

# CITY OF ALBUQUERQUE

PLANNING DEPARTMENT – Development Review Services



March 21, 2016

Richard J. Berry, Mayor

Jeffrey T. Wooten  
Wooten Engineering  
1368 Reynosa Loop SE  
Rio Rancho, NM, 87124

RE: **Shoppes at Ellison (S. of La-Z-Boy)**  
**Drainage and Grading Plan | Engineer's Stamp Date 2-3-2016 (File: A14D010E)**

Dear Mr. Wooten:

Based upon the information provided in your submittal received 2-3-2016, the above referenced plan is approved for Site Plan for Building Permit. Prior to Building Permit, however, the following comments will need to be addressed:

1. Provide invert elevations for the 8" equalizing within Ponds 'B' and 'C'.
2. The Drainage Report should show that the WSEL of Pond 'C' will not cause a head differential that would cause an overspill in the "La-Z-Boy" pond. The original site plan established the tops and bottoms of the two previous design iterations for this site, but it is unclear if this revised layout still complies with the Master Drainage Plan. Also, please provide excerpts and exhibits from that Master Plan, the City's file only contains poor-condition copies and scans of the correspondence for that site.
3. It appears that the buffer area between the back of sidewalk and the curb on Cottonwood Dr and Cottonwood Park will be landscaped. Please show the City's revised Standard Drawing for 2405A and 2405B to show the Landscape Buffer Swale.
4. Clarify how the sidewalk culverts in basin B drop into the pond.
5. The 8" PVC network appears to have several bends and a new connection to existing. It should be planned with cleanouts in the absence of manholes.
6. Show the intended flow direction of the roof on the plan, and location of roof drains if known. They should be routed under the sidewalk where possible.
7. The first flush calculations are shown on Sheet C1.2, but it is not yet clear how Ponds 'B' and 'C' will retain the required volume.

If you have any questions, you can contact me at 924-3986.

Sincerely,

Abiel Carrillo, P.E.  
Principal Engineer, Planning Dept.  
Development Review Services



# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Project Title: Shoppes at Ellison Building Permit #: \_\_\_\_\_ City Drainage #: AL4010E  
DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ Work Order#: \_\_\_\_\_  
Legal Description: Tract G1A2B1, Seven Bar Ranch  
City Address: 10301 Cottonwood Park NW

Engineering Firm: Wooten Engineering Contact: Jeffrey T. Wooten, P.E.  
Address: 1005 21st St SE, Suite B1, Rio Rancho, NM 87124  
Phone#: 505-980-3560 Fax#: N/A E-mail: jeffwooten.pe@gmail.com

Owner: \_\_\_\_\_ Contact: \_\_\_\_\_  
Address: \_\_\_\_\_  
Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

Architect: DSA Architects Contact: Maria Shelton  
Address: 4700 Lincoln NE, Suite 111  
Phone#: 505-342-6200 Fax#: N/A E-mail: marias@dsaabq.com

Other Contact: \_\_\_\_\_ Contact: \_\_\_\_\_  
Address: \_\_\_\_\_  
Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

Check all that Apply:

### DEPARTMENT:

☒ HYDROLOGY/ DRAINAGE  
☐ TRAFFIC/ TRANSPORTATION  
☐ MS4/ EROSION & SEDIMENT CONTROL

### TYPE OF SUBMITTAL:

☐ ENGINEER/ ARCHITECT CERTIFICATION  
☐ CONCEPTUAL G & D PLAN  
☒ GRADING PLAN  
☐ DRAINAGE MASTER PLAN  
☐ DRAINAGE REPORT  
☐ CLOMR/LOMR  
  
☐ TRAFFIC CIRCULATION LAYOUT (TCL)  
☐ TRAFFIC IMPACT STUDY (TIS)  
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)  
  
☐ OTHER (SPECIFY) \_\_\_\_\_

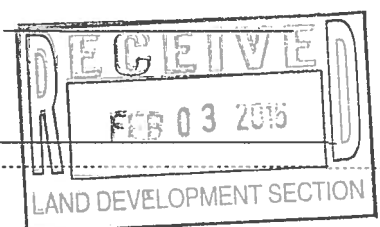
IS THIS A RESUBMITTAL?: ☐ Yes ☒ No

DATE SUBMITTED: 2/4/2016 By: Jeffrey T. Wooten, P.E.

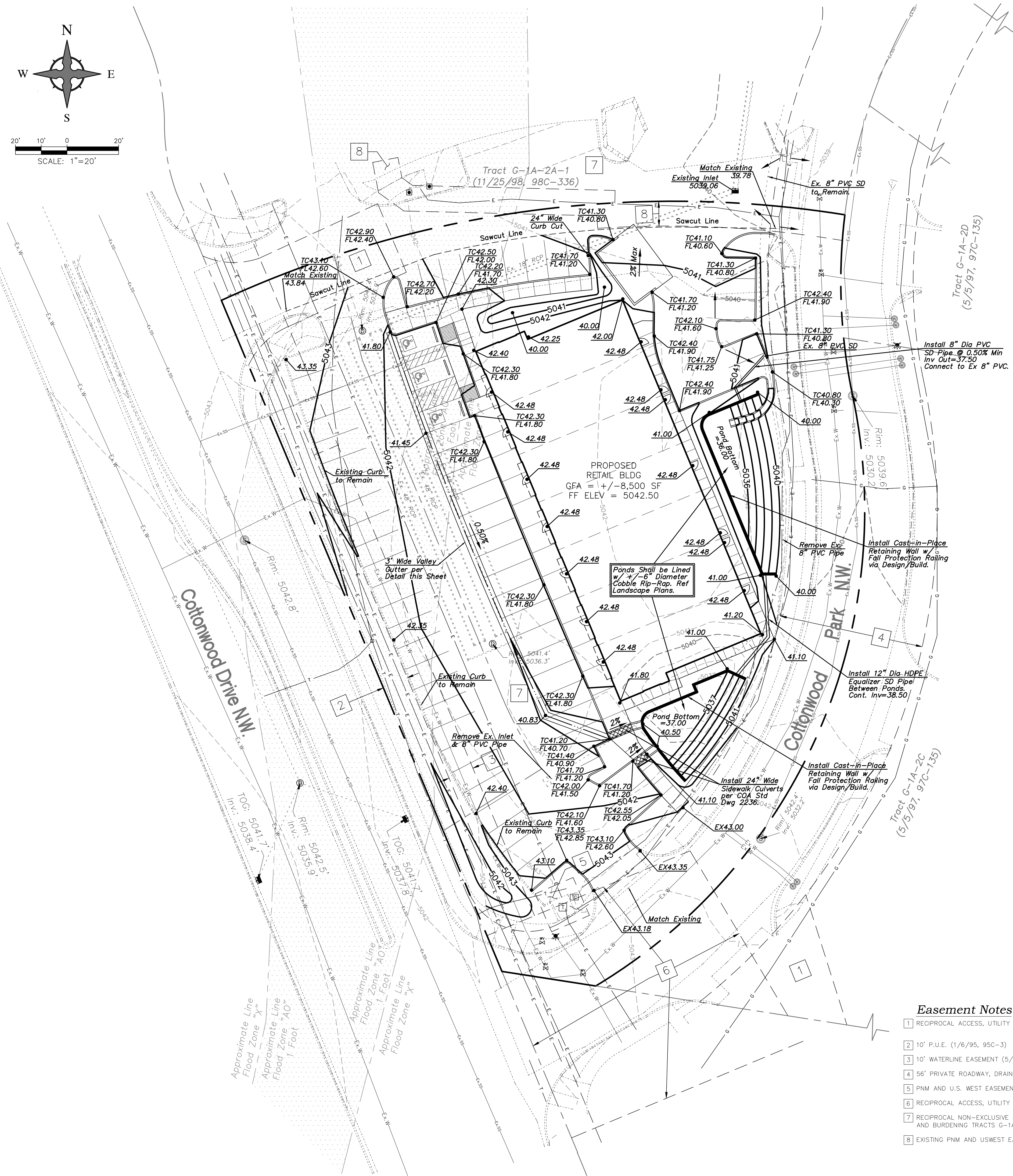
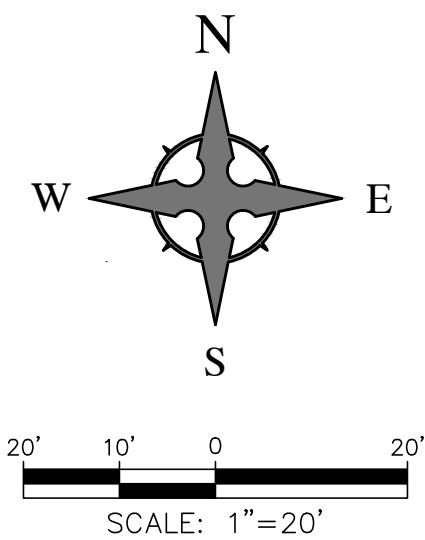
### CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

☒ BUILDING PERMIT APPROVAL  
☐ CERTIFICATE OF OCCUPANCY  
  
☐ PRELIMINARY PLAT APPROVAL  
☐ SITE PLAN FOR SUB'D APPROVAL  
☒ SITE PLAN FOR BLDG. PERMIT APPROVAL  
☐ FINAL PLAT APPROVAL  
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE  
☐ FOUNDATION PERMIT APPROVAL  
☐ GRADING PERMIT APPROVAL  
☐ SO-19 APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ GRADING/ PAD CERTIFICATION  
☐ WORK ORDER APPROVAL  
☐ CLOMR/LOMR  
  
☐ PRE-DESIGN MEETING  
☐ OTHER (SPECIFY) \_\_\_\_\_

COA STAFF: ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_





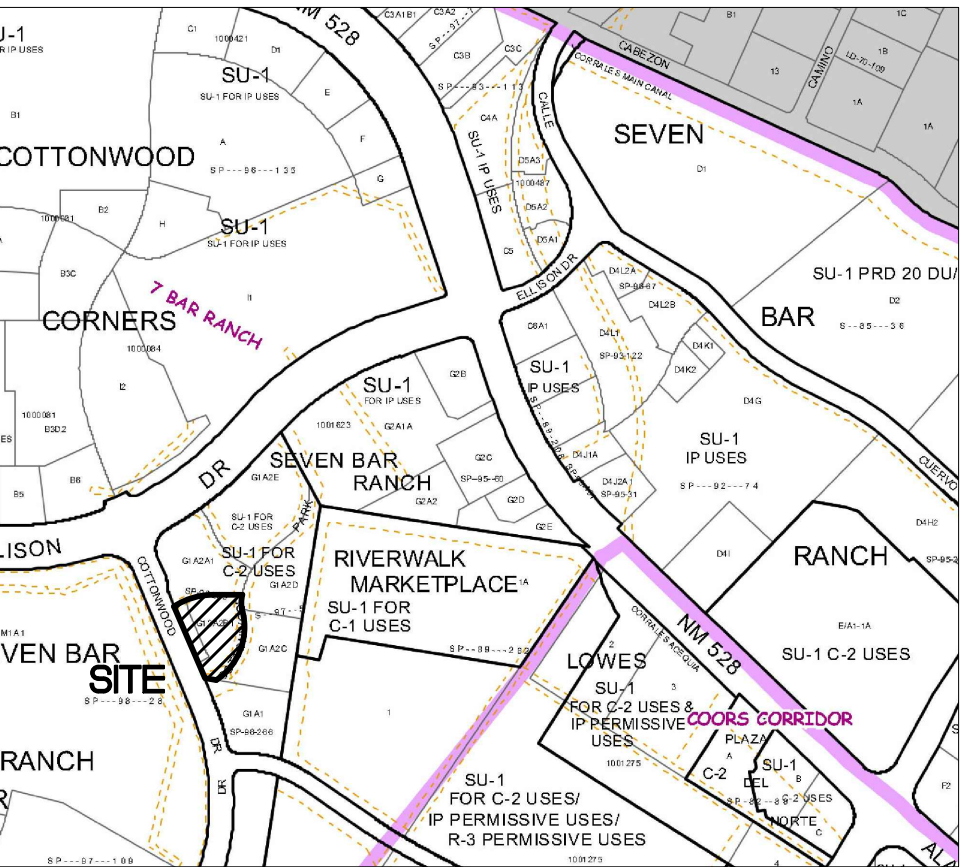


CAUTION - NOTICE TO CONTRACTOR

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL NEW MEXICO ONE CALL (811) AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

LEGEND

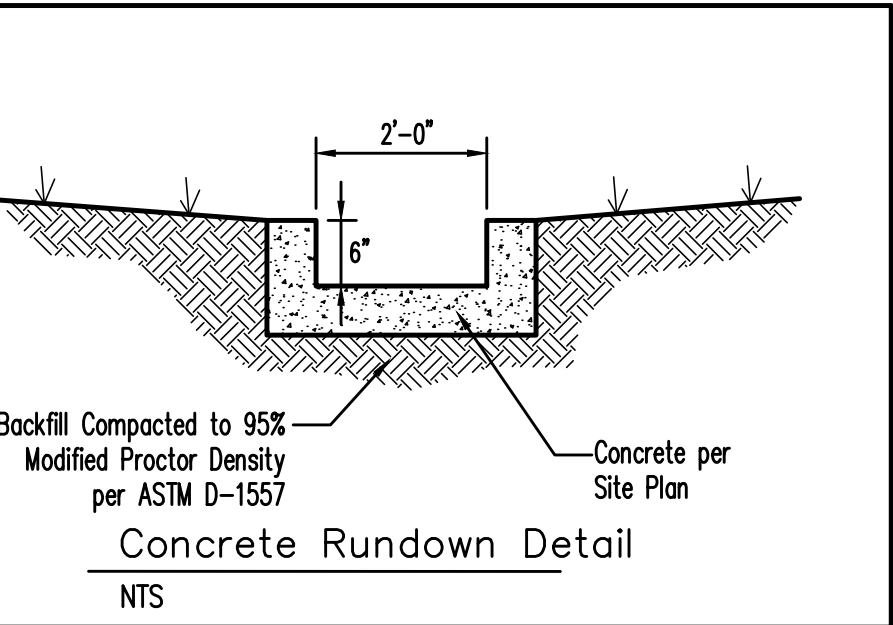
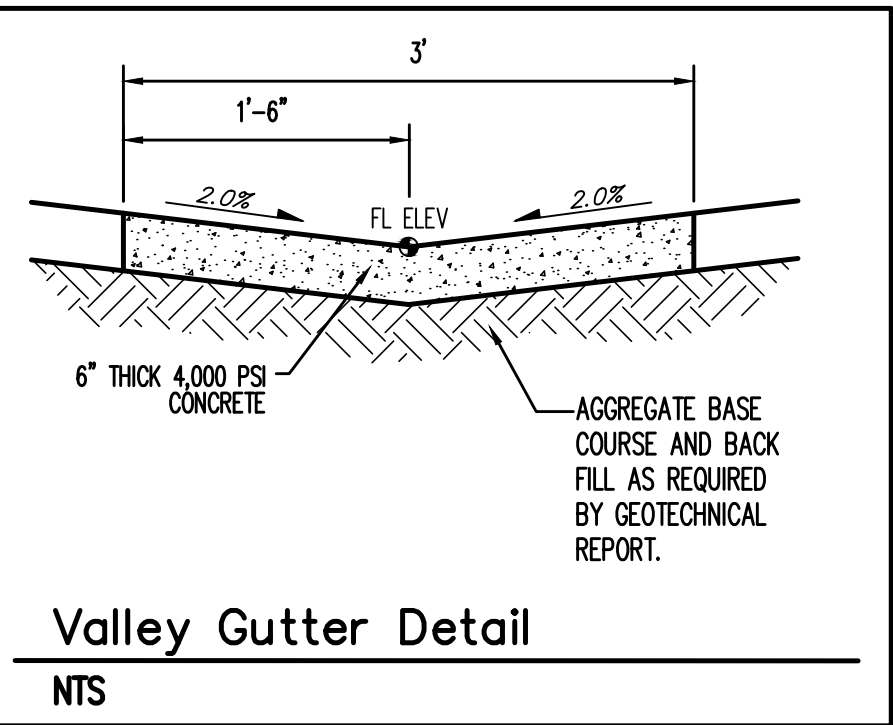
- FLOW ARROW
- 27.8 PROPOSED TOP OF GRADE/PVMT ELEVATIONS
- FL27.8 PROPOSED FLOW LINE/GUTTER ELEVATIONS
- TC27.8 PROPOSED TOP OF CURB ELEVATIONS
- TG27.8 PROPOSED TOP OF GRATE ELEVATION
- 515 EXISTING CONTOUR
- 515 PROPOSED CONTOUR
- EXISTING STORM DRAIN
- FLOW LINE
- RIDGE LINE



VICINITY MAP - Zone Atlas A-14

GRADING NOTES

- EXCEPT AS PROVIDED HEREIN, GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.
- THE COST FOR REQUIRED CONSTRUCTION DUST AND EROSION CONTROL MEASURES SHALL BE INCIDENTAL TO THE PROJECT COST.
- ALL WORK RELATIVE TO FOUNDATION CONSTRUCTION, SITE PREPARATION, AND PAVEMENT INSTALLATION, AS SHOWN ON THIS PLAN, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "GEOLOGICAL INVESTIGATION," AS PROVIDED BY THE ARCHITECT OR OWNER. ALL OTHER WORK SHALL, UNLESS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT, (FIRST PRIORITY) SPECIFICATIONS, AND/OR THE CITY OF ALBUQUERQUE (COA) STANDARD SPECIFICATIONS FOR PUBLIC WORKS (SECOND PRIORITY).
- EARTH SLOPES SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL UNLESS SHOWN OTHERWISE.
- IT IS THE INTENT OF THESE PLANS THAT THIS CONTRACTOR SHALL NOT PERFORM ANY WORK OUTSIDE OF THE PROPERTY BOUNDARIES EXCEPT AS REQUIRED BY THIS PLAN.
- THE CONTRACTOR IS TO ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO ADJACENT PROPERTY OR PUBLIC RIGHT-OF-WAY. THIS SHOULD BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS OR SILT FENCE AT THE PROPERTY LINES AND WETTING THE SOIL TO PROTECT IT FROM WIND EROSION.
- A DISPOSAL SITE FOR ANY & ALL EXCESS EXCAVATION MATERIAL, AND UNSUITABLE MATERIAL AND/OR A BORROW SITE CONTAINING ACCEPTABLE FILL MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE OBSERVER. ALL COSTS INCURRED IN OBTAINING A DISPOSAL OR BORROW SITE AND HAUL TO OR FROM SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT AND NO SEPARATE MEASUREMENT OR PAYMENT SHALL BE MADE.
- PAVING AND ROADWAY GRADES SHALL BE +/- 0.05' FROM PLAN ELEVATIONS. PAD ELEVATION SHALL BE +/- 0.05' FROM BUILDING PLAN ELEVATION.
- ALL PROPOSED CONTOURS AND SPOT ELEVATIONS REFLECT TOP OF PAVEMENT ELEVATIONS IN THE PARKING AREA AND MUST BE ADJUSTED FOR PAVEMENT, MEDIANS, AND ISLANDS.
- VERIFY ALL ELEVATIONS SHOWN ON PLAN FROM BASIS OF ELEVATION CONTROL STATION (IF APPLICABLE) PRIOR TO BEGINNING CONSTRUCTION.
- THE CONTRACTOR SHALL PROVIDE THE SWPPP DOCUMENT (IF NECESSARY) AND SHALL ABIDE BY ALL LOCAL, STATE, AND FEDERAL LAWS, RULES AND REGULATIONS WHICH APPLY TO THE CONSTRUCTION OF THESE IMPROVEMENTS, INCLUDING EPA REQUIREMENTS WITH RESPECT TO STORM WATER DISCHARGE.



Easement Notes

- RECIPROCAL ACCESS, UTILITY AND DRAINAGE EASEMENT (5/5/97, 97C-135)
- 10' P.U.E. (1/6/95, 95C-3)
- 10' WATERLINE EASEMENT (5/5/97, 97C-135)
- 56' PRIVATE ROADWAY, DRAINAGE AND P.U.E. (5/5/97, 97C-135)
- PNM AND U.S. WEST EASEMENT (9/8/98, 9815-2148)
- RECIPROCAL ACCESS, UTILITY AND DRAINAGE EASEMENT (12/26/96, 96C-499)
- RECIPROCAL NON-EXCLUSIVE EASEMENT FOR INGRESS/EGRESS, PARKING, AND DRAINAGE, BENEFITING AND BURDENING TRACTS G-1A-2A-1 AND G-1A-2B-1 (2/11/99, BK. 9902, PG. 9195)
- EXISTING PNM AND USWEST EASEMENT (8/23/99, BK. 9913, PAGE. 2680)



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ARCHITECTS

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2/3/2016

The Shoppes at Ellison  
Retail Shell  
10301 Cottonwood Park NW  
Albuquerque, New Mexico 87114

Wooten  
Engineering  
1005 21st Street, Suite B1  
Rio Rancho, NM 87124  
Ph: 505.980.3560

Grading Plan

Scale:

C1.1

Project Number 2015018  
Drawn By JTW  
Checked JTW  
Issue Date January, 2016



