CITY OF ALBUQUERQUE

March 20, 2015

Mike Walla, P.E.
Walla Engineering
6501 America's Parkway NE, Suite 301
Albuquerque, NM 87110

Re: Corrales Business Park
Conceptual Grading and Drainage Plan
Engineer's Stamp Date 3-19-15 (A14D011)

Dear Mr. Walla,

Based upon the information provided in your submittal received 3-19-15, the above referenced plan is approved for Site Plan for Building Permit action by the DRB.

The following comments should be addressed when submitting a plan for Building Permit approval:

1. It appears that half of NM 528 drains into the site in the existing condition. Include this offsite basin in determining the WSE in Basin 2.
2. Provide a stage-volume table or calculations to support the ponding area and WSE in Basin 2.

If you have any questions, you can contact me at 924-3986.

Sincerely,

Curtis Cherne, P.E.
Principal Engineer, Hydrology
Planning Dept.

C: e-mail

PO Box 1293
Albuquerque
New Mexico 87103
www.cabq.gov

City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: CORRALES BUSINESS PARK Building Permit #: City Drainage #:

DRB#: EPC#: Work Order#:

Legal Description: TRACT C-6A-1 AND C-6A-2 OF THE REPLAT OF TRACT C-6A OF SEVEN-BAR RANCH, BERNALILLO COUNTY, NEW MEXICO

City Address: 3611 NM STATE HIGHWAY NO. 528 ALBUQUERQUE, NEW MEXICO 87114

Engineering Firm: WALLA ENGINEERING Contact: MIKE WALLA

Address: 6501 AMERICAS PWKY NE, ALBUQ., NM 87110 SUITE 301

Phone#: 505-881-3008 Fax#: 505-881-4025 E-mail: mikew@wallaengineering.com

Owner: 528 and ELLISON LLC Contact: WES BUTERO

Address: 6801 JEFFERSON NE, ALBUQUERQUE, NM 87109

Phone#: 505-858-0001 Fax#: E-mail:

Architect: DEKKER PERICH SABATINI Contact: CHRIS GUNNING

Address: 7601 JEFFERSON NE, ALBUQ., NM 87109

Phone#: 505-761-9700 Fax#: E-mail: chrisg@dpsdesign.com

Surveyor: SURVTEK INC. Contact:

Address: 9384 VALLEY VIEW DRIVE NW, ALBUQUERQUE, NM 87114

Phone#: 505-897-3366 Fax#: 505-897-3377 E-mail:

Contractor: Contact:

Address:

Phone#: Fax#: E-mail:

TYPE OF SUBMITTAL:

- ____ DRAINAGE REPORT
- ____ DRAINAGE PLAN 1st SUBMITTAL
- ____ DRAINAGE PLAN RESUBMITTAL
- X CONCEPTUAL G & D PLAN
- ____ GRADING PLAN
- ____ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ____ ENGINEER'S CERT (HYDROLOGY)
- ____ CLOMR/LOMR
- ____ TRAFFIC CIRCULATION LAYOUT (TCL)
- ____ ENGINEER'S CERT (TCL)
- ____ ENGINEER'S CERT (DRB SITE PLAN)
- ____ ENGINEER'S CERT (ESC)
- ____ SO-19
- ____ OTHER (SPECIFY)

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

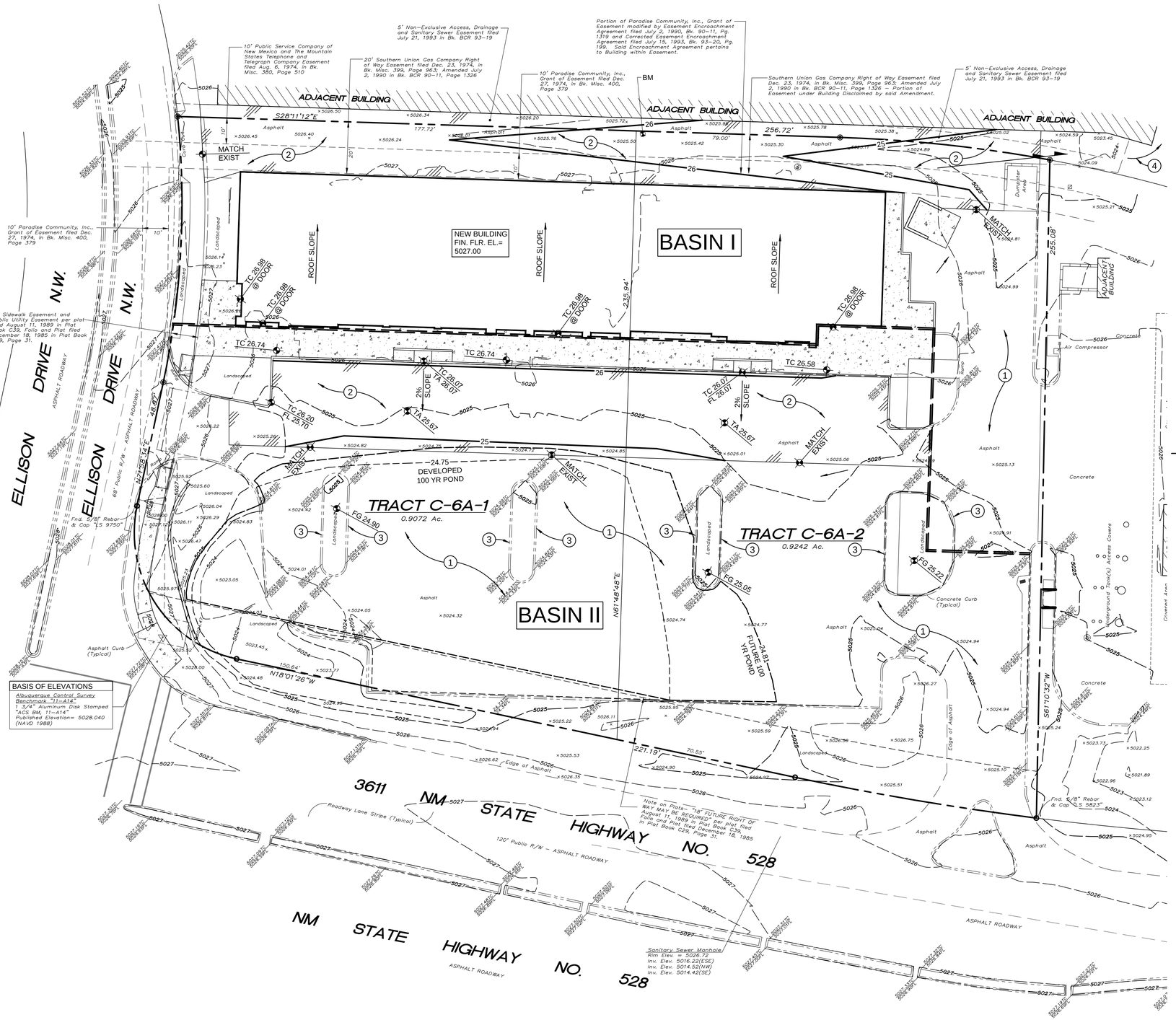
- ____ SIA/FINANCIAL GUARANTEE RELEASE
- ____ PRELIMINARY PLAT APPROVAL
- ____ S. DEV. PLAN FOR SUB'D APPROVAL
- ____ S. DEV. FOR BLDG. PERMIT APPROVAL
- ____ SECTOR PLAN APPROVAL
- ____ FINAL PLAT APPROVAL
- ____ CERTIFICATE OF OCCUPANCY (PERM)
- ____ CERTIFICATE OF OCCUPANCY (TCL TEMP)
- ____ FOUNDATION PERMIT APPROVAL
- ____ BUILDING PERMIT APPROVAL
- ____ GRADING PERMIT APPROVAL
- ____ PAVING PERMIT APPROVAL
- ____ WORK ORDER APPROVAL
- ____ GRADING CERTIFICATION
- ____ SO-19 APPROVAL
- ____ ESC PERMIT APPROVAL
- ____ ESC CERT. ACCEPTANCE
- ____ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED: X Yes ____ No ____ Copy Provided

DATE SUBMITTED: 3-19-15 By: MIKE WALLA

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the followin

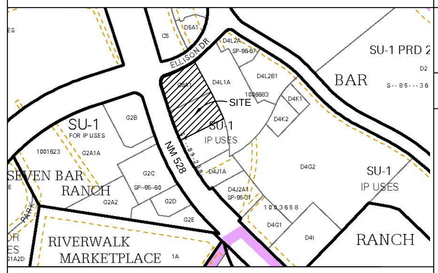
1. **Conceptual Grading and Drainage Plan**: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans**: Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report**: Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development



A1 CONCEPTUAL GRADING and DRAINAGE PLAN

SCALE: 1" = 20'

VICINITY MAP A-14-Z



DESIGN NARRATIVE

THIS PROJECT INVOLVES THE DEMOLITION OF TWO EXISTING BUILDINGS AND CONSTRUCTION OF A NEW BUILDING ON BASICALLY THE SAME PAD SITE. THE CURRENT BUILDINGS DRAW ROOF RUNOFF TO THE PAVED DRIVEWAY NORTH OF THE BUILDINGS. THIS STORM RUNOFF THEN FLOWS DOWN HILL TO THE EAST WHERE IT COLLECTS AT AN OUTLET AND SWALE THRU THE ADJACENT PROPERTY TO THE NORTH. THIS RUNOFF IS CONVEYED VIA AN EXISTING DRAINAGE EASEMENT NORTH THRU THE SELF STORAGE FACILITY WHERE IT IS COLLECTED IN CATCH BASIN AND CONVEYED NORTH IN AN UNDERGROUND PIPE TO A STORM DRAIN IN CALLE CUERVO WHICH ULTIMATELY OUTFALLS IN A LARGE POND TO THE EAST, ON THE SOUTH SIDE OF THE STREET. THE DEVELOPED RUNOFF WILL BE VERY SIMILAR TO EXISTING AND WILL THEREFORE NOT CHANGE THE DOWNSTREAM PONDING REQUIREMENTS. THE SOUTH SIDE OF THIS SUBJECT SITE WILL NOT BE CHANGED. IT IS A PAVED PARKING LOT WITH AN ONSITE POND LOCATED AT THE SW CORNER OF THE PARKING LOT. RUNOFF DEVELOPED ON THE SOUTH SIDE OF THE SITE COLLECTS AT THIS POND WHERE IT PERCOLATES INTO THE SOIL. THIS SCHEME HAS BEEN A SUCCESSFUL METHOD TO HANDLE STORM RUNOFF AND IS PROPOSED FOR THIS NEW DEVELOPMENT OF THE EXISTING OFFICE COMPLEX.

HYDROLOGY CALCULATIONS

PRECIPITATION ZONE 1

DESIGN STORM: (IN)					1hr	6hr	24hr	4day	10day
					1.87	2.20	2.66	3.12	3.67
BASIN I									
DEVELOPED CONDITIONS									
LAND TRTMNT	AREA (ACRE)	AREA %	P6	Q (CFS/AC)	Q (CFS)	V6 (CF)	V24 (CF)	V4DAY (CF)	V10DAY (CF)
A	0.000	0%	0.44	1.29	0.00	0	0	0	0
B	0.009	1%	0.67	2.03	0.02	22	22	22	22
C	0.000	0%	0.99	2.87	0.00	0	0	0	0
D	0.680	99%	1.97	4.37	2.97	4,863	5,998	7,134	8,491
TOTALS	0.689	100%			2.99	4,885	6,020	7,156	8,513
BASIN II									
DEVELOPED CONDITIONS									
LAND TRTMNT	AREA (ACRE)	AREA %	P6	Q (CFS/AC)	Q (CFS)	V6 (CF)	V24 (CF)	V4DAY (CF)	V10DAY (CF)
A	0.000	0%	0.44	1.29	0.00	0	0	0	0
B	0.213	19%	0.67	2.03	0.43	518	518	518	518
C	0.000	0%	0.99	2.87	0.00	0	0	0	0
D	0.929	81%	1.97	4.37	4.06	6,643	8,195	11,297	16,254
TOTALS	1.142	100%			4.49	7,161	8,713	11,815	16,772
BASIN II									
FUTURE CONDITIONS POST 528 WIDENING									
LAND TRTMNT	AREA (ACRE)	AREA %	P6	Q (CFS/AC)	Q (CFS)	V6 (CF)	V24 (CF)	V4DAY (CF)	V10DAY (CF)
A	0.000	0%	0.44	1.29	0.00	0	0	0	0
B	0.094	9%	0.67	2.03	0.19	229	229	229	229
C	0.000	0%	0.99	2.87	0.00	0	0	0	0
D	0.901	91%	1.97	4.37	3.94	6,443	7,948	10,957	15,764
TOTALS	0.995	100%			4.13	6,672	8,176	11,185	15,993

GENERAL NOTES

A CONTRACTOR SHALL VERIFY LOCATION OF EXISTING BELOW GRADE UTILITIES IN THE WORK AREA PRIOR TO EXCAVATION

SHEET KEYNOTES

1 EXISTING ASPHALT PAVING TO REMAIN
2 NEW 3" ASPHALT PAVING
3 EXISTING CURB TO REMAIN
4 EXISTING DRAINAGE OUTLET THRU ADJACENT PROPERTY

LEGEND

PROPERTY LINE
5025 EXISTING CONTOUR
×5025.13 EXISTING SPOT ELEVATION
68.00 / 26 NEW SPOT ELEVATION / NEW CONTOUR
FL FLOWLINE
TC TOP OF CONCRETE
FG FINISHED GRADE
TA TOP OF ASPHALT
FLOW DIRECTION
ROOF DRAIN LOCATION
NEW CONCRETE PAVING
NEW ASPHALT PAVING
BASIN LIMITS
SWALE

BASIS OF ELEVATIONS

ALBUQUERQUE CONTROL SURVEY BENCHMARK "11-A14"
1 3/4" ALUMINUM DISK STAMPED "ACS BM, 11-A14"
PUBLISHED ELEVATION= 5028.040 (NAVD 1988)

BENCHMARK (BM)

PK NAIL WITH ALUMINUM DISK STAMPED "SURVTEK"
ELEVATION = 5025.64 (NAVD88)

LEGAL DESCRIPTION

TRACTS C-6A-1 AND C-6A-2 OF THE REPLAT OF TRACT C-6A OF SEVEN-BAR RANCH, AS THE SAME IS SHOWN AND DESIGNATED ON SAID REPLAT, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON AUGUST 11, 1989, IN VOLUME C39, FOLIO 138.

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Structural Engineering
Civil Engineering
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Albuquerque • New Mexico • 87110
881-3008 • Facsimile 881-4025

CORRALES BUSINESS PARK

SITE PLAN FOR BUILDING PERMIT

CONCEPTUAL GRADING \DRAINAGE PLAN

Prepared For:
528 & Ellison, LLC
6801 Jefferson NE
Albuquerque, NM 87109

Prepared By:
Consensus Planning, Inc.
302 Eighth Street NW
Albuquerque, NM 87102

Dekker Perich Sabatini
7601 Jefferson NE
Albuquerque, NM 87109

Scale: 1" = 20'

NORTH 10 0 20 40

March 19, 2015