



# City of Albuquerque

Planning Department  
Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

**Project Title:** Dutch Brothers Coffee **Building Permit #:** \_\_\_\_\_ **Hydrology File #:** \_\_\_\_\_

**DRB#:** \_\_\_\_\_ **EPC#:** \_\_\_\_\_ **Work Order#:** \_\_\_\_\_

**Legal Description:** Tract C-4-A Plat of Tracts C3A, C3B, C3C, and C4A Seven Bar Ranch Cont. 1.9900 AC M/L OR 86,684 SQ Ft M/L

**City Address:** 3615 Hwy 528 Albuquerque NM 87114

**Applicant:** Tierra West, LLC **Contact:** Luis Noriega

**Address:** 5571 Midway Park NE Albuquerque NM 87109

**Phone#:** 505-858-3100 **Fax#:** 505-858-1118 **E-mail:** lnoriega@tierrawestllc.com

**Other Contact:** \_\_\_\_\_ **Contact:** \_\_\_\_\_

**Address:** \_\_\_\_\_

**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

**TYPE OF DEVELOPMENT:** \_\_\_\_\_ PLAT (# of lots) \_\_\_\_\_ RESIDENCE \_\_\_\_\_ DRB SITE ☒ ADMIN SITE

IS THIS A RESUBMITTAL? ☒ Yes \_\_\_\_\_ No

**DEPARTMENT** ☒ TRANSPORTATION \_\_\_\_\_ HYDROLOGY/DRAINAGE

Check all that Apply:

### TYPE OF SUBMITTAL:

- ☐ ENGINEER/ARCHITECT CERTIFICATION
- ☐ PAD CERTIFICATION
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE MASTER PLAN
- ☐ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- ☐ ELEVATION CERTIFICATE
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ TRAFFIC IMPACT STUDY (TIS)
- ☐ STREET LIGHT LAYOUT
- ☐ OTHER (SPECIFY) \_\_\_\_\_
- ☐ PRE-DESIGN MEETING?

### TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY
- ☐ PRELIMINARY PLAT APPROVAL
- ☒ SITE PLAN FOR SUB'D APPROVAL
- ☒ SITE PLAN FOR BLDG. PERMIT APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ SO-19 APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ GRADING/ PAD CERTIFICATION
- ☐ WORK ORDER APPROVAL
- ☐ CLOMR/LOMR
- ☐ FLOODPLAIN DEVELOPMENT PERMIT
- ☐ OTHER (SPECIFY) \_\_\_\_\_

**DATE SUBMITTED:** 3/1/21 **By:** Luis Noriega

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_

FEE PAID: \_\_\_\_\_



# TIERRA WEST, LLC

March 1, 2021

Mr. Matt Grush, P.E., PTOE  
City of Albuquerque  
PO BOX 1293  
Albuquerque, NM 87103

**RE: DUTCH BROTHERS COFFEE  
3615 NM 528  
TRAFFIC CIRCULATION LAYOUT**

Dear Mr. Grush:

Per the correspondence dated February 16, 2020 please find the following responses addressing the comments listed below:

1. Provide a Traffic Scoping Form or approved Traffic Impact Study for the development.  
**Response: See supplemental document page 1-2**
2. Provide shared access agreement for the adjacent property and share use agreement for the driveway on NM 528.  
**Response: See supplemental document page 5-6, plat documents the existing access easements (Easement # 1 and 13).**
3. Fire and emergency access: Provision for access by fire and emergency vehicles needs to be in accordance with the Albuquerque Fire Plan Checking Division. Provide approval from the Fire Marshall.  
**Response: See supplemental document page 7, Fire 1 approved on 9/22/2020**
4. Suggested sidewalk and ramp alignment on attached drawing.  
**Response: See updated TCL plan sheet C1**

If you have any questions or need additional information regarding this matter, please do not hesitate to contact me.

Sincerely,

Ronald R. Bohannon, P.E

JN: 2020091  
RRB/ln/ye

5571 Midway Park Pl. NE  
Albuquerque, NM 87109  
(505) 858-3100 fax (505) 858-1118 1-800-245-3102  
tierrawestllc.com

# CITY OF ALBUQUERQUE

Planning Department  
Brennon Williams, Director



Mayor Timothy M. Keller

February 16, 2021

Luis Noriega  
Tierra West, LLC  
5571 Midway Park NE  
Albuquerque, NM 87109

Re: **Dutch Brothers Coffee**  
**3615 NM 528**  
**Traffic Circulation Layout**  
Architect's Stamp date 2/09/2021 (A14D019)  
Via email lnoriega@tierrawestllc.com

Dear Mr. Noriega,

Based upon the information provided in your submittal received 2/11/2021, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. Provide a Traffic Scoping Form or approved Traffic Impact Study for the development.
2. Provide shared access agreement for the adjacent property and share use agreement for the driveway on NM 528.
3. Fire and emergency access: Provision for access by fire and emergency vehicles needs to be in accordance with the Albuquerque Fire Plan Checking Division. Provide approval from the Fire Marshall.
4. Suggested sidewalk and ramp alignment on attached drawing.

After corrections are complete resubmit for log in and evaluation by Transportation.

1. The Traffic Circulation Layout
2. A Drainage Transportation Information Sheet (DTIS)
3. Send an electronic copy of your submittal to PLNDRS@cabq.gov.
4. The \$75 re-submittal fee.

If you have any questions, please contact me at (505) 924-3362.

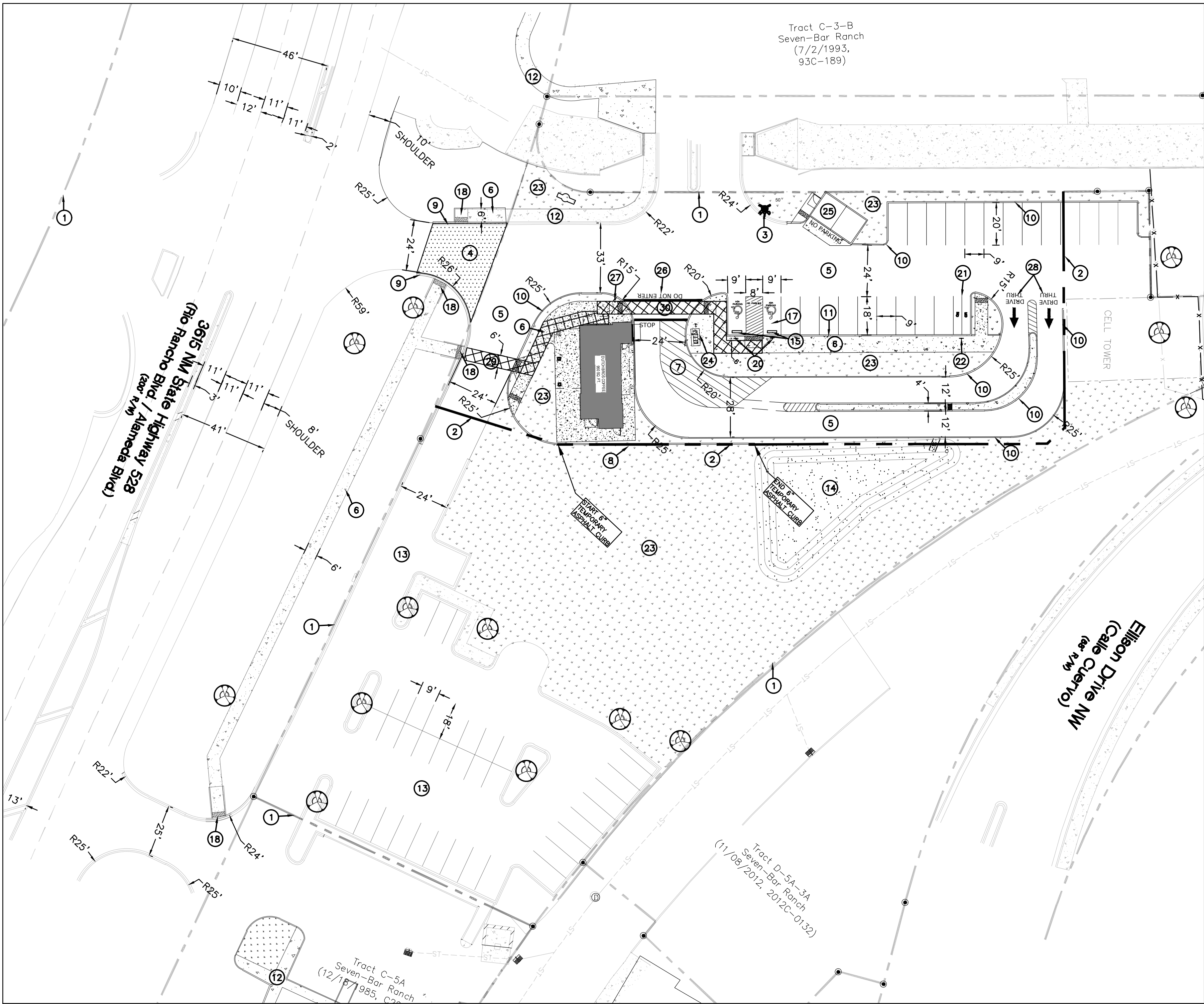
Sincerely,

Matt Grush, P.E., PTOE  
Senior Engineer, Planning Dept.  
Development Review Services

C: CO Clerk, File



\\TWNAS\Z\_Drive\2014\2014069-Julian Garza Properties\dwg\PRE\NM-528 and Ellison Drive NW\A-14-A.dwg Feb 24, 2021 1:52pm



**SITE DATA**

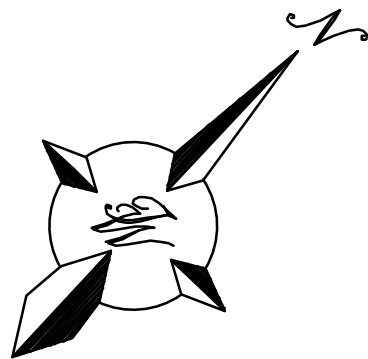
**DUTCH BROTHERS COFFEE**  
IDO ZONING: NR-BP  
PROPOSED USAGE: DRIVE THRU RESTAURANT  
LOT AREA: 32,670 SF (0.75 ACRE)  
BUILDING AREA: 950 SF  
PARKING: SPACES REQUIRED: 8  
(8 SPACES/ 1,000 SF)  
PARKING: SPACES PROVIDED: 20  
(INCLUDES HC PARKING)  
HC PARKING: SPACES REQUIRED: 2  
HC PARKING: SPACES PROVIDED: 2  
(1 VAN ACCESSIBLE)  
MC PARKING: SPACES REQUIRED: 1  
(1 PER 1-25 REQUIRED PARKING SPACES)  
MC PARKING: SPACES PROVIDED: 2  
BICYCLE PARKING: SPACES REQUIRED: 3  
(3 SPACES OR 10% OF REQUIRED PARKING)  
BICYCLE PARKING: SPACES PROVIDED: 4  
LANDSCAPE AREA PROVIDED: 5000 SF (15.2%)

**LEGEND**

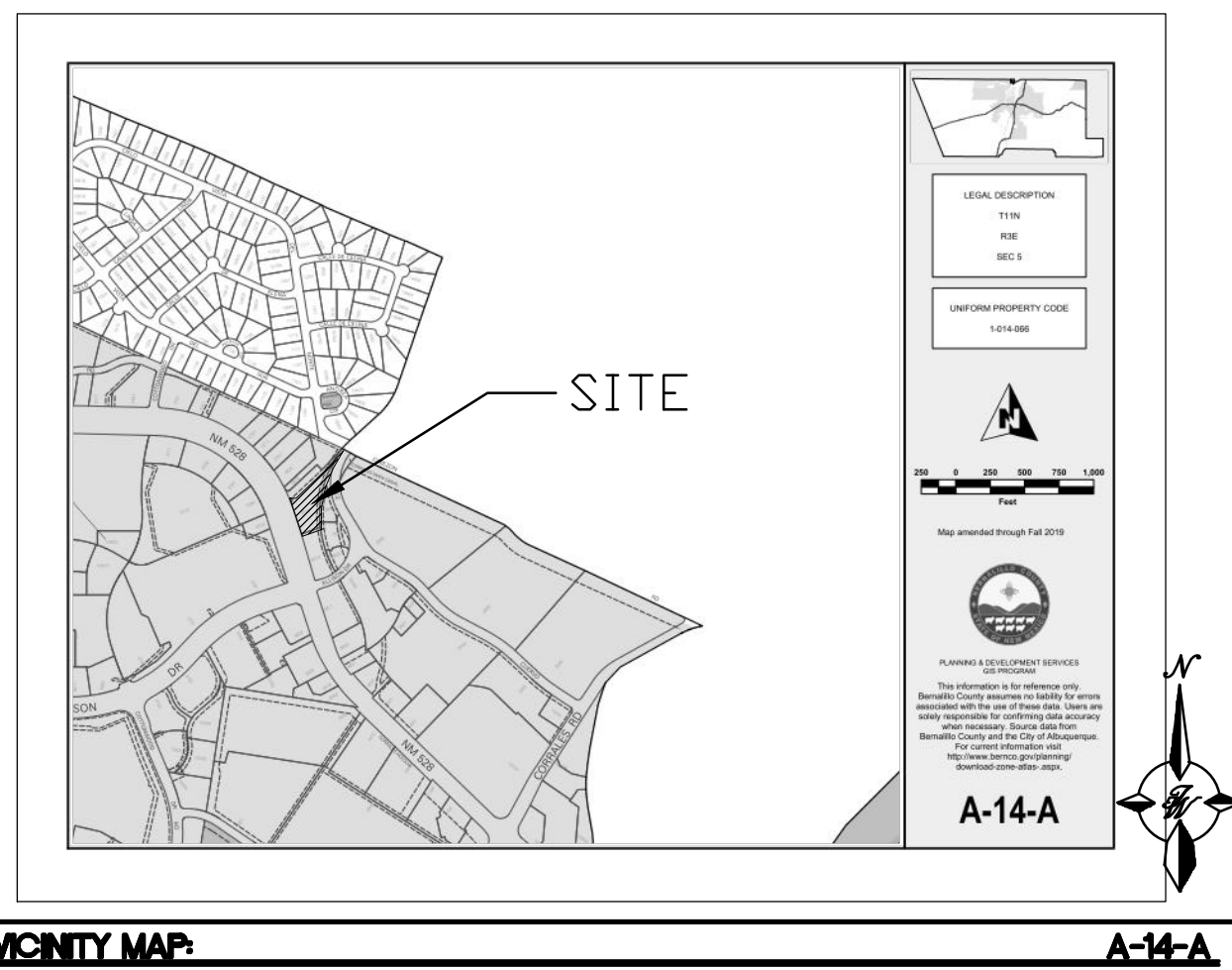
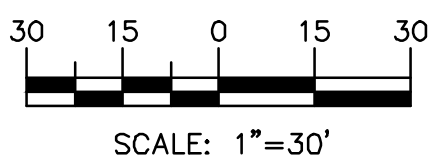
- CURB & GUTTER
- PROPOSED BOUNDARY LINE
- PROPOSED BUILDING
- SIDEWALK
- LANDSCAPING
- EXISTING PROPERTY LINE
- EXISTING BUILDING
- EXISTING SIDEWALK
- EXISTING CURB & GUTTER
- EXISTING LANE STRIPING
- EXISTING RETAINING WALL
- EXISTING HYDRANT
- EXISTING TREES TO REMAIN (TYP)
- EXISTING SD INLET

**KEYED NOTES**

- EXISTING PROPERTY LINE
- PROPOSED PROPERTY LINE
- EXISTING FIRE HYDRANT
- ASPHALT PAVEMENT PER COA REQUIREMENTS
- SITE ASPHALT PAVEMENT (SEE DETAIL, SHEET C2)
- SIDEWALK PER COA STD DWG #2430 (SEE DETAIL, SHEET C2)
- STRIPING
- TEMPORARY ASPHALT 6" C & G PER COA STD DWG #2415C
- STD 6" CURB AND GUTTER PER COA STD DWG #2415A
- 6" PRIVATE CURB SEE DETAIL, CHEET C2)
- 6" CONCRETE TURN DOWN CURB (SEE DETAIL, SHEET C2)
- EXISTING SIDEWALK
- EXISTING PAVEMENT TO REMAIN
- PROPOSED DRAINAGE POND
- WHEEL STOP (SEE DETAIL, SHEET C2)
- NOT USED
- ADA PARKING PER ADA REQUIREMENTS (SEE DETAIL, SHEET C2)
- ADA PARALLEL CURB RAMP PER COA CURRENT STANDARDS #2443 AND SHALL HAVE TRUNCATED DOMES INSTALLED (SEE DETAIL, SHEET C3)
- NOT USED
- ADA NO PARKING SIGN (SEE DETAIL, SHEET C2)
- MOTORCYCLE PARKING ADD PAINT LABEL PER COA CODE
- MOTORCYCLE PARKING SIGN (SEE DETAIL, SHEET C3)
- LANDSCAPE AREA
- BIKE RACK (SEE DETAIL, SHEET C3)
- DUMPSTER (SEE DETAIL, SHEET C3)
- "DO NOT ENTER" STRIPING (SEE DETAIL, SHEET C4)
- "DO NOT ENTER" SIGNAGE (SEE DETAIL, SHEET C4)
- "DRIVE THRU" TRAFFIC ARROWS (SEE DETAIL, SHEET C4)
- PUBLIC ADA ACCESSIBLE PATHWAY
- PRIVATE ADA ACCESSIBLE PATHWAY



**GRAPHIC SCALE**



**LEGAL DESCRIPTION**

TRACT C-4-A PLAT OF TRACTS C3A C3B C3C AND C4A SEVEN BAR RANCH CONT 1.9000 AC M/L OR 86,684 SQ FT M/L

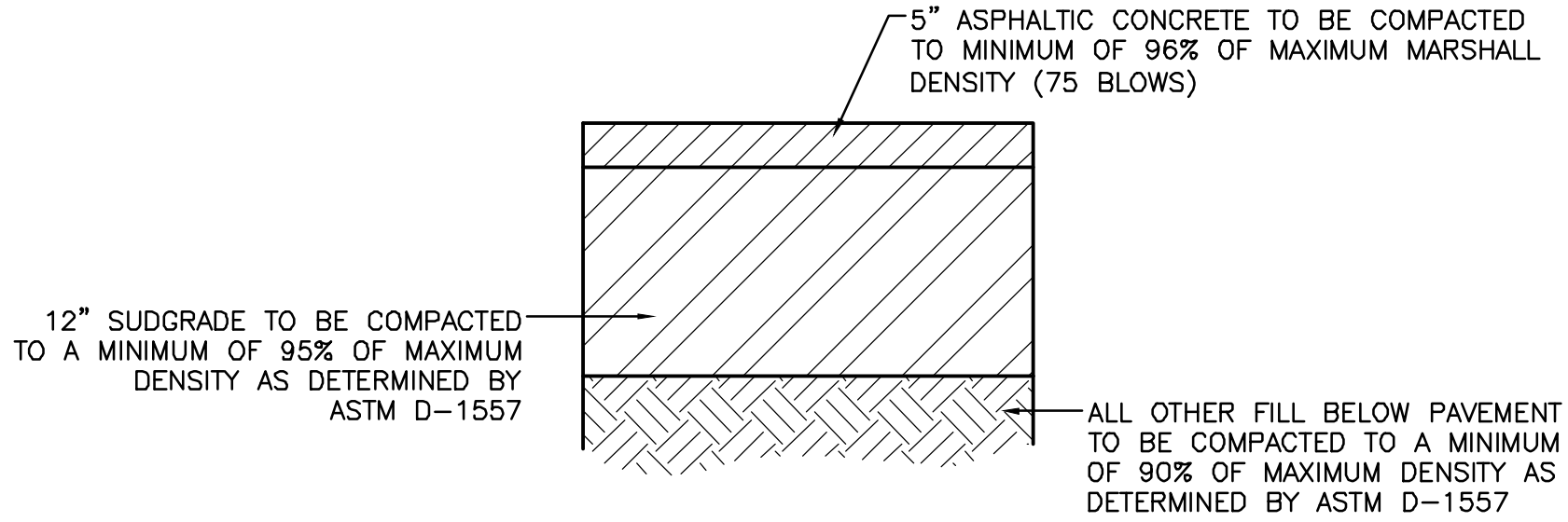
**NOTES**

- LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE
- ALL SIGNS TO BE COVERED WITH ANTI GRAFFITI COATING.
- ALL SIGNS AND STRIPING SHALL BE MADE IN ACCORDANCE WITH THE MUTCD (CURRENT EDITION) SPECIFICATIONS AND COA STANDARDS.
- ALL SYMBOLS AND ARROWS STRIPING TO BE PREFORMED HOT APPLIED THERMOPLASTIC TAPE.
- ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST BE INCLUDED ON THE WORK ORDER
- ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK AND CURB AND GUTTER PER COA STANDARDS

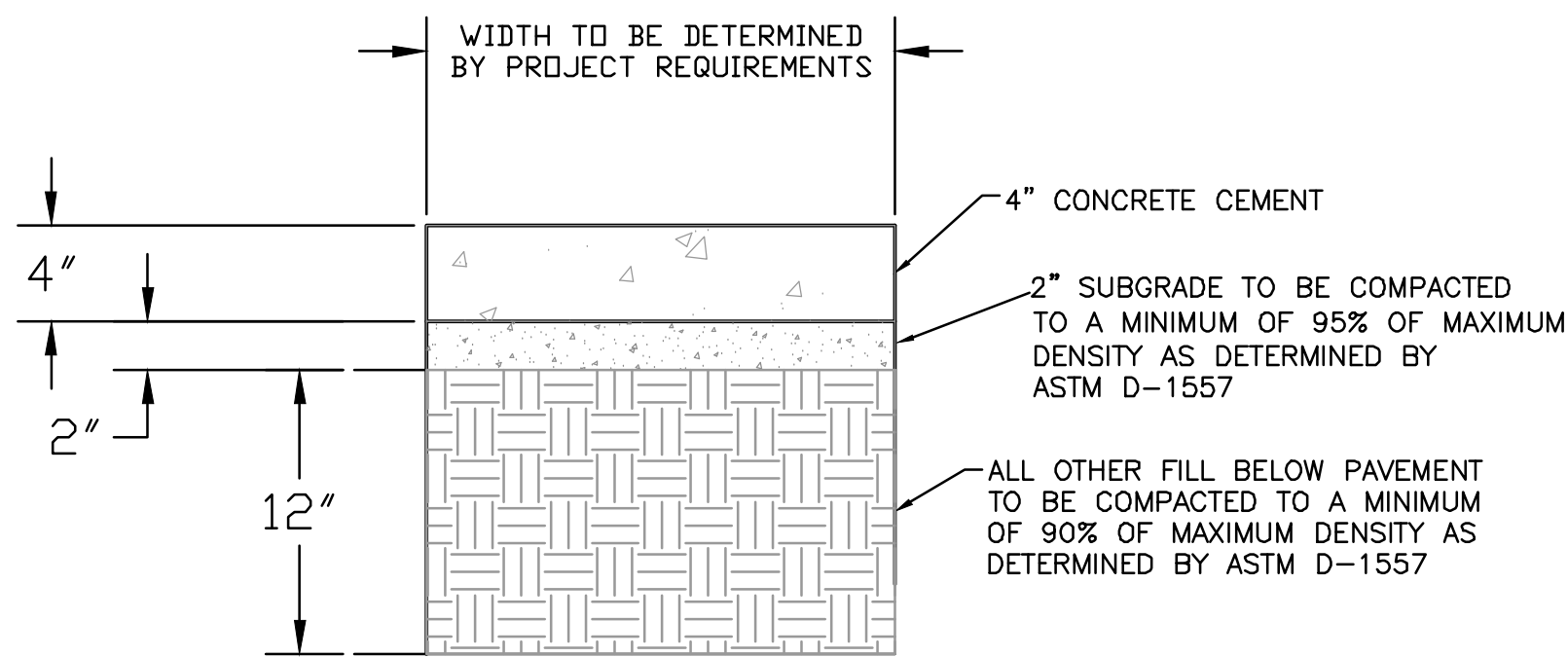
**PRELIMINARY  
NOT FOR CONSTRUCTION**

|   |   |                        |
|---|---|------------------------|
| <div>ENGINEER'S SEAL</div> <div></div> <div>RONALD R. BOHANNAN<br/>P.E. #7868</div> | <b>DUTCH BRO'S</b><br>3615 NM 528, ABO  | DRAWN BY<br>LN         |
|   | <b>TRAFFIC CIRCULATION<br/>LAYOUT</b>   | DATE<br>2/24/2021      |
|   | <b>TIERRA WEST, LLC</b><br>5571 MIDWAY PARK PL NE<br>ALBUQUERQUE, NEW MEXICO 87109<br>(505) 858-3100<br>www.tierrawestllc.com | DRAWING<br>2014069-SPE |
|   |   | SHEET #<br><b>C1</b>   |
|   |   | JOB #<br>2020091       |

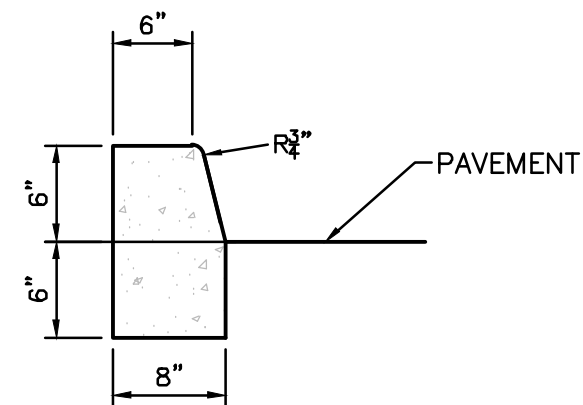




SITE ASPHALT PAVEMENT SECTION  
NTS



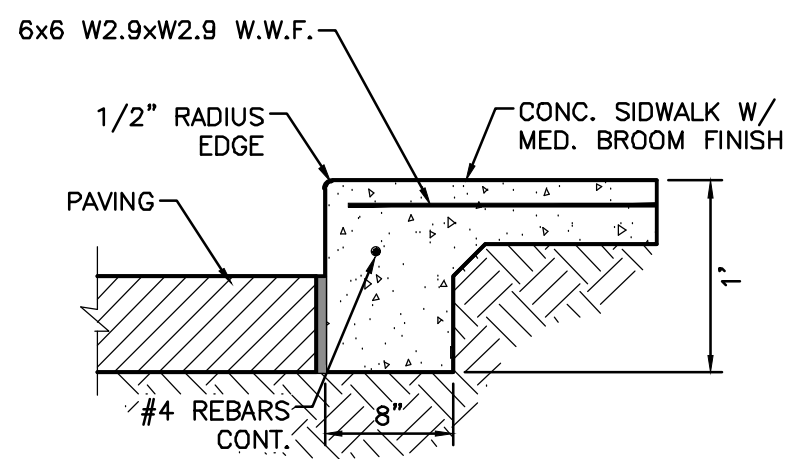
CONCRETE SIDEWALK SECTION



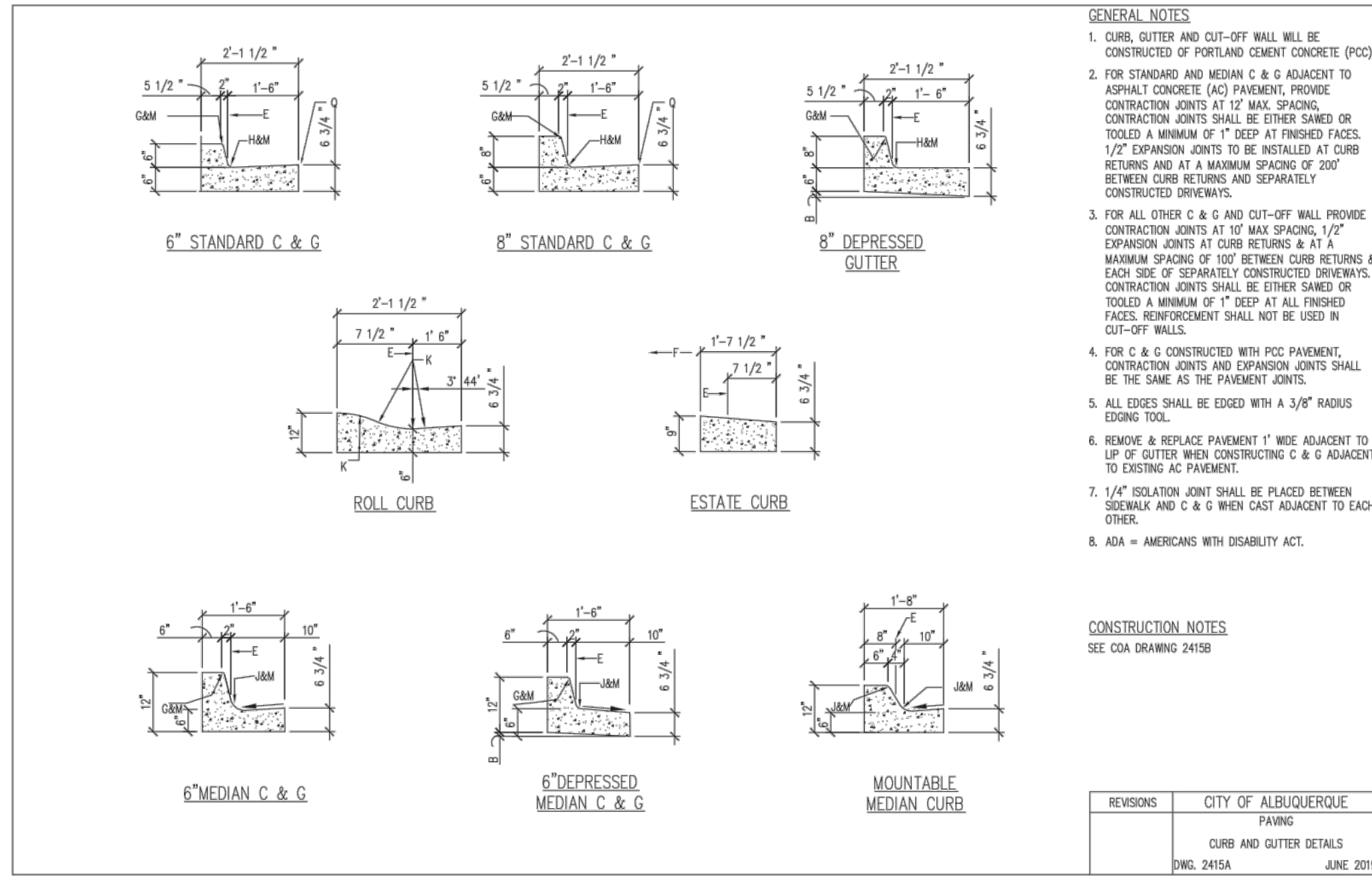
CURB GENERAL NOTES:

1. ALL CURBS TO BE CONSTRUCTED OF PORTLAND CEMENT CONCRETE, PER WAL-MART SPECIFICATIONS.
2. PROVIDE CONTRACTION JTS. 12' MAX., SPACING, 1/2" EXP. JTS. AT CURB RETURNS AND AT A MAX. SPACING OF 120' BETWEEN CURB RETURNS AND EACH SIDE OF SEPARATELY CONSTRUCTED DRIVEWAYS. CONTRACTION JTS., SHALL BE EITHER SAWED OR TOOLED A MINIMUM OF 1" DEEP AT FINISHED FACES.
3. ALL EDGES SHALL BE EDGED WITH A 3/8" RADUIS EDGING TOOL.
4. 1/4" ISOLATION JOINT SHALL BE PLACED BETWEEN SIDEWALK AND CURB WHEN CAST ADJACENT TO EACH OTHER.

6" PRIVATE CURB  
NTS



DETAIL-TURNDOWN CURB  
NTS



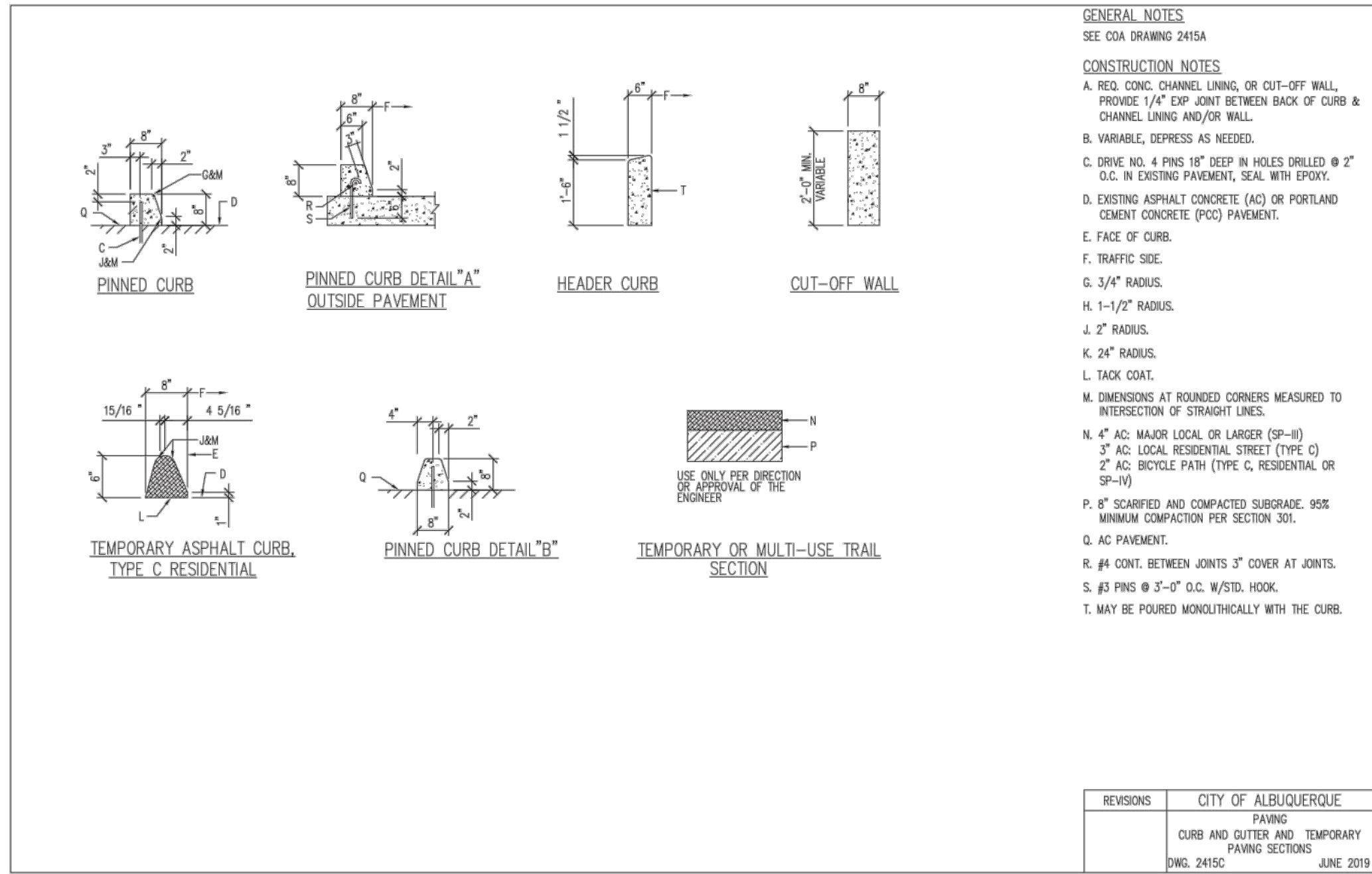
GENERAL NOTES

1. CURB, GUTTER AND CUT-OFF WALL WILL BE CONSTRUCTED OF PORTLAND CEMENT CONCRETE (PCC).
2. FOR STANDARD AND MEDIAN C & G ADJACENT TO ASPHALT CONCRETE (AC) PAVEMENT, PROVIDE CONTRACTION JOINTS AT 12' MAX. SPACING. CONTRACTION JOINTS SHALL BE EITHER SAWED OR TOOLED A MINIMUM OF 1" DEEP AT FINISHED FACES. 1/2" EXPANSION JOINTS TO BE INSTALLED AT CURB RETURNS AND AT A MAXIMUM SPACING OF 200' BETWEEN CURB RETURNS AND SEPARATELY CONSTRUCTED DRIVEWAYS.
3. FOR ALL OTHER C & G AND CUT-OFF WALL PROVIDE CONTRACTION JOINTS AT 10' MAX SPACING, 1/2" EXPANSION JOINTS AT CURB RETURNS & AT A MAXIMUM SPACING OF 100' BETWEEN CURB RETURNS & EACH SIDE OF SEPARATELY CONSTRUCTED DRIVEWAYS. CONTRACTION JOINTS SHALL BE EITHER SAWED OR TOOLED A MINIMUM OF 1" DEEP AT ALL FINISHED FACES. REINFORCEMENT SHALL NOT BE USED IN CUT-OFF WALLS.
4. FOR C & G CONSTRUCTED WITH PCC PAVEMENT, CONTRACTION JOINTS AND EXPANSION JOINTS SHALL BE THE SAME AS THE PAVEMENT JOINTS.
5. ALL EDGES SHALL BE EDGED WITH A 3/8" RADIUS EDGING TOOL.
6. REMOVE & REPLACE PAVEMENT 1" WIDE ADJACENT TO TOP OF GUTTER WHEN CONSTRUCTING C & G ADJACENT TO EXISTING AC PAVEMENT.
7. 1/4" ISOLATION JOINT SHALL BE PLACED BETWEEN SIDEWALK AND C & G WHEN CAST ADJACENT TO EACH OTHER.
8. ADA = AMERICANS WITH DISABILITY ACT.

CONSTRUCTION NOTES

SEE COA DRAWING 2415B

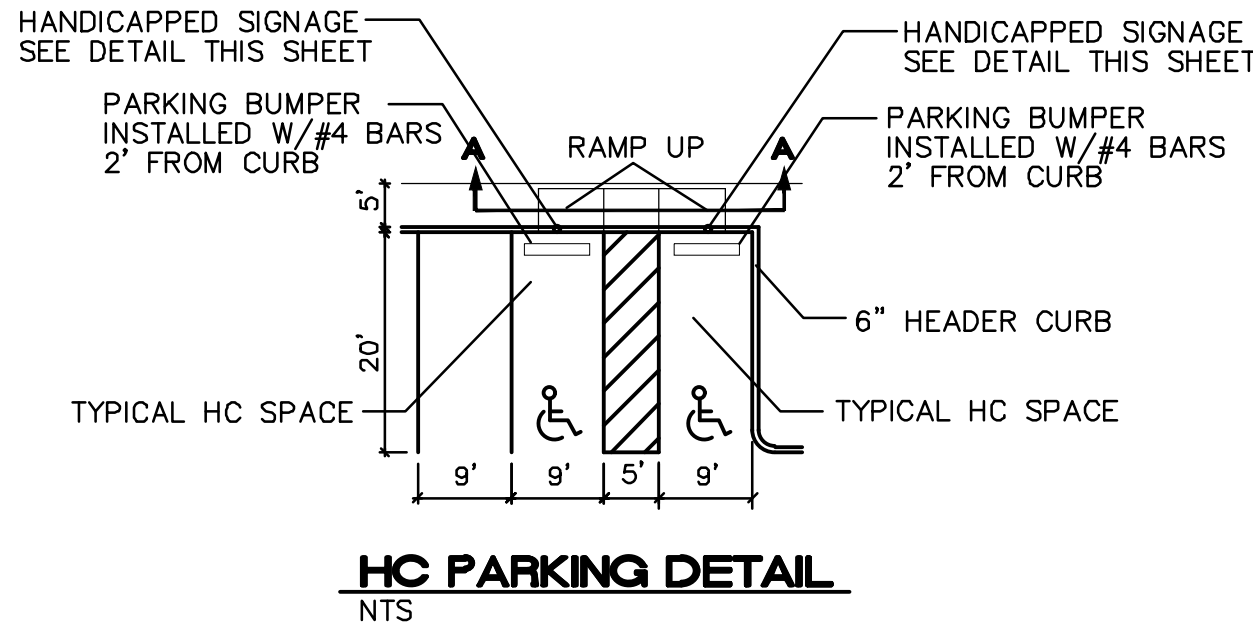
| REVISIONS | CITY OF ALBUQUERQUE     |
|-----------|-------------------------|
|           | PAVING                  |
|           | CURB AND GUTTER DETAILS |
|           | 2ND, 2415A              |
|           | JUNE 2019               |



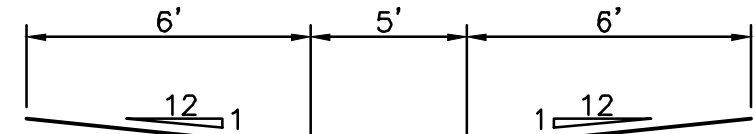
GENERAL NOTES

- SEE COA DRAWING 2415A
- CONSTRUCTION NOTES
- A. REQ. CONC. CHANNEL LINING, OR CUT-OFF WALL, PROVIDE 1/4" EXP JOINT BETWEEN BACK OF CURB & CHANNEL LINING AND/OR WALL.
  - B. VARIABLE, DEPRESS AS NEEDED.
  - C. DRIVE NO. 4 PINS 18" DEEP IN HOLES DRILLED @ 2" O.C. IN EXISTING PAVEMENT, SEAL WITH EPOXY.
  - D. EXISTING ASPHALT CONCRETE (AC) OR PORTLAND CEMENT CONCRETE (PCC) PAVEMENT.
  - E. FACE OF CURB.
  - F. TRAFFIC SIDE.
  - G. 3/4" RADIUS.
  - H. 1-1/2" RADIUS.
  - I. 2" RADIUS.
  - J. 24" RADIUS.
  - K. TACK COAT.
  - L. DIMENSIONS AT ROUNDED CORNERS MEASURED TO INTERSECTION OF STRAIGHT LINES.
  - M. 4" AC: MAJOR LOCAL OR LARGER (SP-10)
  - N. 5" AC: LOCAL RESIDENTIAL STREET (TYPE C)
  - O. 2" AC: BICYCLE PATH (TYPE C, RESIDENTIAL OR SP-10)
  - P. 8" SCARIFIED AND COMPACTED SUBGRADE, 95% MINIMUM COMPACTION PER SECTION 301.
  - Q. AC PAVEMENT.
  - R. #4 CONT. BETWEEN JOINTS 3" COVER AT JOINTS.
  - S. #3 PINS @ 3'-0" O.C. W/STD. HOOK.
  - T. MAY BE POURED MONOLITHICALLY WITH THE CURB.

| REVISIONS | CITY OF ALBUQUERQUE                           |
|-----------|---|
|           | PAVING  |
|           | CURB AND GUTTER AND TEMPORARY PAVING SECTIONS |
|           | 2ND, 2415C                                    |
|           | JUNE 2019                                     |



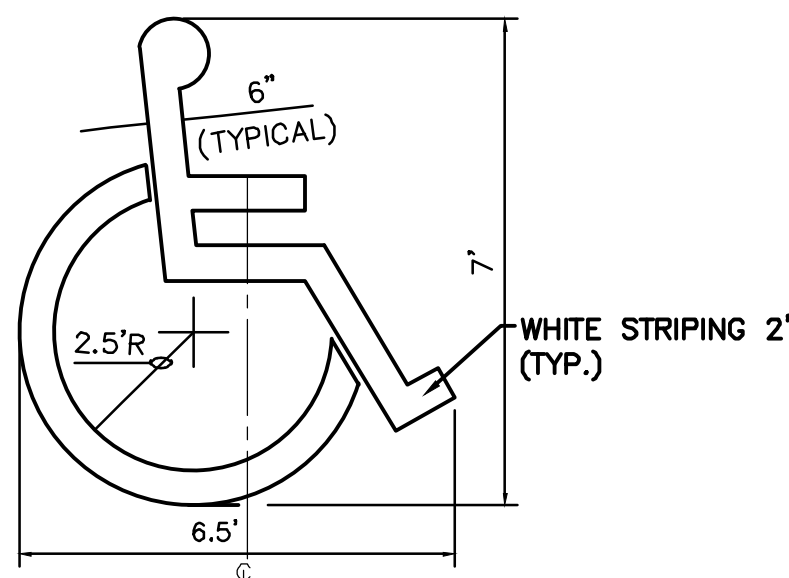
HC PARKING DETAIL  
NTS



HC PARKING DETAIL SECTION A-A  
NTS

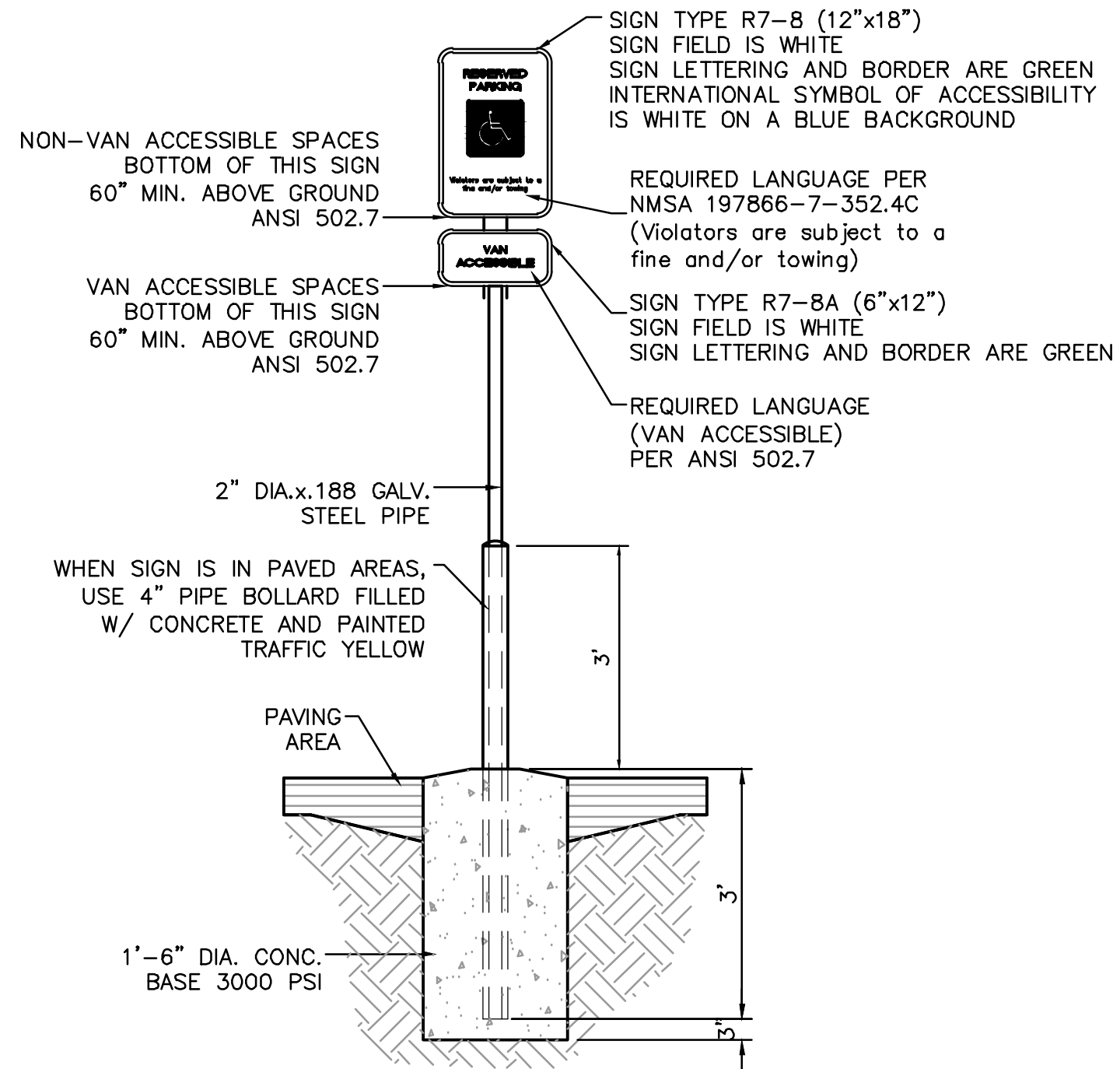
NOTES:

- 1) International Symbol of Accessibility shall be painted on the pavement at rear of space, white symbol on blue background.
- 2) Parking space lines and diagonal striping to be painted blue and shall be 4" wide. Diagonal lines shall be spaced 2' center to center.
- 3) Access aisle shall have the words "NO PARKING" in blue, capital letters, each of which shall be at least one foot high and at least two inches wide, placed at the rear of the parking space so as to be close to where an adjacent vehicle's rear tires would be placed.



LOCATE AT EDGE OF PARKING SPACE UNLESS ACCOMPANIED BY "VAN" LETTERING

ACCESSIBLE PARKING SYMBOL  
NTS

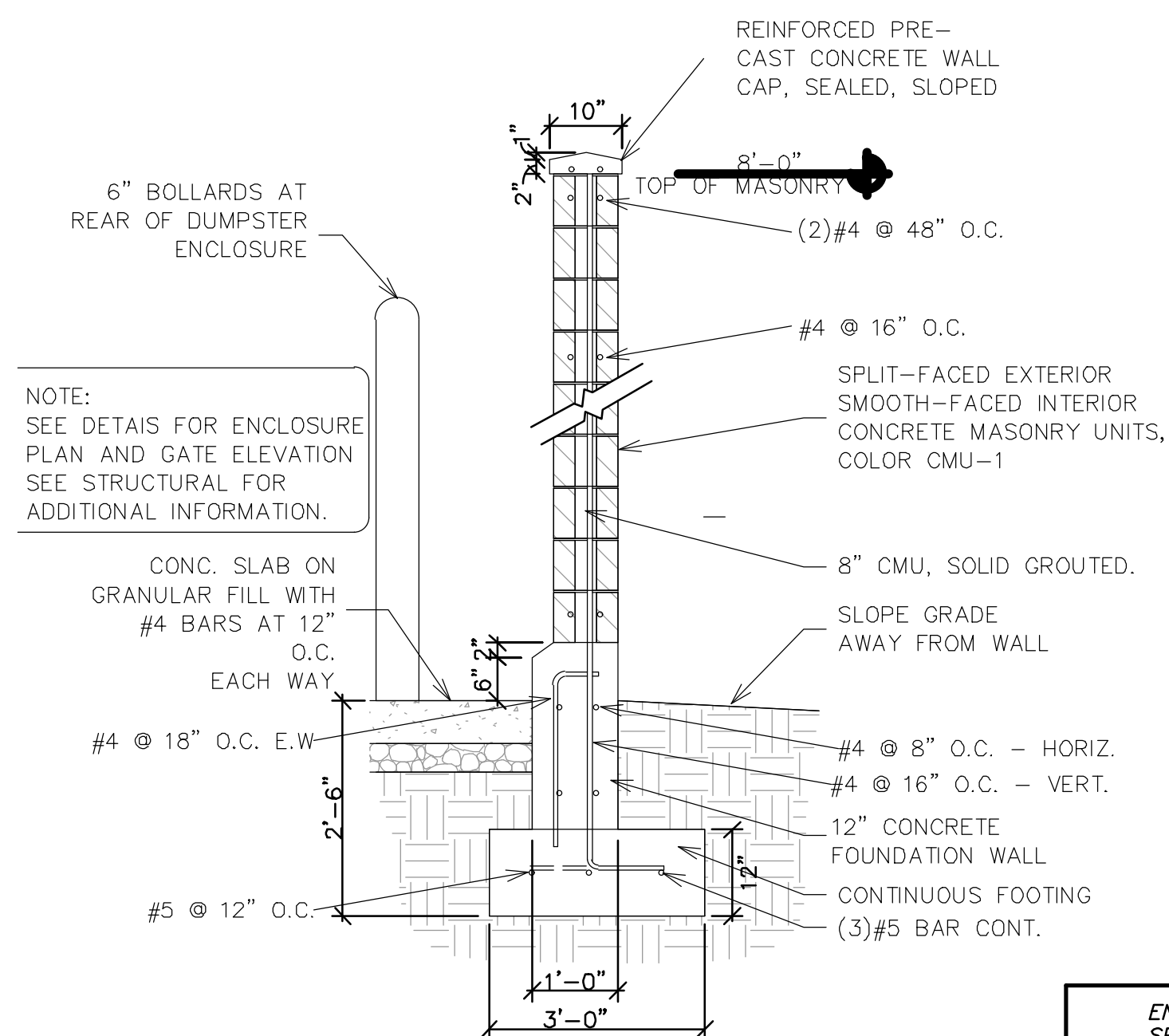
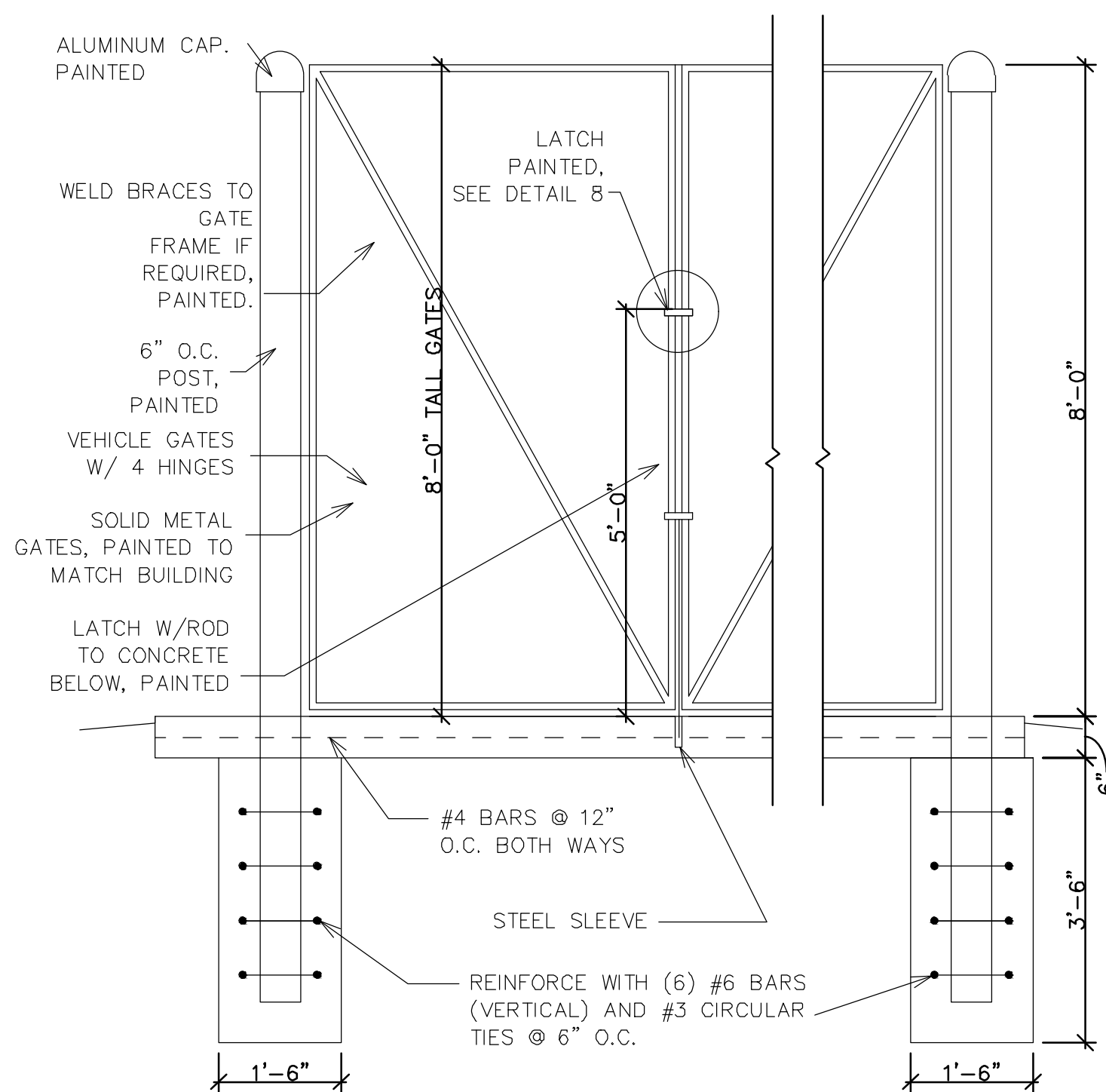
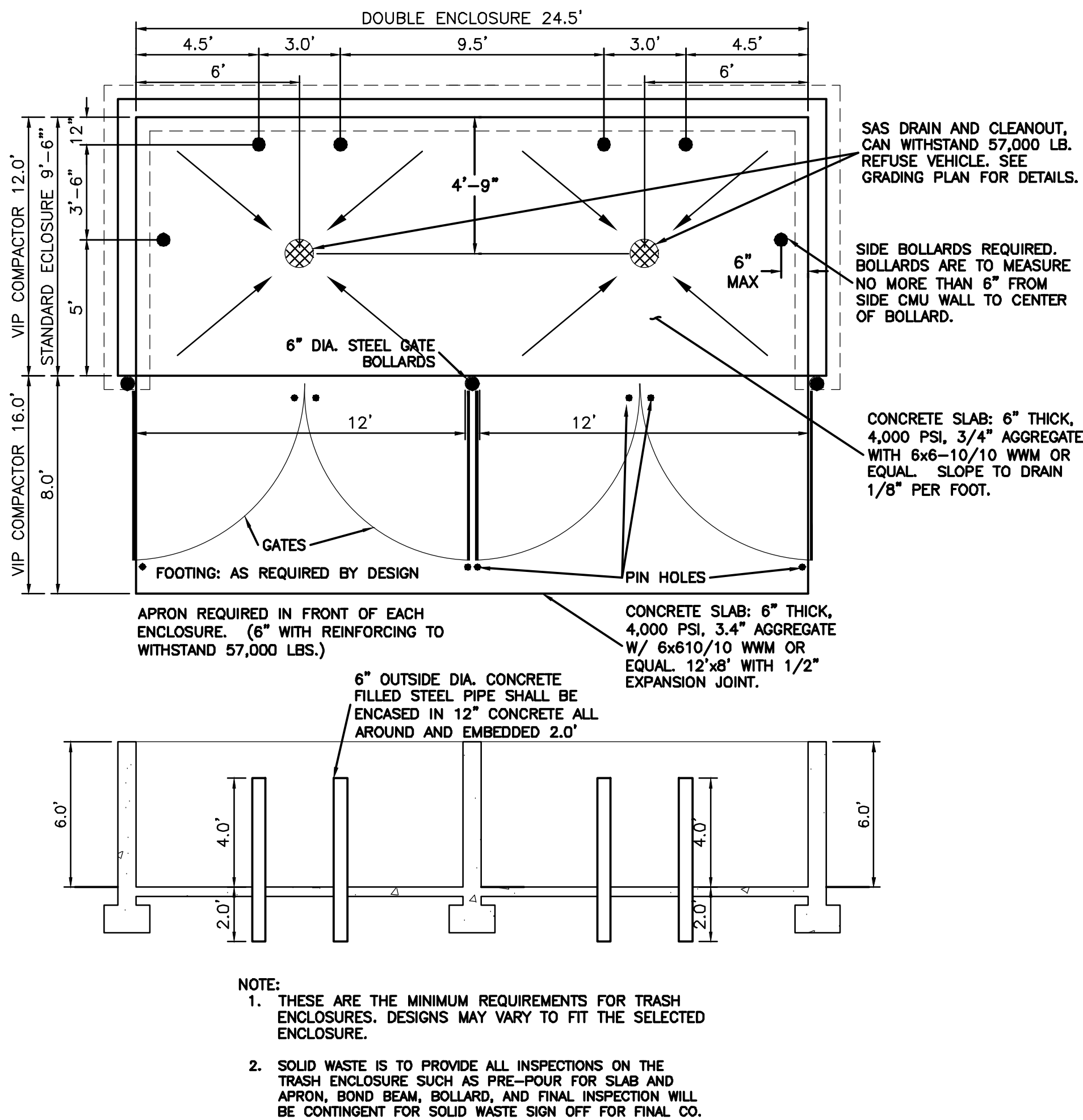
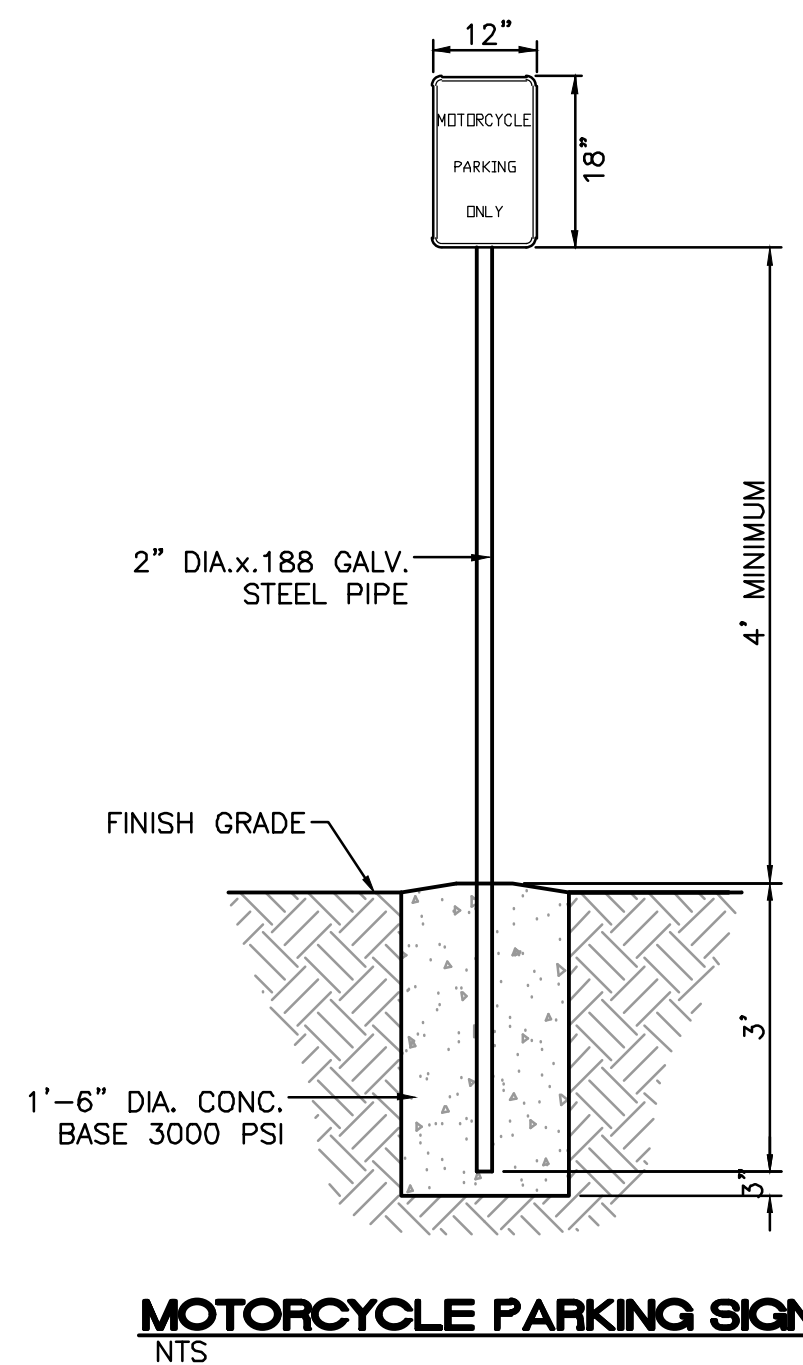
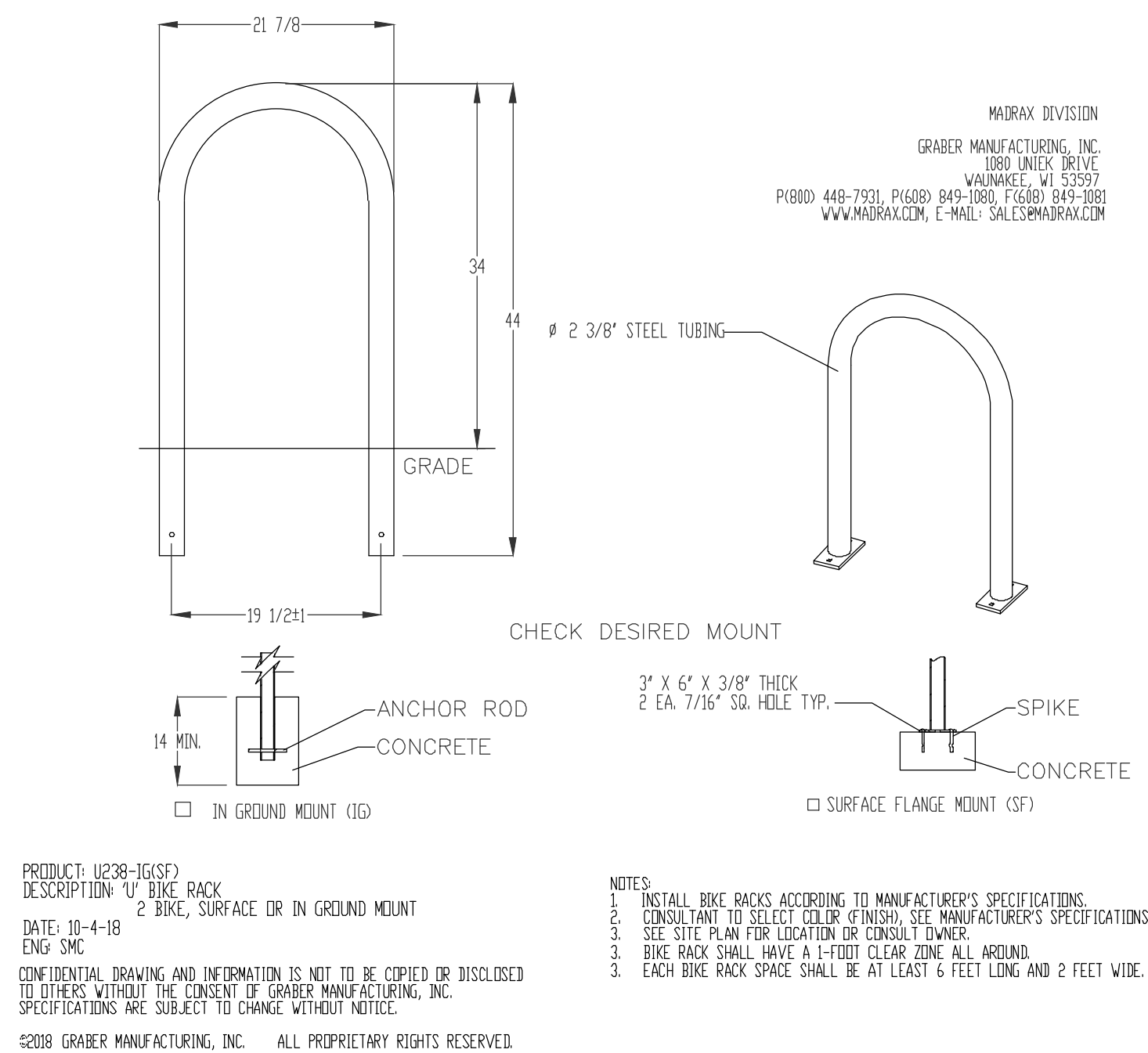
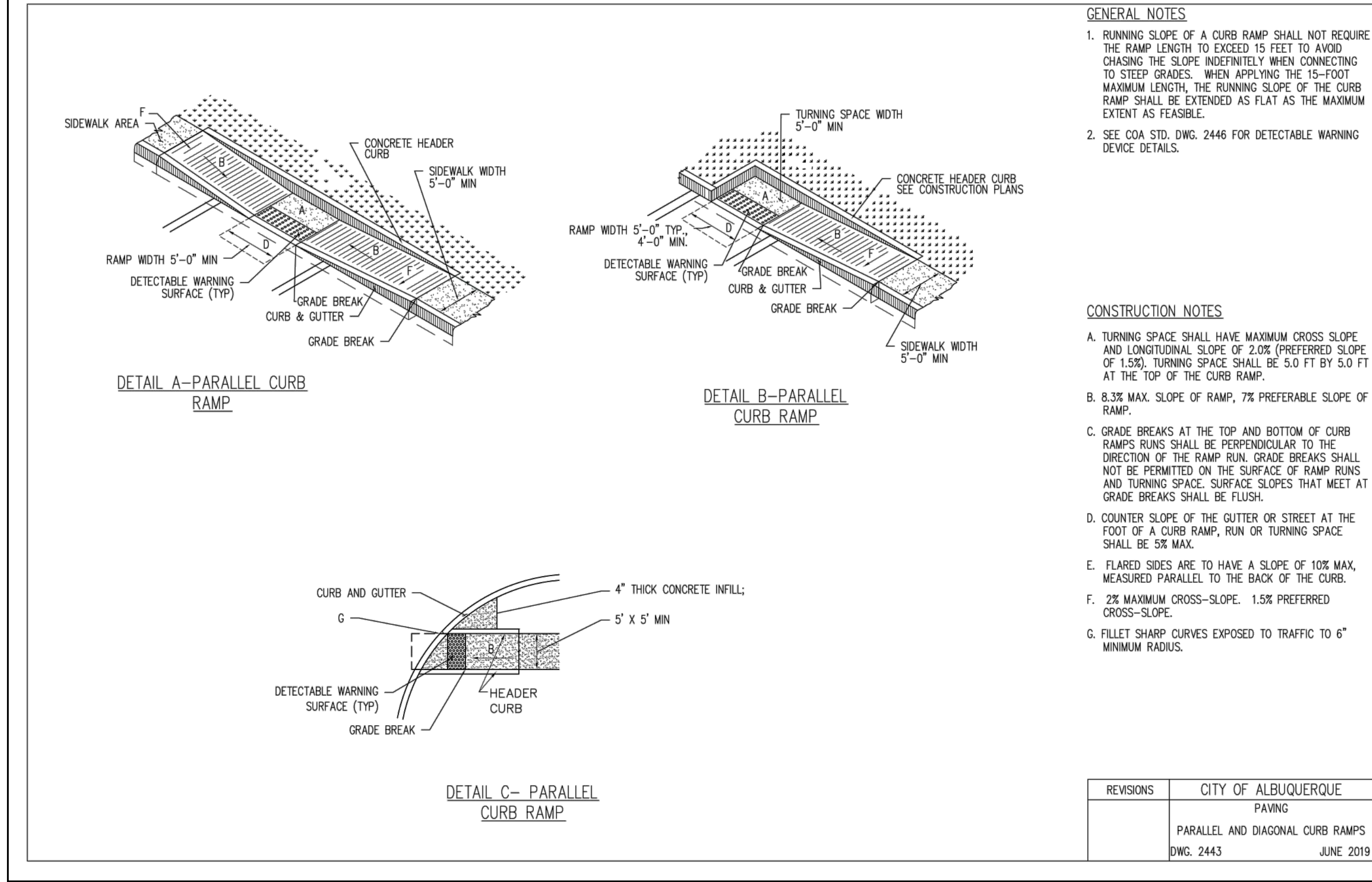


ACCESSIBLE PARKING SIGN  
NTS

|   |  |                        |
|---|--|------------------------|
| ENGINEER'S SEAL   | DUTCH BRO'S<br>3615 NM 528, ABQ  | DRAWN BY<br>LN         |
| RONALD R. BOHANNAN<br>7868<br>03/07/2021<br>PROFESSIONAL ENGINEER | DETAIL 1   | DATE<br>01/19/2020     |
| RONALD R. BOHANNAN<br>P.E. #7868                                  | TERRA WEST LLC<br>5571 MIDWAY PARK PL NE<br>ALBUQUERQUE, NEW MEXICO 87109<br>(505) 858-3100<br>www.tierwestllc.com | DRAWING<br>2014063-SPE |
|   |  | SHEET #<br>C2          |
|   |  | JOB #<br>2020091       |



\\NWAS3\z\_drive\2014\20140609-Julien\_Garza\_Properties\dwg\DRB\NM-528 and Ellison\20140609-TQ.dwg Feb 09, 2021 -- 9:31am

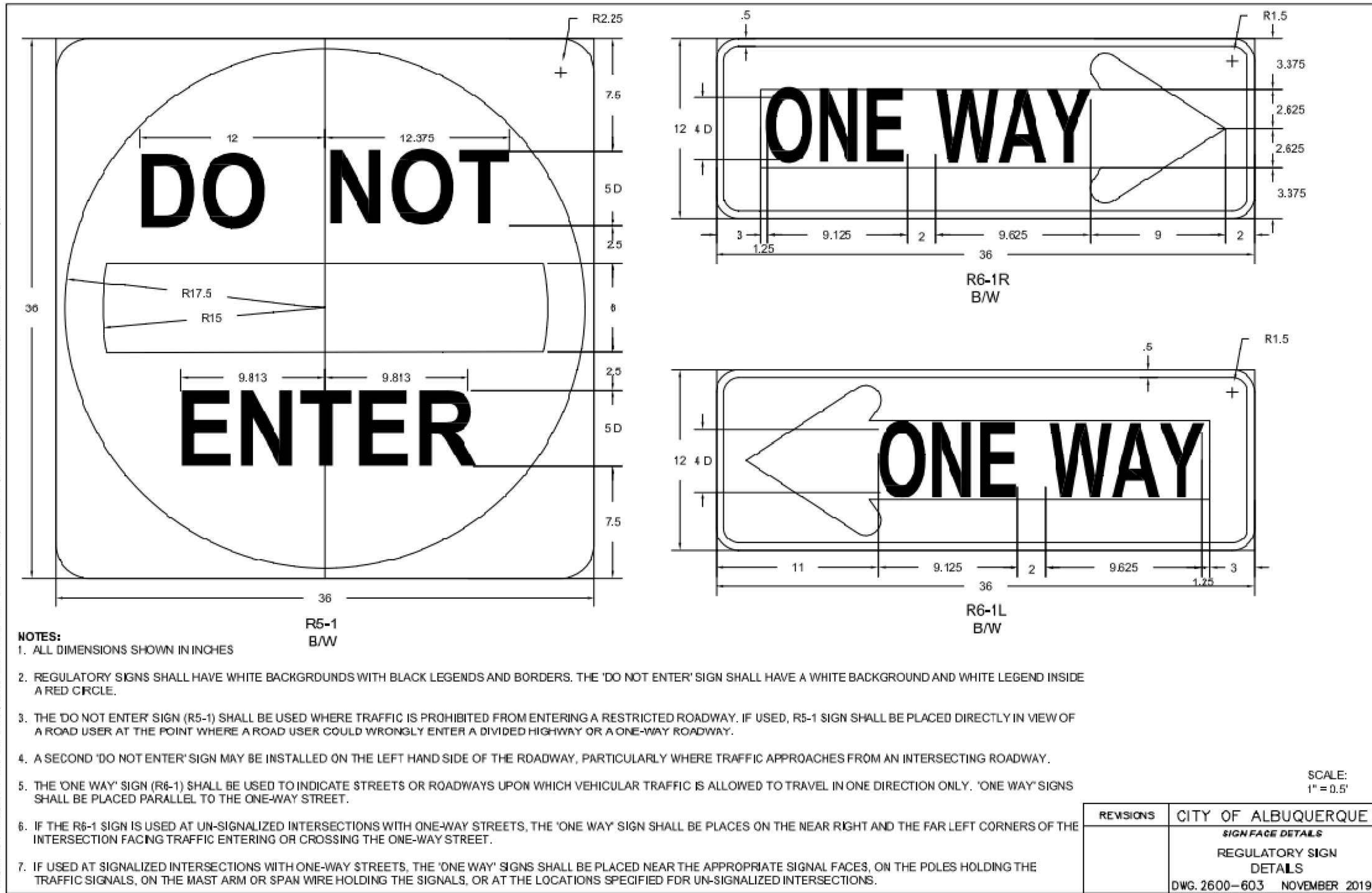


|   |  |                         |
|---|--|-------------------------|
| <div>ENGINEER'S SEAL</div> <div></div> <div>RONALD R. BOHANNAN<br/>P.E. #7868</div> | <b>DUTCH BRO'S</b><br>3615 NM 528, ABQ   | DRAWN BY<br>LN          |
|   |  | DATE<br>01/19/2020      |
|   | <b>DETAILS 2</b>   | DRAWING<br>20140609-SPE |
|   | <div>TERRA WEST LLC</div> <div>5571 MIDWAY PARK PL NE<br/>ALBUQUERQUE, NEW MEXICO 87109<br/>(505) 858-3100<br/>www.tierrawestllc.com</div> | SHEET #<br><b>C3</b>    |
|   |  | JOB #<br>2020091        |

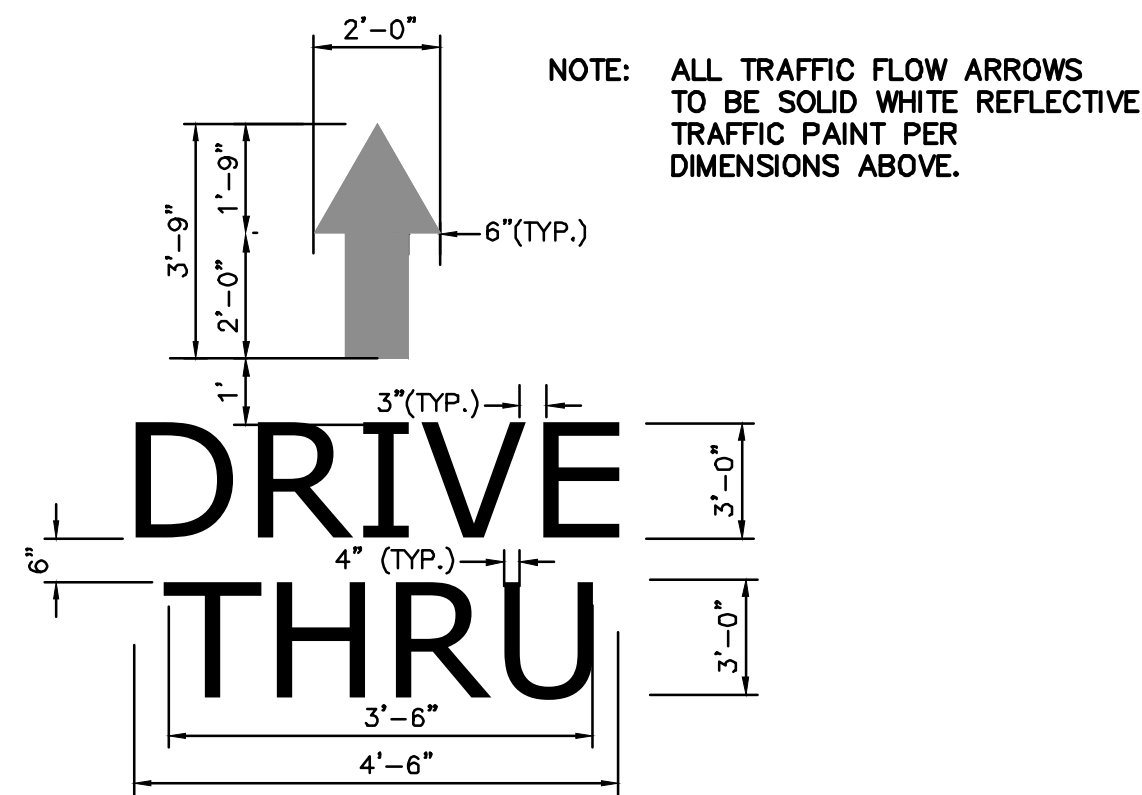


\\TWIAS3\V\_drive\2014\20140619-Julian\_Garza\_Properties\dwg\DRB\NM-528 and Ellison\20140619-TCL.dwg, Feb 09, 2021 -- 9:31am

X:\PLAN\SWHESP-8102 & ECU\SWHES\COA STANDARD ONE AND SPECIFICATIONS\UPDATE TO SWHES\SIGNAGE AND STRIPING\COA FACE DETAILS\DWG 10/15/2019 8:10 AM



**DO NOT ENTER SIGN**  
NTS

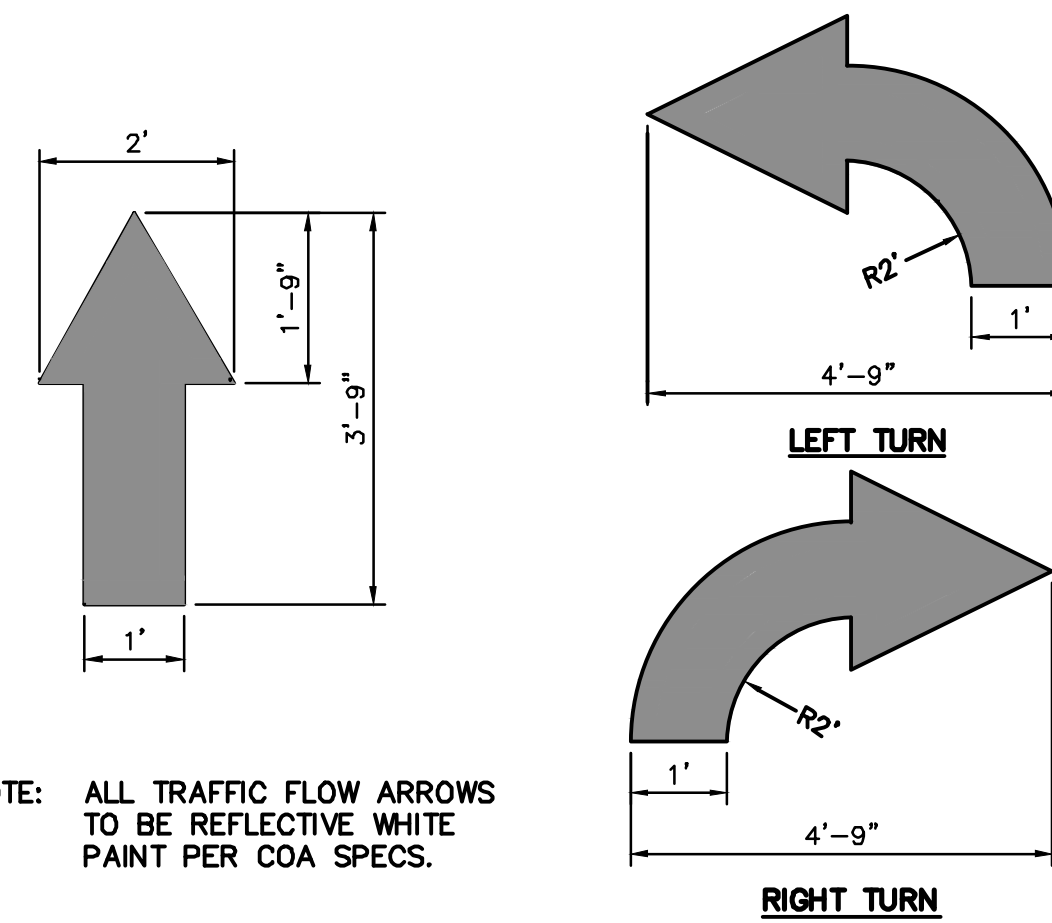


**'ONE WAY' PAVEMENT MARKER W/ARROW**  
NTS

**NOTE:** ALL TRAFFIC FLOW STRIPING TO BE SOLID WHITE REFLECTIVE TRAFFIC PAINT PER DIMENSIONS.





**DO NOT ENTER PAVEMENT MARKER W/ARROW**  
NTS



**NOTE:** ALL TRAFFIC FLOW ARROWS TO BE REFLECTIVE WHITE PAINT PER COA SPECS.

**TRAFFIC FLOW ARROW**  
NTS

|   |  |                        |
|---|--|------------------------|
| <div>ENGINEER'S SEAL</div> <div><br/></div> <div>RONALD R. BOHANNAN<br/>P.E. #7868</div> | <div>DUTCH BRO'S</div> <div>3615 NM 528, ABQ</div> <div>DETAILS 3</div>  | DRAWN BY<br>LN         |
|   |  | DATE<br>01/19/2020     |
|   | <div> <b>TERRA WEST, LLC</b></div> <div>5571 MIDWAY PARK PL NE<br/>ALBUQUERQUE, NEW MEXICO 87109<br/>(505) 858-3100<br/>www.tierrawestllc.com</div> | DRAWING<br>2014069-SPE |
|   |  | SHEET #<br><b>C4</b>   |
|   |  | JOB #<br>2020091       |