood Dr.

Easement Notes

- RECIPROCAL ACCESS, UTILITY AND DRAINAGE EASEMENT (5/5/97, 97C-135)
- 10' P.U.E. (1/6/95, 95C-3)
- 10' WATERLINE EASEMENT (5/5/97, 97C-135)
- 56' PRIVATE ROADWAY, DRAINAGE AND P.U.E. (5/5/97, 97C-135)
- PNM AND U.S. WEST EASEMENT (9/8/98, 9815-2148)
- RECIPROCAL ACCESS, UTILITY AND DRAINAGE EASEMENT (12/26/96, 96C-499)
- RECIPROCAL NON-EXCLUSIVE EASEMENT FOR INGRESS/EGRESS, PARKING, AND DRAINAGE, BENEFITING AND BURDENING TRACTS G-1A-2A-1 AND G-1A-2B-1 (2/11/99, BK. 9902, PG. 9195)
- EXISTING PNM AND UWEST EASEMENT (8/23/99, BK. 9913, PAGE. 2680)

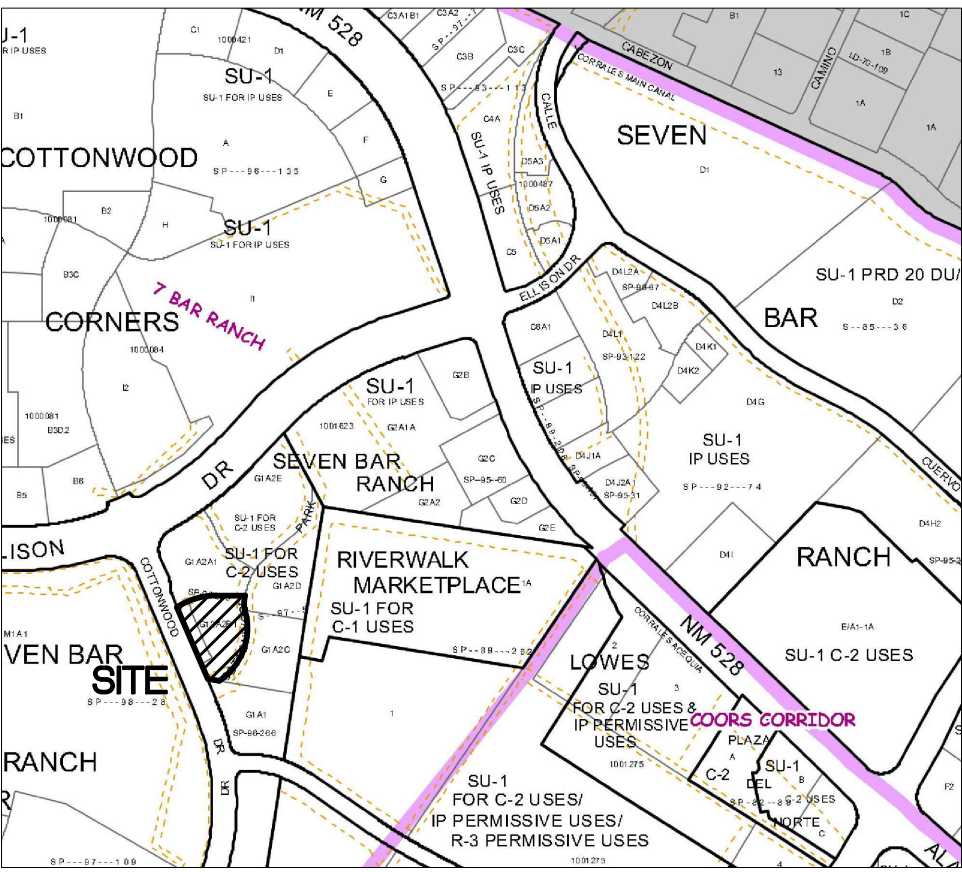
FIRST FLUSH CALCULATIONS

BASIN A
IMPERVIOUS AREA: 0 SF
FIRST FLUSH = $0 * 0.34" / 12 = 0$ CF

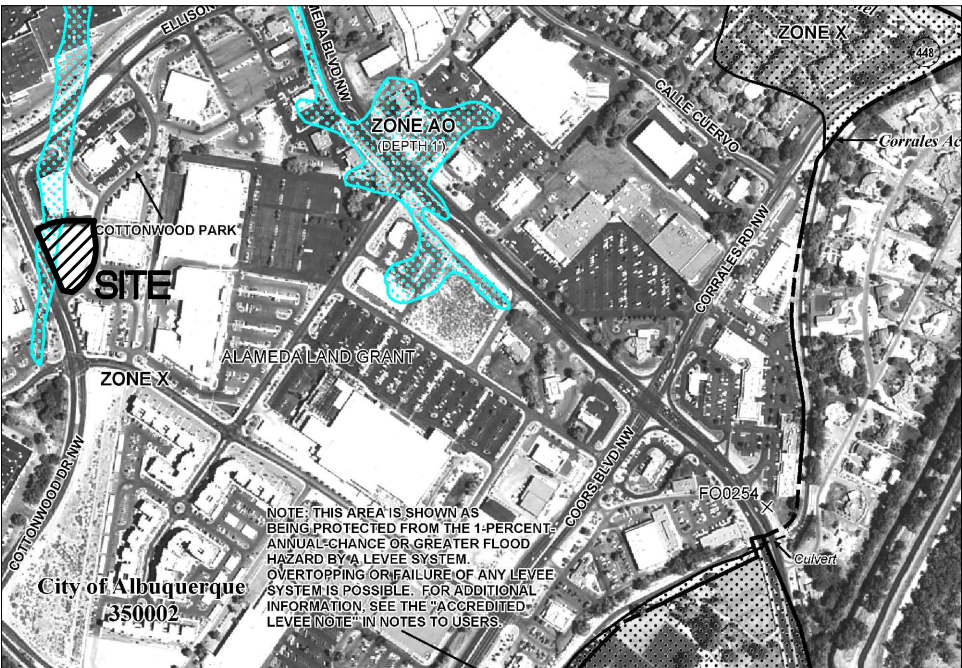
BASIN B
IMPERVIOUS AREA: 16,451 SF (88%)
FIRST FLUSH = $16,451 * 0.34" / 12 = 466$ CF @ 5038.00

BASIN C
IMPERVIOUS AREA: 10,065 SF (82%)
FIRST FLUSH = $10,065 * 0.34" / 12 = 285$ CF @ 5037.00

BASIN D
IMPERVIOUS AREA: 4,069 SF (78%)
FIRST FLUSH = $4,069 * 0.34" / 12 = 115$ CF



VICINITY MAP - Zone Atlas A-14



FIRM MAP 35001C0109H

Per FIRM Map 35001C0109H, dated August 16, 2012, the site is partially located in the Zone 'AO' - Depth 1' Floodplain. The proposed building is not located within the mapped floodplain area.

Basin 'B' consists of the west parking lot and will drain to Pond 'B'. The Basin will drain at a rate of 1.80 cfs and has a 100-year, 24-hour volume of 3,446 cubic feet. Pond 'B' has a capacity of 2,759 cubic feet. Excess volume from the pond (687 cubic feet) will drain via the 8" PVC pipe into Pond 'C' which has excess capacity for its basin.

Basin 'C' consists of the south half of the east parking lot and the building's roof which will drain via roof drains into Pond 'C'. The Basin will drain at a rate of 1.16 cfs and has a 100-year, 24-hour volume of 2,182 cubic feet. Pond 'C' has a capacity of 3,720 cubic feet which will accept the excess volume from Pond 'B'.

Basin 'D' consists of the north side of the building and will drain to the existing La-Z-Boy pond at a rate of 0.49 cfs (905 cubic feet).

POND SUMMARY

According to the original drainage report by RP Bohannon, the combined site requires a total pond volume of 17,925 cubic feet. The existing La-Z-Boy pond (6,895 CF) and the underground ponding located on the Shoppes site (5,163 CF) combine for a total of 12,058 CF leaving an additional requirement of 5,867 CF to be provided by the Shoppes site. The total volume provided by the Shoppes site (Ponds 'A', 'B', and 'C') is 6,998 CF which provides adequate ponding volume to serve the entire site.

FIRST FLUSH CALCULATIONS

Reference First Flush Calculations this sheet. Adequate Water Harvesting has been provided for all basins except for Basin 'D' which does not have any available land area downstream of the parking. A small pond has been provided with Basin 'D' to capture the landscape area adjacent to the building.

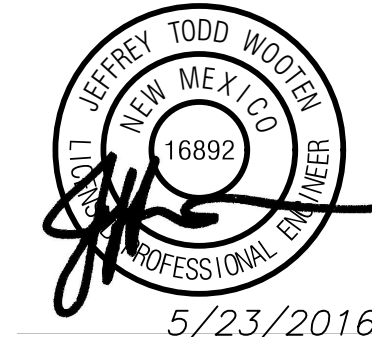
CONCLUSION

This drainage management plan provides for grading and drainage elements which are capable of safely passing the 100 year storm, does not burden downstream systems, and meet city requirements. With this submittal, we are requesting approval of the Administrative Amendment to the Site Plan and Building Permit.

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Darren Sowell
ARCHITECTS
4700 Lincoln N.E., Suite 111
Albuquerque, N.M. 87109
Phone: (505) 342-6200
Fax: (505) 342-6201



The Shoppes at Ellison
Retail Shell
10301 Cottonwood Park NW
Albuquerque, New Mexico 87114

Project Number 2015018
Drawn By JTW
Checked JTW
Issue Date January, 2016

Drainage Management
Plan

Scale:

Wooten
Engineering
1005 21st St SE, Suite B1
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Ph: 505.980.3560

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