CITY OF ALBUQUERQUE

PLANNING DEPARTMENT - Development Review Services



March 21, 2016

Richard J. Berry, Mayor

Jeffrey T. Wooten Wooten Engineering 1368 Reynosa Loop SE Rio Rancho, NM, 87124

RE:

Shoppes at Ellison (S. of La-Z-Boy)

Drainage and Grading Plan | Engineer's Stamp Date 2-3-2016 (File: A14D010E)

Dear Mr. Wooten:

Based upon the information provided in your submittal received 2-3-2016, the above referenced plan is approved for Site Plan for Building Permit. Prior to Building Permit, however, the following comments will need to be addressed:

- 1. Provide invert elevations for the 8" equalizing within Ponds 'B' and 'C'.
- 2. The Drainage Report should show that the WSEL of Pond 'C' will not cause a head differential that would cause an overspill in the "La-Z-Boy" pond. The original site plan established the tops and bottoms of the two previous design iterations for this site, but it is unclear if this revised layout still complies with the Master Drainage Plan. Also, please provide excerpts and exhibits from that Master Plan, the City's file only contains poor-condition copies and scans of the correspondence for that site.

Albuquerque

PO Box 1293

3. It appears that the buffer area between the back of sidewalk and the curb on Cottonwood Dr and Cottonwood Park will be landscaped. Please show the City's revised Standard Drawing for 2405A and 2405B to show the Landscape Buffer Swale.

New Mexico 87103

- 4. Clarify how the sidewalk culverts in basin B drop into the pond.
- 5. The 8" PVC network appears to have several bends and a new connection to existing. It should be planned with cleanouts in the absence of manholes.

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- 6. Show the intended flow direction of the roof on the plan, and location of roof drains if known. They should be routed under the sidewalk where possible.
- 7. The first flush calculations are shown on Sheet C1.2, but it is not yet clear how Ponds 'B' and 'C' will retain the required volume.

If you have any questions, you can contact me at 924-3986.

Sincerely,

Abiel Carrillo, P.E.

Principal Engineer, Planning Dept. Development Review Services



City of Albuquerque

Planning Department

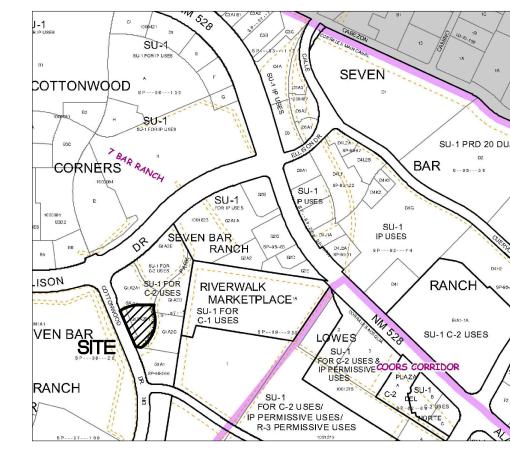
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Project Title: Shoppes at Ellison	Building Permit #:	City Drainage #: A4810			
	Dunuing 1 Citint #.	Work Order#:			
Legal Description: Tract G1A2B1, Seven Bar Ranch		Work Ordern.			
City Address: 10301 Cottonwood Park NW					
Engineering Firm: Wooten Engineering	<u></u>	Contact: Jeffrey T. Wooten, P.E.			
Address: 1005 21st St SE, Suite B1, Rio Rancho, NM 87					
Phone#: 505-980-3560 Fax#: N	/A	E-mail: jeffwooten.pe@gmail.com			
Owner:		Contact:			
Address:					
Phone#: Fax#:		E-mail:			
Architect: DSA Architects					
		Contact: Maria Shelton			
Address: 4700 Lincoln NE, Suite 111 Phone#: 505-342-6200 Fax#: N	//^	E wells mariae Adagaba com			
FRX#: N	IA	E-mail: marias@dsaabq.com			
Other Contact:		Contact:			
Address:					
Phone#: Fax#:		E-mail:			
DEPARTMENT: X HYDROLOGY/ DRAINAGE TRAFFIC/ TRANSPORTATION MS4/ EROSION & SEDIMENT CONTROL TYPE OF SUBMITTAL: ENGINEER/ ARCHITECT CERTIFICATION CONCEPTUAL G & D PLAN X GRADING PLAN DRAINAGE MASTER PLAN DRAINAGE REPORT CLOMR/LOMR TRAFFIC CIRCULATION LAYOUT (TCL)	X BUILDING CERTIFICA PRELIMINA SITE PLAN X SITE PLAN FINAL PLA SIA/ RELEA FOUNDATI GRADING SO-19 APPI PAVING PE	CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT: X BUILDING PERMIT APPROVAL CERTIFICATE OF OCCUPANCY PRELIMINARY PLAT APPROVAL SITE PLAN FOR SUB'D APPROVAL X SITE PLAN FOR BLDG. PERMIT APPROVAL FINAL PLAT APPROVAL SIA/ RELEASE OF FINANCIAL GUARANTEE FOUNDATION PERMIT APPROVAL GRADING PERMIT APPROVAL SO-19 APPROVAL PAVING PERMIT APPROVAL GRADING/ PAD CERTIFICATION			
TD A EELC IMPACT CTUDY (TIC)		WORK ORDER APPROVAL			
EROSION & SEDIMENT CONTROL PLAN (ESC)	CLOMR/LO				
OTHER (SPECIFY)	1 1 1 1 1 1 1 1				
IS THIS A RESUBMITTAL?: Yes X No	OTHER (SF	FEB 0 3 2015			
DATE SUBMITTED: 2/4/2016	By: Jeffrey T. Wooten, P.E.	FEB 03 20.0			
COA STAFF: ELECTRONIC SUBMITTAL RECEIVED: _		LAND DEVELOPMENT SECTION			

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL NEW MEXICO ONE CALL (811) AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS

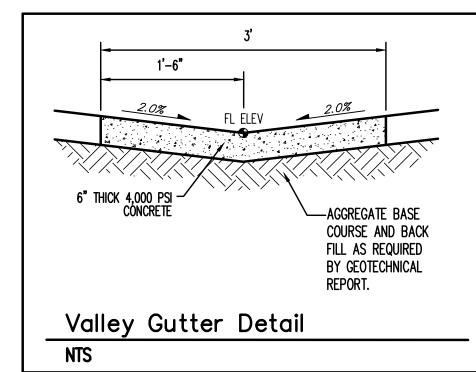
PROPOSED TOP OF GRADE/PVMT ELEVATIONS FL27.8 PROPOSED FLOW LINE/GUTTER ELEVATIONS PROPOSED TOP OF CURB ELEVATIONS TG27.8 PROPOSED TOP OF GRATE ELEVATION

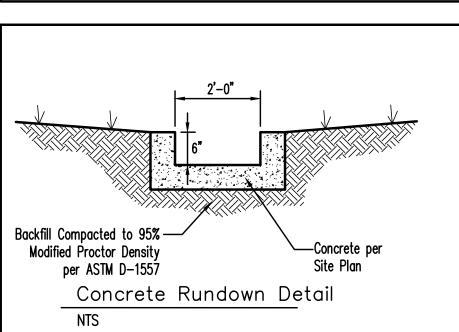


VICINITY MAP - Zone Atlas A-14

<u>GRADING NOTES</u>

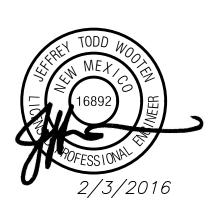
- 1. EXCEPT AS PROVIDED HEREIN, GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.
- 2. THE COST FOR REQUIRED CONSTRUCTION DUST AND EROSION CONTROL MEASURES SHALL BE INCIDENTAL TO THE PROJECT COST.
- 3. ALL WORK RELATIVE TO FOUNDATION CONSTRUCTION, SITE PREPARATION, AND PAVEMENT INSTALLATION, AS SHOWN ON THIS PLAN, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "GEOTECHNICAL INVESTIGATION," AS PROVIDED BY THE ARCHITECT OR OWNER. ALL OTHER WORK SHALL, UNLESS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT, (FIRST PRIORITY) SPECIFICATIONS, AND/OR THE CITY OF ALBUQUERQUE (COA) STANDARD SPECIFICATIONS FOR PUBLIC WORKS (SECOND PRIORITY).
- 4. EARTH SLOPES SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL UNLESS SHOWN OTHERWISE.
- 5. IT IS THE INTENT OF THESE PLANS THAT THIS CONTRACTOR SHALL NOT PERFORM ANY WORK OUTSIDE OF THE PROPERTY BOUNDARIES EXCEPT AS REQUIRED BY THIS PLAN.
- 6. THE CONTRACTOR IS TO ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO ADJACENT PROPERTY OR PUBLIC RIGHT-OF-WAY. THIS SHOULD BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS OR SILT FENCE AT THE PROPERTY LINES AND WETTING THE SOIL TO PROTECT IT FROM WIND EROSION.
- 7. A DISPOSAL SITE FOR ANY & ALL EXCESS EXCAVATION MATERIAL, AND UNSUITABLE MATERIAL AND/OR A BORROW SITE CONTAINING ACCEPTABLE FILL MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE OBSERVER. ALL COSTS INCURRED IN OBTAINING A DISPOSAL OR BORROW SITE AND HAUL TO OR FROM SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT AND NO SEPARATE MEASUREMENT OR PAYMENT SHALL BE MADE.
- 8. PAVING AND ROADWAY GRADES SHALL BE +/- 0.05' FROM PLAN ELEVATIONS. PAD ELEVATION SHALL BE +/- 0.05' FROM BUILDING PLAN ELEVATION. 9. ALL PROPOSED CONTOURS AND SPOT ELEVATIONS REFLECT TOP OF PAVEMENT ELEVATIONS IN THE PARKING AREA AND MUST BE ADJUSTED FOR PAVEMENT, MEDIANS, AND ISLANDS.
- 10. VERIFY ALL ELEVATIONS SHOWN ON PLAN FROM BASIS OF ELEVATION CONTROL STATION (IF APPLICABLE) PRIOR TO BEGINNING CONSTRUCTION.
- 11. THE CONTRACTOR SHALL PROVIDE THE SWPPP DOCUMENT (IF NECESSARY) AND SHALL ABIDE BY ALL LOCAL, STATE, AND FEDERAL LAWS, RULES AND REGULATIONS WHICH APPLY TO THE CONSTRUCTION OF THESE IMPROVEMENTS, INCLUDING EPA REQUIREMENTS WITH RESPECT TO STORM WATER DISCHARGE.





Wooten . 1005 21st Street, Suite B1 Rio Rancho, NM 87124 Ph: 505.980.3560

Darren Sowell ARCHITECTS 4700 Lincoln N.E., Suite 111 Albuquerque, N.M. 87109 Phone: (505) 342-6200 Fax: (505) 342-6201



Project Number Drawn By Checked Issue Date

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Grading Plan

POND VOLUME CALCULATIONS

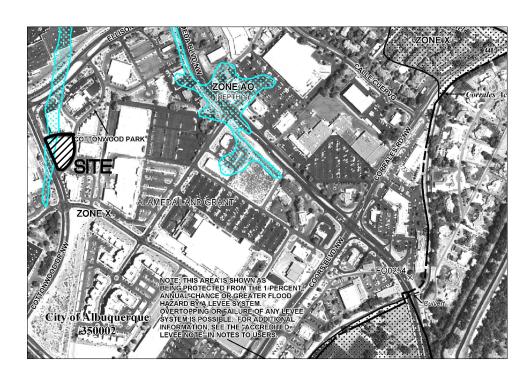
	OLOME OF ILOO	<u></u>			
POND 'A' CONTOUR 5042.50 5042.00	ELEVATION	AREA (SF) 1,000 SF 242 SF	VOLUME (CF) — 310 CF		
5041.00 TOTAL		0 SF	121 CF 431 CF		
POND 'B' CONTOUR 5041.00 5040.00 5039.00 5038.00 5037.00 TOTAL	ELEVATION	AREA (SF) 1,248 SF 750 SF 640 SF 532 SF 426 SF	VOLUME (CF) 999 CF 695 CF 586 CF 479 CF 2,759 CF		
5040.50 5040.00 5039.00 5038.00 5037.00 5036.00 TOTAL	ELEVATION	AREA (SF) 1,250 SF 1,194 SF 968 SF 764 SF 576 SF 408 SF	VOLUME (CF) 611 CF 1,081 CF 866 CF 670 CF 492 CF 3,720 CF		
POND 'D' CONTOUR 5041.00 5040.00 TOTAL GRAND TO	ELEVATION DTAL	AREA (SF) 176 SF 0 SF	VOLUME (CF) 88 CF 88 CF 6,998 CF		

NOTE: THE ABOVE POND VOLUMES SHALL BE VERIFIED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.

COTTONWOOD



VICINITY MAP - Zone Atlas A-14



FIRM MAP 35001C0109H

Per FIRM Map 35001C0109H, dated August 16, 2012, the site is partially located in the Zone 'AO' — Depth 1' Floodplain. The proposed building is not located within the mapped floodplain area.

Basin 'B' consists of the west parking lot and will drain to Pond 'B'. The Basin will drain at a rate of 1.80 cfs and has a 100—year, 24—hour volume of 3,446 cubic feet. Pond 'B' has a capacity of 2,759 cubic feet. Excess volume from the pond (687 cubic feet) will drain via the 8" PVC pipe into Pond 'C' which has excess capacity for its basin.

Basin 'C' consists of the south half of the east parking lot and the building's roof which will drain via roof drains into Pond 'C'. The Basin will drain at a rate of 1.16 cfs and has a 100-year, 24-hour volume of 2,182 cubic feet. Pond 'C' has a capacity of 3,720 cubic feet which will accept the excess volume from Pond 'B'.

Basin 'D' consists of the north side of the building and will drain to the existing La—Z—Boy pond at a rate of 0.49 cfs (905 cubic feet).

According to the original drainage report by RP Bohannan, the combined site requires a total pond volume of 17,925 cubic feet. The existing La—Z—Boy pond (6,895 CF) and the underground ponding located on the Shoppes site (5,163 CF) combine for a total of 12,058 CF leaving an additional requirement of 5,867 CF to be provided by the Shoppes site. The total volume provided by the Shoppes site (Ponds 'A', 'B', and 'C') is 6,998 CF which provides adequate ponding volume to serve the entire site.

FIRST FLUSH CALCULATIONS

Reference First Flush Calculations this sheet. Adequate Water Harvesting has been provided for all basins except for Basin 'D' which does not have any available land area downstream of the parking. A small pond has been provided with Basin 'D' to capture the landscape area adjacent to the building.

This drainage management plan provides for grading and drainage elements which are capable of safely passing the 100 year storm, does not burden downstream systems, and meet city requirements. With this submittal, we are requesting approval of the Administrative Amendment to the Site Plan and

		Propos	sed Shop	pes at	Ellison	Draina	ge Calc	ulation	S			
			Ultimate Development Conditions Basin Data Table									
	This	s table is based on	the COA DPI	VI Section 2	22.2, Z one:	1						
BASIN	Area	Area	Land Treatment Percentages C		Q(100)	Q(100)	WTE	V(100) ₃₆₀	V(100) ₁₄₄₀	V(100) _{10da}		
	(SQ. FT)	(AC.)	Α	В	С	D	(cfs/ac.)	(CFS)	(inches)	(CF)	(CF)	(CF)
Α	2630	0.06	0.0%	0.0%	100.0%	0.0%	2.87	0.17	0.99	217	217	217
В	18761	0.43	0.0%	0.0%	12.0%	88.0%	4.19	1.80	1.85	2896	3446	5097
С	12340	0.28	0.0%	0.0%	18.0%	82.0%	4.10	1.16	1.79	1844	2182	3194
D	5255	0.12	0.0%	0.0%	22.0%	78.0%	4.04	0.49	1.75	768	905	1315
TOTAL	38986	0.89						3.63		5726	6750	9823

Easement Notes

1 RECIPROCAL ACCESS, UTILITY AND DRAINAGE EASEMENT (5/5/97, 97C-135)

3 10' WATERLINE EASEMENT (5/5/97, 97C-135)

4 56' PRIVATE ROADWAY, DRAINAGE AND P.U.E. (5/5/97, 97C-135)

5 PNM AND U.S. WEST EASEMENT (9/8/98, 9815-2148)

6 RECIPROCAL ACCESS, UTILITY AND DRAINAGE EASEMENT (12/26/96, 96C-499)

7 RECIPROCAL NON-EXCLUSIVE EASEMENT FOR INGRESS/EGRESS, PARKING, AND DRAINAGE, BENEFITING AND BURDENING TRACTS G-1A-2A-1 AND G-1A-2B-1 (2/11/99, BK. 9902, PG. 9195)

8 EXISTING PNM AND USWEST EASEMENT (8/23/99, BK. 9913, PAGE. 2680)

FIRST FLUSH CALCULATIONS

IMPERVIOUS AREA: 0 SF FIRST FLUSH = 0 * 0.34" / 12 = 0 CF

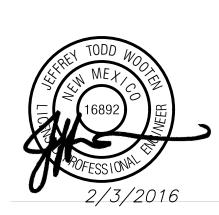
IMPERVIOUS AREA: 16,451 SF (88%) FIRST FLUSH = 16,451 * 0.34" / 12 = 466 CF

<u>BASIN</u> C IMPERVIOUS AREA: 10,065 SF (82%) FIRST FLUSH = 10,065 * 0.34" / 12 = 285 CFIMPERVIOUS AREA: 4,069 SF (78%)

FIRST FLUSH = 4,069 * 0.34" / 12 = 115 CF

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Fax: (505) 342-6201

Hison Park Mexico hel

Project Number	2015018
Drawn By	JTW
Checked	JTW
Issue Date	January, 2016

Drainage Management