

# CITY OF ALBUQUERQUE



October 30, 2017

Christopher Gunning, R.A.  
Dekker Perich Sabatini  
7601 Jefferson NE, Suite 100  
Albuquerque, NM 87109

**Re: 528 Shops, 3611 NM-528 State  
Request for Certificate of Occupancy  
Transportation Development Final Inspection**  
Architect's Stamp dated 12-22-16 (A14-D011)  
Certification dated 10-27-17

Dear Mr. Gunning,

Based upon the information provided in your submittal received 10-27-17, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

If you have any questions, please contact Monica Ortiz at (505) 924-3981 or me at (505)924-3991.

Sincerely,

Racquel M. Michel, P.E.  
Traffic Engineer, Planning Dept.  
Development Review Services

MA/RM            via: email  
C:            CO Clerk, File



# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 11/2016)

Project Title: 528 SHOPS Building Permit #: BP 2016-29051 Hydrology File #: A140011  
DRB#: AA 16AA 10101 PJ# 1010227 EPC#: \_\_\_\_\_ Work Order#: \_\_\_\_\_  
Legal Description: TRACT A, Corrales Business Park  
City Address: CORRALES

Applicant: DEKKER / PERICH / SABANNI Contact: Jim Garton  
Address: 7601 JEFFERSON NE SUITE 100  
Phone#: 505 761-9700 Fax#: 505 761-4222 E-mail: Jim Garton@desdesign.org

Other Contact: \_\_\_\_\_ Contact: \_\_\_\_\_  
Address: \_\_\_\_\_  
Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

Check all that Apply:

### DEPARTMENT:

☐ HYDROLOGY/ DRAINAGE  
☒ TRAFFIC/ TRANSPORTATION

### TYPE OF SUBMITTAL:

☐ ENGINEER/ARCHITECT CERTIFICATION  
☐ CONCEPTUAL G & D PLAN  
☐ GRADING PLAN  
☐ DRAINAGE MASTER PLAN  
☐ DRAINAGE REPORT  
☐ CLOMR/LOMR  
☐ TRAFFIC CIRCULATION LAYOUT (TCL)  
☐ TRAFFIC IMPACT STUDY (TIS)  
☐ OTHER (SPECIFY) \_\_\_\_\_  
☐ PRE-DESIGN MEETING?

### TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

☐ BUILDING PERMIT APPROVAL  
☒ CERTIFICATE OF OCCUPANCY  
☐ PRELIMINARY PLAT APPROVAL  
☐ SITE PLAN FOR SUB'D APPROVAL  
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL  
☐ FINAL PLAT APPROVAL  
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE  
☐ FOUNDATION PERMIT APPROVAL  
☐ GRADING PERMIT APPROVAL  
☐ SO-19 APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ GRADING/ PAD CERTIFICATION  
☐ WORK ORDER APPROVAL  
☐ CLOMR/LOMR

IS THIS A RESUBMITTAL?: ☐ Yes ☒ No

OTHER (SPECIFY) \_\_\_\_\_

DATE SUBMITTED: 10.24.2017

By: JIM GARTON

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_

FEE PAID: \_\_\_\_\_

October 26, 2007

Transportation Development  
Planning Department  
600 2<sup>nd</sup> Street NW  
Albuquerque, NM 87102

Re: Traffic Certification for ~~Legacy 1 @ Journal Center~~ *Shops @ 528*  
~~5161 Lange Ave.~~

To Whom it May Concern:

I, Christopher Gunning, Architect of Record for the project, hereby certify that a representative from Dekker/Perich/Sabatini visited the project site on October 24, 2017 and upon visual inspection found that this project has been constructed in substantial compliance with and in accordance with the design intent of the approved Site Plan for Building Permit BP-2016-29051.

The following exceptions to the approved site development plan were noted:

1. A sidewalk was added on the west end of the building because the slope of the proposed sidewalk was too steep.
2. The bike rack location was moved east and remains in the same landscape island.

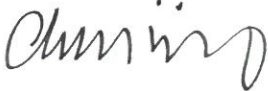
None of these changes affect the design intent of the project or impact the traffic circulation.

This certification is submitted in support of a request for Building Shell - Certification of Completion.

The information presented hereon is only to verify substantial compliance of the traffic aspects of this project. Those relying on the document of record, are advised to obtain independent verification of its accuracy before using it for any other purpose.

Very truly yours,

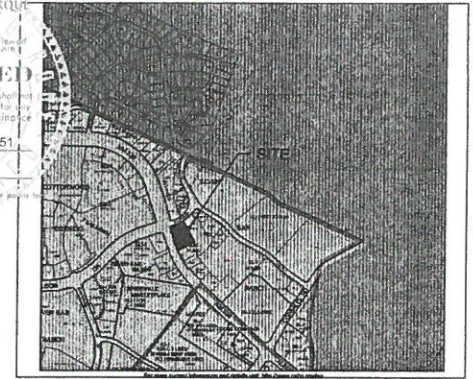
**Dekker/Perich/Sabatini Ltd.**



Christopher Gunning, AIA







## GENERAL NOTES:

1. ALL LIGHTING SHALL COMPLY WITH THE CITY COMPREHENSIVE ZONING CODE, §14-16-3-9 AREA REGULATIONS.
2. ROOF-MOUNTED MECHANICAL EQUIPMENT SHALL BE SCREENED.
3. RAINWATER HARVESTING MEASURES, SUCH AS CURB CUTS, SHALL BE PROVIDED SEE GRADING/DRAINAGE SHEET.
4. ALL SCREENING AND VEGETATION SURROUNDING GROUND MOUNTED TRANSFORMERS AND UTILITY PADS SHALL ALLOW 10 FEET OF CLEARANCE FROM THE EQUIPMENT DOOR AND 5-6 FEET OF CLEARANCE FROM THE REMAINING THREE SIDES FOR SAFE OPERATION, MAINTENANCE, AND REPAIR PURPOSES.
5. PNM COORDINATION: DEVELOPMENT SHALL ABIDE BY ALL CONDITIONS OF TERMS OF UTILITY EASEMENTS PRIOR TO DEVELOPMENT. CONTACT SHALL BE MADE TO PNM'S NEW SERVICE DELIVERY DEPARTMENT TO COORDINATE ELECTRIC SERVICE AND OPTIONS FOR THE LOCATION OF ELECTRIC SERVICE CONNECTION.
6. ALL SIDEWALKS, RAMPS (INCLUDING REQUIRED TRUNCATED DOMES) CURB CUTS, AND CURB AND GUTTER SHALL BE BUILT PER C.O.A. STANDARD DRAWINGS: SIDEWALK (2430), RAMPS (2440), CURB CUTS (2426), CURB AND GUTTER (2417A).
7. CLEAR SIGHT DISTANCE: LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ALLOWED IN THIS AREA (SEE LANDSCAPE PLAN, SHEET 2, FOR SIGHT TRIANGLE).

## SITE DATA:

LEGAL DESCRIPTION: TRACT A, CORRALES BUSINESS PARK  
 SITE AREA: 1.69 ACRES  
 PROPOSED LAND USE: RETAIL AND OFFICE USES AS PERMITTED IN THE SU-1 FOR 1-P USES WHICH ALLOWS PERMISSIVE AND CONDITIONAL USES.

BUILDING AREA: 14,591 GROSS S.F., 14,400 SF NET LEASABLE

MAXIMUM BUILDING HEIGHT: 40 FEET

PARKING: REQUIRED MINIMUM PARKING: 5 SPACE PER 1000 SQUARE FEET

EST. RESTAURANT BUILDING AREA (NOT INCLUDING PATIOS) = 5,600 SF

TOTAL RESTAURANT SEATING ALLOWED (INCLUDING PATIOS) = 212 SEATS

TOTAL RESTAURANT PARKING REQUIRED = 53 SPACES (1 SPACE PER 4 SEATS)

RETAIL AREA = 8,800 SF

RETAIL PARKING REQUIRED = 44 SPACES (1 SPACE PER 200 SF)

TOTAL PARKING REQUIRED = 97 SPACES

TRANSIT REDUCTION = 10% REDUCTION (WITHIN 300' OF BUS ROUTE 98)

TOTAL PARKING REQUIRED WITH TRANSIT REDUCTION = 88 SPACES

TOTAL PARKING PROVIDED = 97 SPACES

COMPACT PARKING ALLOWED = 29

COMPACT PARKING PROVIDED = 19

HANDICAPPED REQUIRED = 4

HANDICAPPED PROVIDED = 4

MOTORCYCLE PARKING REQUIRED = 3

MOTORCYCLE PARKING PROVIDED = 3

BICYCLE REQUIRED = 4

BICYCLE PROVIDED = 5

TRANSIT: BUS ROUTE 98 (WYOMING COMMUTER). THE BUS STOPS ARE LOCATED APPROXIMATELY 850' TO THE EAST.

BICYCLE: ALAMEDA AND ELLISON ARE IDENTIFIED FOR FUTURE BIKE LANES ON THE LONG RANGE BIKE SYSTEM MAP.

## ADMINISTRATIVE AMENDMENT

FILE # 10101 PROJECT # 1010297

REVISIONS AS SHOWN

12-22-2016

APPROVED BY DATE

## C4 GREEN WALL

1/8" = 1'-0"

0 4' 8' 16'

TRACT C-6A-3  
SEVEN BAR RANCH

## B4 ENLARGED PLAN

1/4" = 1'-0"

0 2' 4' 8'

**RECEIVED**  
 OCT 27 2017  
 BY: *ADA Ramp*

# CORRALES BUSINESS PARK

SITE PLAN FOR BUILDING PERMIT

## SITE PLAN

Prepared For:  
 528 & Ellison, LLC  
 6801 Jefferson NE  
 Albuquerque, NM 87109

Scale: 1" = 20'-0"



December 15, 2016

Prepared By:  
 Consensus Planning, Inc.  
 302 Eighth Street NW  
 Albuquerque, NM 87102

Dekker Perich Sabatini  
 7601 Jefferson NE  
 Albuquerque, NM 87109

SHEET 1 OF 5

## EPC CONDITIONS:

1. THE OWNER SHALL ENTER INTO AN AGREEMENT (REVOCABLE PERMIT) WITH THE CITY OF ALBUQUERQUE TO ALLOW THE EXISTING PRIVATE IMPROVEMENTS WITHIN THE ADDITIONAL 18 FEET OF RIGHT-OF-WAY TO REMAIN UNTIL SUCH TIME AS THE CITY OF ALBUQUERQUE IS READY TO PROCEED WITH THE ROADWAY IMPROVEMENTS TO NM HWY. 528. THIS WILL ALLOW THE EXISTING LANDSCAPE, MATURE TREES, AND PARKING SPACES TO REMAIN UNTIL THE NM HWY. 528 ROADWAY IMPROVEMENTS PROJECT IS READY TO BE CONSTRUCTED.
2. THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF THE LANDSCAPING AND ANY OTHER EXISTING PRIVATE IMPROVEMENTS WITHIN THE CITY RIGHT-OF-WAY DURING THIS INTERIM CONDITION.
3. THE SITE DEVELOPMENT PLAN SHALL COMPLY WITH THE GENERAL REGULATIONS OF THE ZONING CODE, THE SUBDIVISION ORDINANCE, AND ALL OTHER APPLICABLE DESIGN REGULATIONS, EXCEPT AS SPECIFICALLY APPROVED BY THE EPC.

