

CITY OF ALBUQUERQUE



March 7, 2007

William Ware, R.A.
Ware Architecture
1444 Oak Lawn Ave., Suite 406
Dallas, TX 75206

**Re: Cottonwood Commons, 3601 Old Airport Road NW,
Certificate of Occupancy (A14-D18)
Certification dated 3-01-07**

Dear Mr. Ware,

Based upon the information provided in your submittal received 3-07-07, the above referenced certification is approved for release of Permanent Certificate of Occupancy by Transportation Development.

If you have any questions, you can contact me at 924-3981.

Sincerely,

Kristal D. Metro, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

C: CO Clerk
File

P.O. Box 1293

Albuquerque

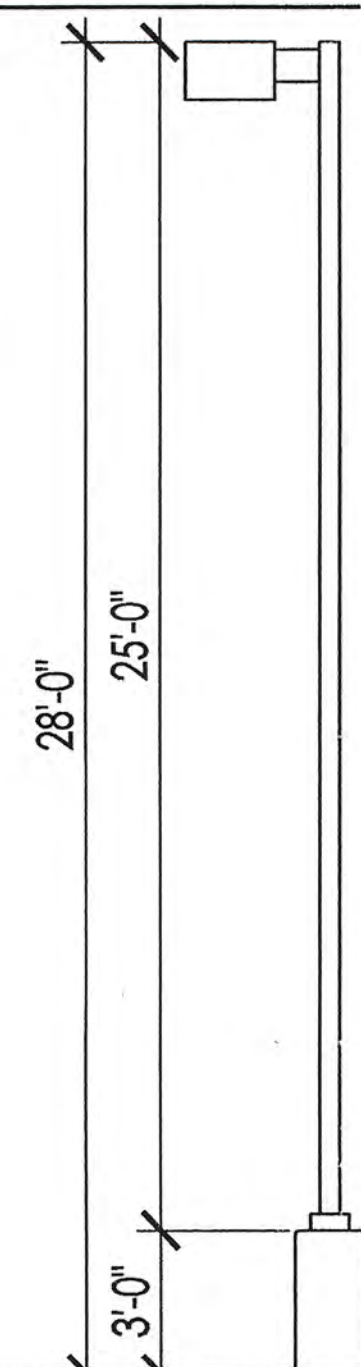
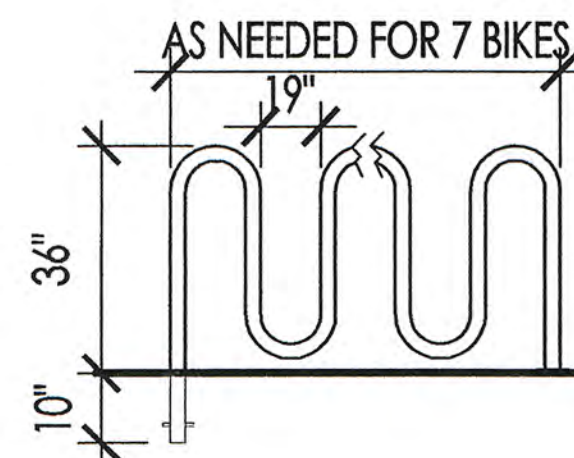
New Mexico 87103

www.cabq.gov

ADMINISTRATIVE AMENDMENT
File #066A-0183 Project # 1001275
Modification to west parking
area and new access to
Old Airport Rd.
APPROVED BY: *[Signature]* DATE: 2 February

LOADING AND TRASH ENCLOSURE ELEVATIONS
ARE SHOWN ON SHEET 4. SCREENING OF THESE
AREAS HAS BEEN INTEGRATED INTO THE
BUILDING STRUCTURE WHEN POSSIBLE.

BICYCLE RACK LIGHT POLE



SPECIFICATIONS

GENERAL DESCRIPTION: Each EMCO Ecolume is a sharp cutoff luminaire for high intensity discharge lamps. Internal components are totally enclosed, rain-tight, dust-tight, and corrosion resistant. No venting of the optical system or electrical components is required or permitted. Lamping requires no fitting or wiring of the luminaire housing, disturbing wiring or exposing unsheathed live parts.

HOUSING: The housing is one-piece die-cast aluminum. The housing has an integral reinforcing spine and no welded corners. Silicone seals provide a weathertight seal at all points of material transition.

LENS: A molded, extruded aluminum door frame retains the optically clear, heat and impact resistant tempered flat glass in a sealed manner using hollow section, high compliance, memory retentive extruded silicone rubber. A non-yellowing drop style lens is provided standard on 14" and 15" vertical lamp and a snap glass lens is provided on 23" vertical lamp luminaires. A single flush 1/4 turn captive fastener permits easy access to the luminaire.

ELECTRICAL: Each high power factor ballast is the separate component type, capable of providing reliable lamp starting down to -20°F. The ballast is mounted on a unitized tray and secured within the luminaire, above the reflector system. Component to component wiring within the luminaire will carry no more than 80% of rated current and is listed by UL for use at 600 VAC at 150°C or higher. Plug disconnects are listed by UL for use at 600 VAC, 15A or higher.

FINISH: Each luminaire receives a fade and abrasion resistant, electrostatically applied, thermally-cured polyester powder finish after fabrication.

LABELS: All fixtures bear UL or CUL (where applicable) Wet Location labels.

DIMENSIONS

Ecolume EPA (Effective Projected Area) Ft²

Single Arm	Twins 180°	Quad	Single Fixture Weight
14" units	1.1	2.2	2.7
15" units	1.9	3.8	4.9
23" units	3.6	7.3	8.8

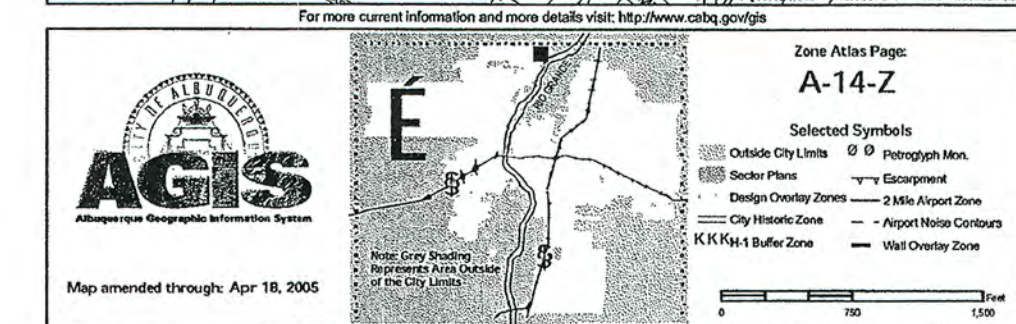
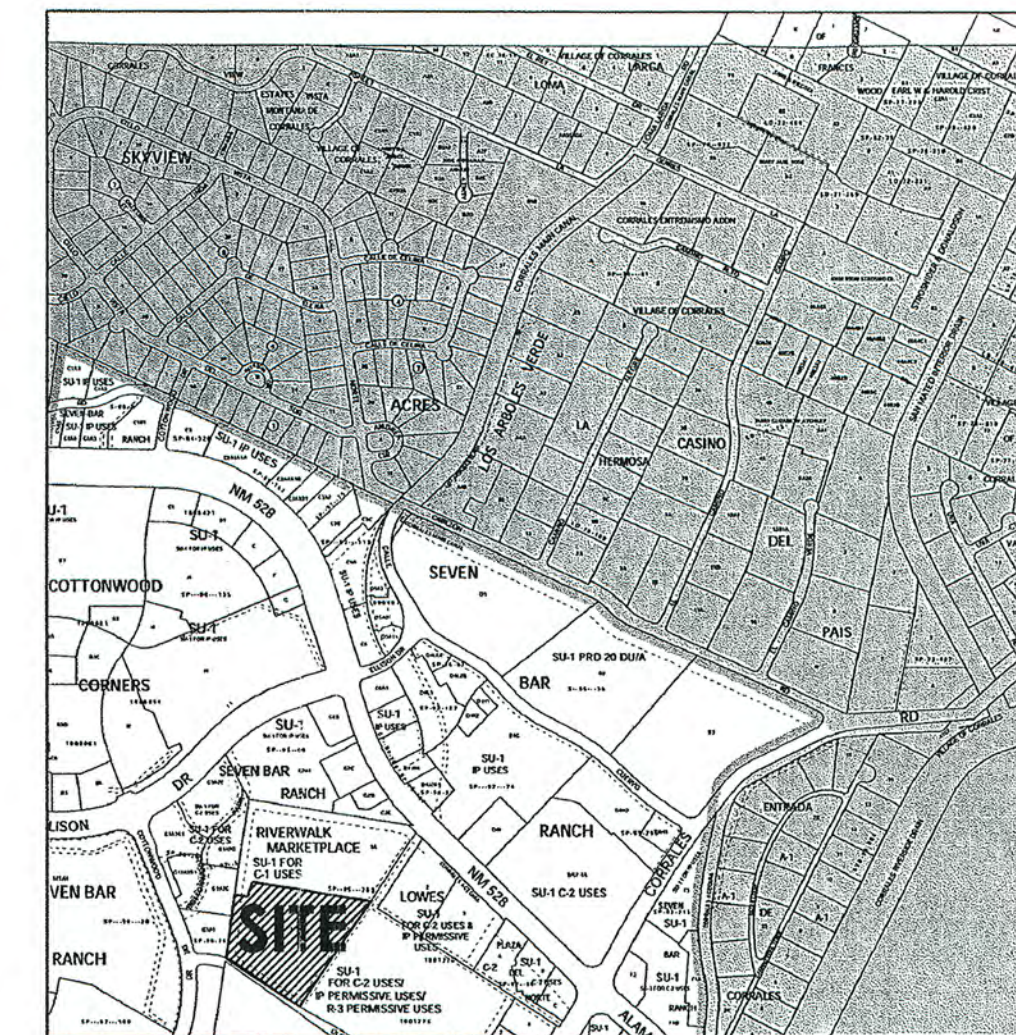
WALL MOUNT

ECW14	ECW15	ECW23
A 14" sq	15" sq	18" sq
B 7"	10"	14.5"
C 8"	11"	15"

ARM MOUNT

EDA14	EDA15	EDA23
A 14" sq	15" sq	18" sq
B 7"	10"	14.5"
C Arm Length	6"	10"
D Arm Height	6"	10"
E Drop Lens	2"	4"

EMCO Lighting reserves the right to change materials or modify the design of its product without notification or part of the customer's continuing product improvement program.



SITE DATA

ZONING INFORMATION:

SU-1 FOR
C-2 USES/IP PERMISSIVE USES/R-3 PERMISSIVE USES

SITE AREA: 8.1369 AC 354,446 SF

BUILDING AREA:

RETAIL "A"	28,000 SF
RETAIL "B"	18,300 SF
RETAIL "C"	15,500 SF
RETAIL "D"	5000 SF
RETAIL "E"	4268 SF
RETAIL "F"	13,447 SF
TOTAL BUILDING AREA	84,515 SF

REQ'D PARKING BY CITY:

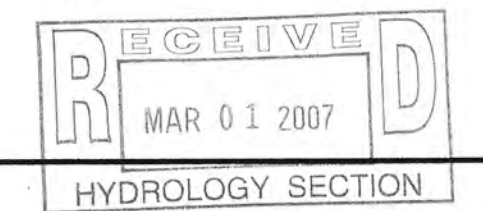
RETAIL	FIRST 15,000/200 = 75 SP
	NEXT 45,000/250 = 180 SP
	FINAL 24,515/300 = 82 SP
	RETAIL TOTAL = 337 SP

TOTAL PARKING REQUIRED BY CITY	337 SP
TOTAL PARKING PROVIDED	349 SP

HC PARKING REQ'D	12 SP
HC PARKING PROVIDED	14 SP

BICYCLE PARKING REQUIRED	20 SP
BICYCLE PARKING PROVIDED	(3 x 7) = 21 SP

MOTORCYCLE PARKING REQUIRED	0 SP
MOTORCYCLE PARKING PROVIDED	8 SP



SITE PLAN

1" = 50'-0"



Landscape Architecture
Urban Design
Planning Services

302 EIGHTH ST. NW
Albuquerque, NM 87102
Phone (505) 764-9801
Fax (505) 842-5495

REVISIONS	Description	Date
1		
2		
3		
4		
5		
6		
7		
8		
9		
10		

Project Name: COTTONWOOD COMMONS
TEAM RETAIL COTTONWOOD, LTD.

Landscape Architect's Seal:

Designed By: BRIAN
Drawn By: BRIAN
Checked By: BRIAN

Date: 11.7.2006

Project No: 04.031

Sheet Title:

SITE-PLAN

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