



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

***Planning Department
Transportation Development Services Section***

September 9, 2002

George Nemeth, P.E.,
2600 The American Rd. S.E.,
Suite 100
Albuquerque, NM 87124

Re: Certification Submittal for Final Building Certificate of Occupancy for
Tr. D5A - Dental Office - Bldg. B, [A-14 / D013]
3610 Calle Cuervo N.W.
Engineer's Stamp Dated 09/06/02

Dear Mr. Nemeth:

The TCL / Letter of Certification submitted on September 9, 2002 is sufficient for acceptance by this office for final Certificate of Occupancy (C.O.).

For future Certification submittals, if more than one building--each with a building number or letter designation--is being certified and each building is a separate address, a separate certification package is needed for each building.

Notification has been made to the Building and Safety Section at 924-3306.

If questions, please call 924-3620

Sincerely,

Mike Zamora, Commercial Plan Checker
Development and Building Services
Planning Department

c: Hydrology file
Mike Zamora

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/11/2002)

A-14/D13

PROJECT TITLE: Tract D5-A, Animal Clinic / Dental Office ZONE MAP/DRG. FILE#: A-14

DRB#: _____ EPC#: _____ WORK ORDER #: _____

LEGAL DESCRIPTION: Tract D5-A of Seven Bar Ranch, Buildings A & B

CITY ADDRESS: (Bldg. A) 3600 Calle Cuervo NW and (Bldg. B) 3610 Calle Cuervo NW

ENGINEERING FIRM: Wilson & Company CONTACT: George Nemeth, PE

ADDRESS: 2600 The American Rd. SE, Suite 100 PHONE: (505) 898-8021

CITY, STATE: Rio Rancho, NM ZIP CODE: 87124

OWNER: WESTWOOD REALTY CONTACT: John March

ADDRESS: 3613 NMSR 528, Suite H PHONE: 792-3713

CITY, STATE: Albuquerque, NM ZIP CODE: 87114

ARCHITECT: Huitt-Zollars, Inc. CONTACT: Wayne Connell

ADDRESS: 6501 Americas Pky. NE Suite 550 PHONE: 883-8114

CITY, STATE: Albuquerque, NM ZIP CODE: 87110

SURVEYOR: Surv-Tek, Inc. CONTACT: Russ Hugg, PS

ADDRESS: 5643 Paradise Blvd. NW PHONE: 897-3366

CITY, STATE: Albuquerque, NM ZIP CODE: _____

CONTRACTOR: Richardson & Richardson CONTACT: Mark McEwan

ADDRESS: P.O. Box 36627 PHONE: 881-2268

CITY, STATE: Albuquerque, NM ZIP CODE: 87176

CHECK TYPE OF SUBMITTAL:

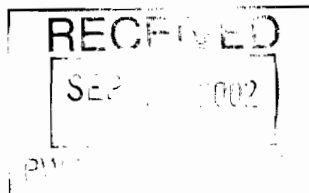
- ☐ DRAINAGE REPORT
☐ DRAINAGE PLAN
☐ CONCEPTUAL GRADING & DRAINAGE PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEERS CERTIFICATION (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☒ ENGINEERS CERTIFICATION (TCL)
☐ ENGINEERS CERTIFICATION (DRB. APPR. SITE PLAN)
☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D. APPROVAL
☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☒ CERTIFICATION OF OCCUPANCY (PERM.)
☐ CERTIFICATION OF OCCUPANCY (TEMP.)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
☐ NO
☐ COPY PROVIDED



Date Submitted: September 9, 2002

By: George Nemeth, PE

GN

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5)
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

2/9/02 - Had called on George, PE, 10/29/02 - Sent in letter (dated 9/9/02) - 10/29/02 - DUGB. 6-998.

WILSON & COMPANY

2600 American Rd. SE, Suite 100
Rio Rancho, NM 87124
505-898-8021
505-898-8501 Fax

Albuquerque
Colorado Springs
Colton
Commerce
Denver
Durango
Houston
Kansas City
Lenexa
Monterrey, Mex.
Oklahoma City
Panama, Pma.
Phoenix
Rio Rancho
Salina
Wichita

September 6, 2002

Mr. Mike Zamora
Planning Department
City of Albuquerque
P.O. Box 1293
Albuquerque, NM 87103

Re.: Tract D5-A, Buildings A & B (A-14 / D013)

Dear Mike:

In response to the comments in your letter dated August 21, 2002, I offer the following.

1. All construction fencing and equipment has been removed from around the site and from the traffic and pedestrian circulation areas.
2. All excess landscape material has been removed from the site and the landscaping installation is complete.
3. There is no construction activity on the outside of the new building as all work is complete.

Also enclosed with this submittal are the following requested documents:

- A copy of the stamped, approved and signed Site Development Plan prepared by Huitt-Zollars, Inc.
- Another copy of the TCL plan with new engineers certification date.

This submittal should now include all the necessary documents needed to obtain a Final C.O. Please let me know if you require any additional information.

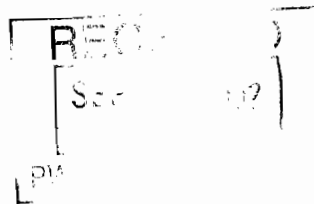
Sincerely,

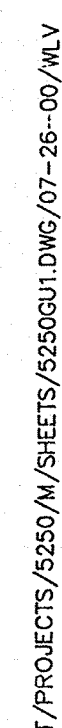


Wilson & Company
George Nemeth, P.E.



Encl.





KEYED NOTES

1. NEW STANDUP CURB TYPICAL
2. NEW SIDEWALK TYPICAL
3. NEW PARKING BUMPER - (B) REQUIRED
4. EXISTING REFUSE CONTAINER SEE DETAIL THIS SHEET (BLDG. A & B)
5. NEW REBORN STYLE BIKE RACK 5 SPACES
6. FIRE LANE FOR FIRE DEPARTMENT ACCESS ONLY, TO BE PAINTED RED AND LABELED "FIRE LANE - NO PARKING" IN 4" HIGH BLOCK LETTERS EVERY 20'-0" ON FACE OF CURB.
7. STANDARD DUTY ASPHALT PAVING TYPICAL
8. ENTRANCE COURTYARD 480 SQ. FT.
9. INDICATES PROPOSED LOCATION OF PNM TRANSFORMER.
10. CONCRETE PATIO - 97.5 SF. PROVIDE WITH TABLE AND MAKE ACCESSIBLE TO EMPLOYEES.
11. MONUMENT SIGN (4) - EXISTING
12. LIGHT POLES (4) - SEE DETAIL THIS SHEET
13. EXISTING 4' WIDE SIDEWALK TO REMAIN
14. PEDESTRIAN ACCESS - SCORED & RAISED SURFACE (EXISTING)
15. EXISTING MEDIAN AND CURB RETURN TO BE REMOVED
16. EXISTING ASPHALT DRIVE TO BE REMOVED
17. EXISTING DRIVEWAY TO BE REMOVED AND REPLACED WITH CURB & GUTTER
18. EXISTING REFUSE ENCLOSURE TO REMAIN
19. PROPOSED SANITARY SEWER CLEANOUT, CONNECT * EXISTING MAINHOLE.
20. PROPOSED WATER METER W/ NEW 1" WATER LINE.
21. NEW 4" CONDUIT FROM 400 AMP TRANSFORMER TO NEW BUILDING.
22. NEW TELEPHONE LINE INTO THE NEW BUILDING

GENERAL NOTES - CITY REQUIRED

- A. THE RESPONSIBLE PARTY MUST RECTIFY ALL UNAPPROVED CONSTRUCTION RESULTING FROM ERRORS ON THE APPROVED SITE PLAN
- B. THIS SITE PLAN HAS BEEN APPROVED AND ACCEPTED BY ALL PARTIES. ANY FIELD CHANGES NOT EXCEPTED BY THE TRAFFIC ENGINEER AFTER APPROVAL WILL RESULT IN:
 - (1) UNLIMITED DELAY OF INITIAL INSPECTION FOR TEMPORARY CERTIFICATE OF OCCUPANCY IN ORDER TO CORRECT UNAPPROVED WORK, AND
 - (2) INCREASE IN CONSTRUCTION COST TO RESPONSIBLE PARTIES.
- C. ALL ASPHALT AND CONCRETE CONSTRUCTION MUST BE 100% COMPLETE BEFORE INITIAL INSPECTION FOR TEMPORARY C.O. WILL BE SCHEDULED.
- D. ALL SIDEWALK AND CURB IN DISCREPANCY WILL BE REMOVED AND REPLACED.
- E. CONSTRUCT CURB RETURNS PER CITY OF ALBUQUERQUE STANDARD DETAILS N. 2426
- F. CONTRACTOR MUST BE MADE AWARE THAT ANY AGREEMENT WITH THE OWNER STATING PORTIONS OF THIS BUILDING PERMIT WORK TO BE COMPLETED BY THE OWNER, OR A REPRESENTATIVE, WILL MEAN CERTIFICATE OF OCCUPANCY WILL NOT BE ISSUED UNTIL ALL WORK IS FINISHED.
- G. CERTIFICATION BY THE DESIGNER OF RECORD, REQUIRED BY THE TRANSPORTATION SECTION, NEEDS TO STATE THAT THIS SITE WAS CONSTRUCTED IN ACCORDANCE WITH THE TRAFFIC CIRCULATION LAYOUT (TCL) BEFORE C.O. IS RELEASED.
- H. ALL EASEMENTS SHOWN ON THIS PLAN ARE EXISTING TO REMAIN.
- I. ALL OFFSITE ELEMENTS ARE EXISTING TO REMAIN UNLESS NOTED OTHERWISE.

PROJECT INFORMATION

LOCATION: SOUTH-WEST CORNER OF ELLISON & CALLE CUERVO NW

DEVELOPER: HERFORD LLC
 LEGAL DESCRIPTION: TRACT D-5A OF SEVEN BAR RANCH WITHIN SECTION 5, TOWNSHIP 1 NORTH, RANGE 3 EAST NMPM, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NM
 CURRENT ZONING: SUH FOR P USES
 PROPOSED: SAME
 TOTAL ACRES: 19564 ACRES
 ZONING ATLAS PAGE: A-14-Z

CASE NUMBER: Z - 01500-1789 / 1000487

THIS PLAN IS CONSISTENT WITH THE SPECIFIC SITE DEVELOPMENT PLAN APPROVAL BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC) ON AUG. 23, 2001 - 002800936 AND THAT THE FINDINGS AND CONDITIONS IN THE OFFICIAL NOTICE OF DECISION HAVE BEEN COMPLIED WITH

SITE DEVELOPMENT PLAN

TRAFFIC ENGINEER, TRANSPORTATION DIVISION
 PUBLIC RECREATION DEPARTMENT
 PUBLIC WORKS, WATER UTILITIES DIVISION
 CITY ENGINEER, ENGINEERING DIVISION AMAFCA
 CITY PLANNER, ALBUQUERQUE

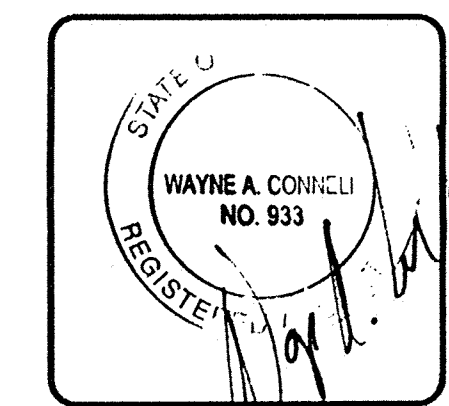
APPROVAL AND CONDITIONAL ACCEPTANCE AS SPECIFIED BY THE DEVELOPMENT PROCESS MANUAL

RADIUS LEGEND

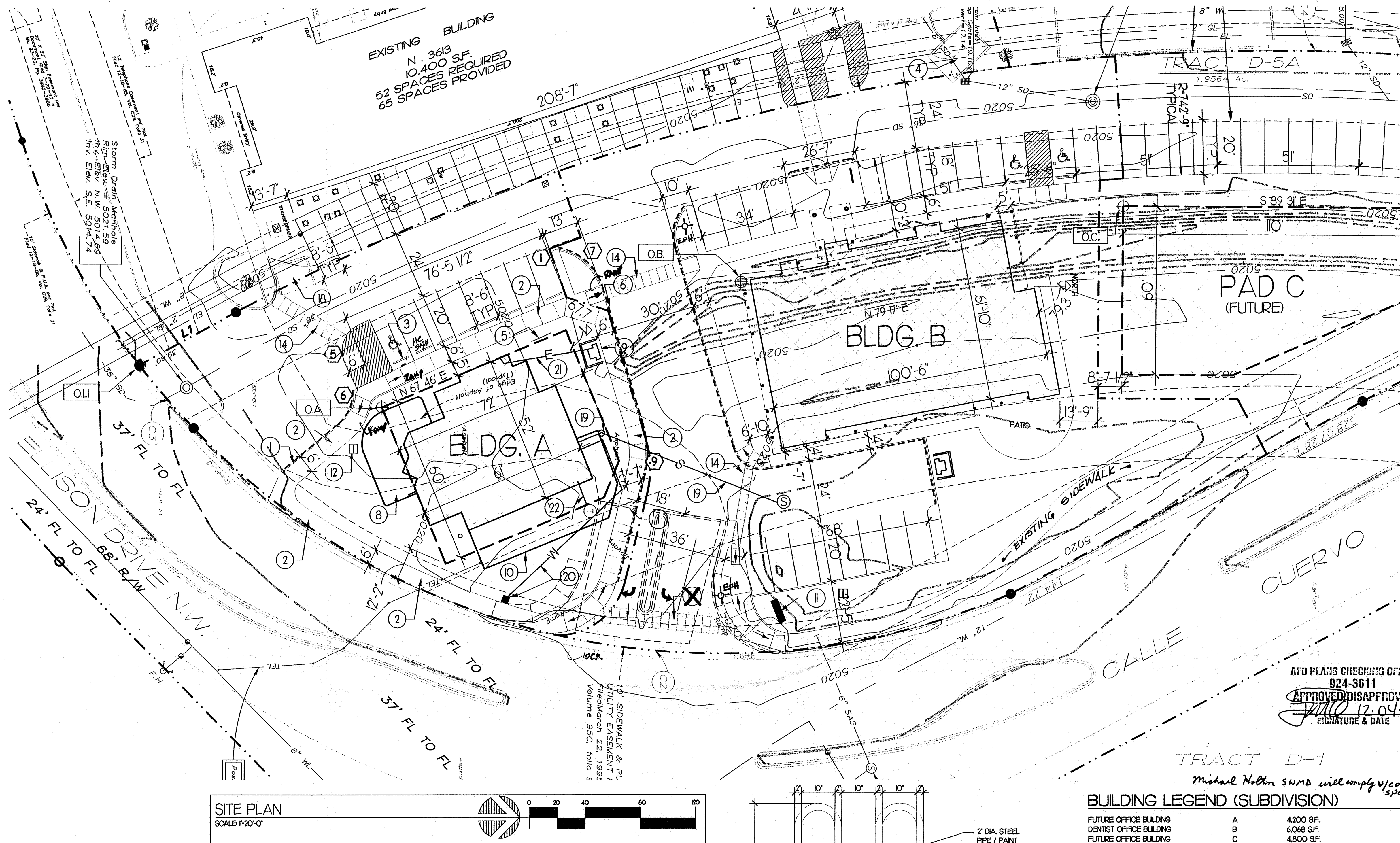
- | | | | |
|---------------|----------------|----------------|------------------|
| (1) 2' RADIUS | (4) 5' RADIUS | (7) 20' RADIUS | (10) 50' RADIUS |
| (2) 3' RADIUS | (5) 10' RADIUS | (8) 25' RADIUS | (11) 100' RADIUS |
| (3) 4' RADIUS | (6) 15' RADIUS | (9) 35' RADIUS | (12) 150' RADIUS |

DATE: 12/2/01
 DRAWN: WC
 PROJ NO. 14018301

SHEET: C1

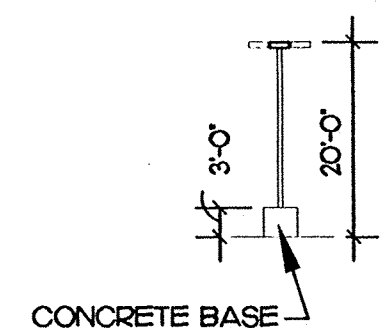


HUITT-ZOLIARS
 Huitt-Zollars, Inc.
 ARCHITECTURE/ENGINEERING/PLANNING
 6501 AMERICAS PARKWAY NE
 SUITE 550
 ALBUQUERQUE
 NEW MEXICO
 87110
 PHONE (505)-883-8114
 FAX (505)-883-5022



SITE PLAN
 SCALE 1"=20'-0"

FIXTURE TO BE DOWN
 LIGHTING SHADE BOX
 STYLE, PROVIDE 4
 • EACH POLE



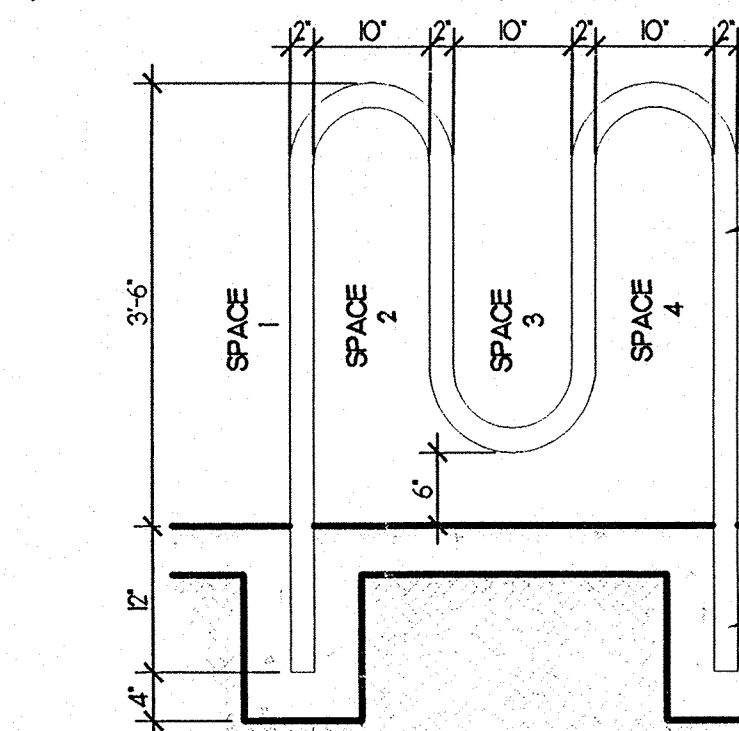
EXISTING POLE LIGHT DETAIL

BUILDING LEGEND (BUILDING "A")

VETERINARY OFFICE BUILDING 2,672 SF. • 1528 SF. (FUTURE) • 4,200 SF.
 PARKING REQUIRED: OFFICE • 1 PER 200 SF. • 21 SPACES (4 HC. SPACES)
 PARKING PROVIDED: 21 SPACES (4 HC. SPACES)
 BICYCLE PARKING: 4 SPACES NEEDED / 5 SPACES PROVIDED
 LANDSCAPING REQUIRED: BLDG. "A" SITE - 26,00 SF. • 4,200 SF. (BUILDING AREA) • 2,800 NET LOT AREA • 15 • 10,527 SF.
 LANDSCAPING PROVIDED: • 6,600 SF.

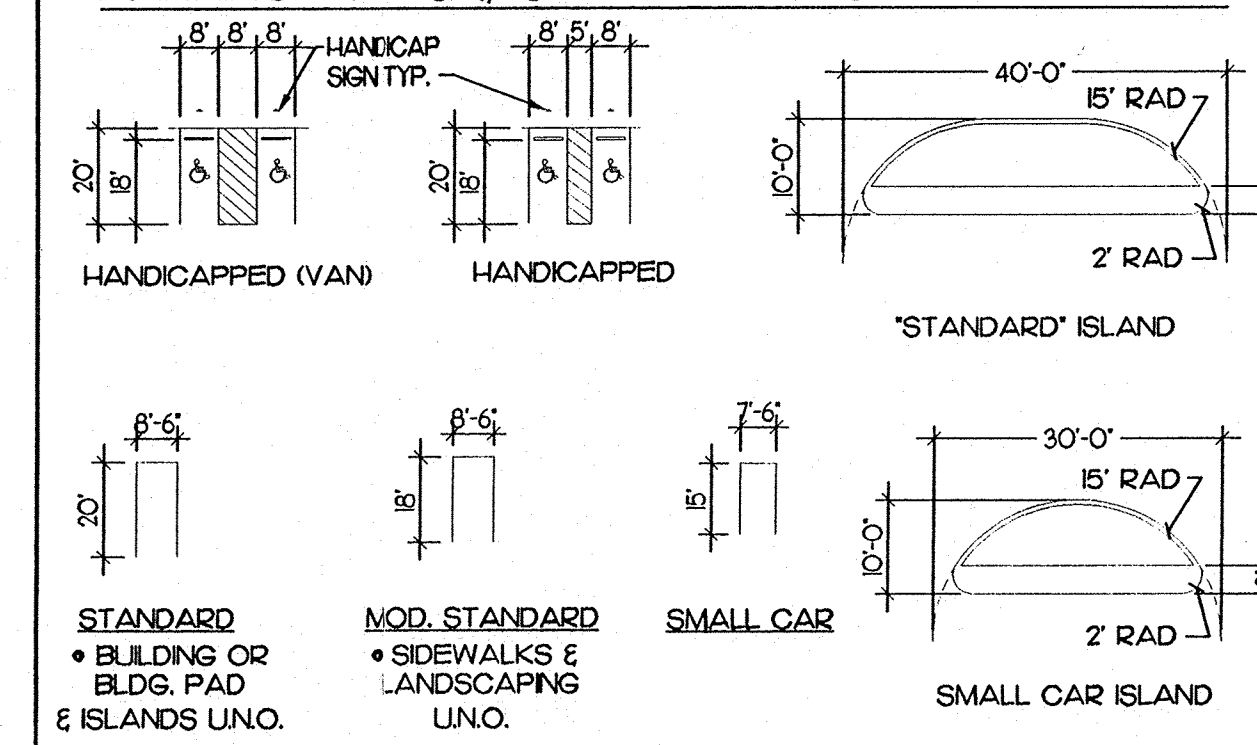
EPC CONDITIONAL NOTES

- PER THE OFFICIAL NOTIFICATION OF DECISION FROM THE EPC FILE# 00028 00000 00574/0028 00000 00575, THE FOLLOWING CONDITIONS SHALL BE ADHERED TO:
1. PADS "A" AND "C" SHALL GO BEFORE EPC AND SHALL CLOSELY INTEGRATE WITH PAD "B'S" DEVELOPMENT.
 2. THE TOP OF PARAPET AND SCREEN WALLS SHALL BE GREATER THEN THE TOP OF ALL HVAC EQUIPMENT.
 3. THERE SHALL BE A 10' OFFSET FROM FACE OF CURB TO FACE FRONT OF BUILDINGS TO MAINTAIN A MINIMUM 6' CLEAR SIDEWALK AND PROVIDE EITHER TREES AT 25' ON CENTER IN 5X5 PLANTERS, A PORTAL OR AWNINGS WITH A CLEAR 6' PATHWAY.
 4. NO GENERIC FRANCHISE ELEVATION ARCHITECTURE SHALL BE PERMITTED.
 5. NO PLASTIC OR VINYL AWNINGS AND FASCIAS SHALL BE PERMITTED.
 6. NO UNCONCEALED CELL TOWERS SHALL BE PERMITTED.
 7. SIGNAGE SHALL BE LIMITED TO 1 MONUMENT SIGN THIS IS A MAXIMUM OF 10' TALL, WITH A FACE AREA OF 50 SQUARE FEET MAXIMUM. BUILDING SIGNAGE SHALL BE RESTRICTED TO A MAXIMUM OF 6% OF THE FACE TO WHICH IT IS APPLIED, WITH A MAXIMUM LETTER HEIGHT OF 2" AND LETTERING SHALL BE INTERNALLY LIT CHANNELLED LETTERS.



2 BICYCLE RACK
 SCALE 3/4"=1'-0"

PARKING TYPES & ISLAND DETAILS



BUILDING LEGEND (SUBDIVISION)	
FUTURE OFFICE BUILDING	A 4,200 SF.
DENTIST OFFICE BUILDING	B 6,068 SF.
FUTURE OFFICE BUILDING	C 4,800 SF.
TOTAL	15,068 SF.

PARKING REQUIRED: OFFICE • 1 PER 200 SF. • 76 SPACES (4 HC. SPACES)

PARKING PROVIDED: 76 SPACES (5 HC. SPACES)

BICYCLE PARKING: 4 SPACES NEEDED / 5 SPACES PROVIDED

LANDSCAPING REQUIRED: TOTAL SITE - 85,248.83 SF. • 15,068 SF. (BUILDING AREA) • 70,448.83 NET LOT AREA • 15 • 10,527 SF.

LANDSCAPING PROVIDED: • 6,600 SF.

LEGEND:

- | | |
|---------------------------|---|
| Underground Utility = | ■ |
| Pedestal | ■ |
| Water Meter = | ■ |
| Light Pole = | ■ |
| Drop Inlet = | ■ |
| Transformer = | ■ |
| Tree = | ■ |
| Water Valve = | • |
| Traffic Signal Box = | ■ |
| Sprinkler Control Box = | ■ |
| Electric Box = | • |
| Traffic Signal = | ■ |
| Clean Out = | • |
| Storm Drain Man Hole = | ⊙ |
| Sanitary Sewer Man Hole = | ⊙ |