



City of Albuquerque

Planning Department
Development Review Services Division

Traffic Scoping Form (REV 07/2020)

Project Title: Dutch Brother NM528 Building Permit #: - Hydrology File #: A14D019

Zone Atlas Page: A-14-A DRB#: - EPC#: - Work Order#: -

Legal Description: TRACT C-4-A PLAT OF TRACTS C3A C3B C3C AND C4A SEVEN BAR RANCH CONT 1.9900 AC M/L OR 86,684 SQ FT M/L

City Address: GH3615 HWY 528 ALBUQUERQUE NM 87114

Applicant: Tierra West LLC Contact: Luis Noriega

Address: 5571 Midway Park Pl NE, Albuquerque NM

Phone#: 505-858-3100 Fax#: - E-mail: lnoriega@tierrawestllc.com

Development Information

Build out/Implementation Year: 2021 Current/Proposed Zoning: NR-BP

Project Type: New: (YES) Change of Use: () Same Use/Unchanged: () Same Use/Increased Activity: ()

Proposed Use (mark all that apply): Residential: () Office: () Retail: () Mixed-Use: ()

Describe development and Uses: New Dutch Brothers Coffee – Coffee Shop with Drive Thru Facility

Days and Hours of Operation (if known): Every Day From 5 AM – 11 PM

Facility

Building Size (sq. ft.): 950 sf

Number of Residential Units: N/A

Number of Commercial Units: 1

Traffic Considerations

Expected Number of Daily Visitors/Patrons (if known):* 740

Expected Number of Employees (if known):* 4-5

Expected Number of Delivery Trucks/Buses per Day (if known):* 1

Trip Generations during PM/AM Peak Hour (if known):* Am Total Enter/Exit = 93 Vehicles - Pm Total Enter/Exit = 36 Vehicles

Driveway(s) Located on: NM 528 / Alameda Blvd

Adjacent Roadway(s) Posted Speed:

Street Name	<u>NM 528 / Alameda Blvd</u>	Posted Speed	<u>40 MPH</u>
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Street Name	Posted Speed
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** If these values are not known, assumptions will be made by City staff. Depending on the assumptions, a full TIS may be required*

Roadway Information (adjacent to site)

Comprehensive Plan Corridor Designation/Functional Classification: Principal Arterial
(arterial, collector, local, main street)

Comprehensive Plan Center Designation: N/A
(urban center, employment center, activity center)

Jurisdiction of roadway (NMDOT, City, County): City

Adjacent Roadway(s) Traffic Volume: ADT (2018) - 27,900 Volume-to-Capacity Ratio:
(if applicable)

Adjacent Transit Service(s): Not Next to Site Nearest Transit Stop(s):

Is site within 660 feet of Premium Transit?: No

Current/Proposed Bicycle Infrastructure: Proposed Bike Lane
(bike lanes, trails)

Current/Proposed Sidewalk Infrastructure: No Sidewalk in front of site

Relevant Web-sites for Filling out Roadway Information:

City GIS Information: <http://www.cabq.gov/gis/advanced-map-viewer>

Comprehensive Plan Corridor/Designation: <https://abc-zone.com/document/abc-comp-plan-chapter-5-land-use> (map after Page 5-5)

Road Corridor Classification: <https://www.mrcog-nm.gov/DocumentCenter/View/1920/Long-Range-Roadway-System-LRRS-PDF?bidId=>

Traffic Volume and V/C Ratio: <https://www.mrcog-nm.gov/285/Traffic-Counts> and <https://public.mrcog-nm.gov/taqa/>

Bikeways: http://documents.cabq.gov/planning/adopted-longrange-plans/BTFP/Final/BTFP%20FINAL_Jun25.pdf (Map Pages 75 to 81)

TIS Determination

Note: Changes made to development proposals / assumptions, from the information provided above, will result in a new TIS determination.

Traffic Impact Study (TIS) Required: Yes [☐] No ☒ Borderline [☐]

Thresholds Met? Yes [☐] No ☒

Mitigating Reasons for Not Requiring TIS: Previously Studied: [☐]

Notes: A TIS is not required for this development. When the remaining pad site is developed a TIS will be required incorporating the traffic of this development.

M.P. P.E.

2/1/2021

TRAFFIC ENGINEER

DATE

Submittal

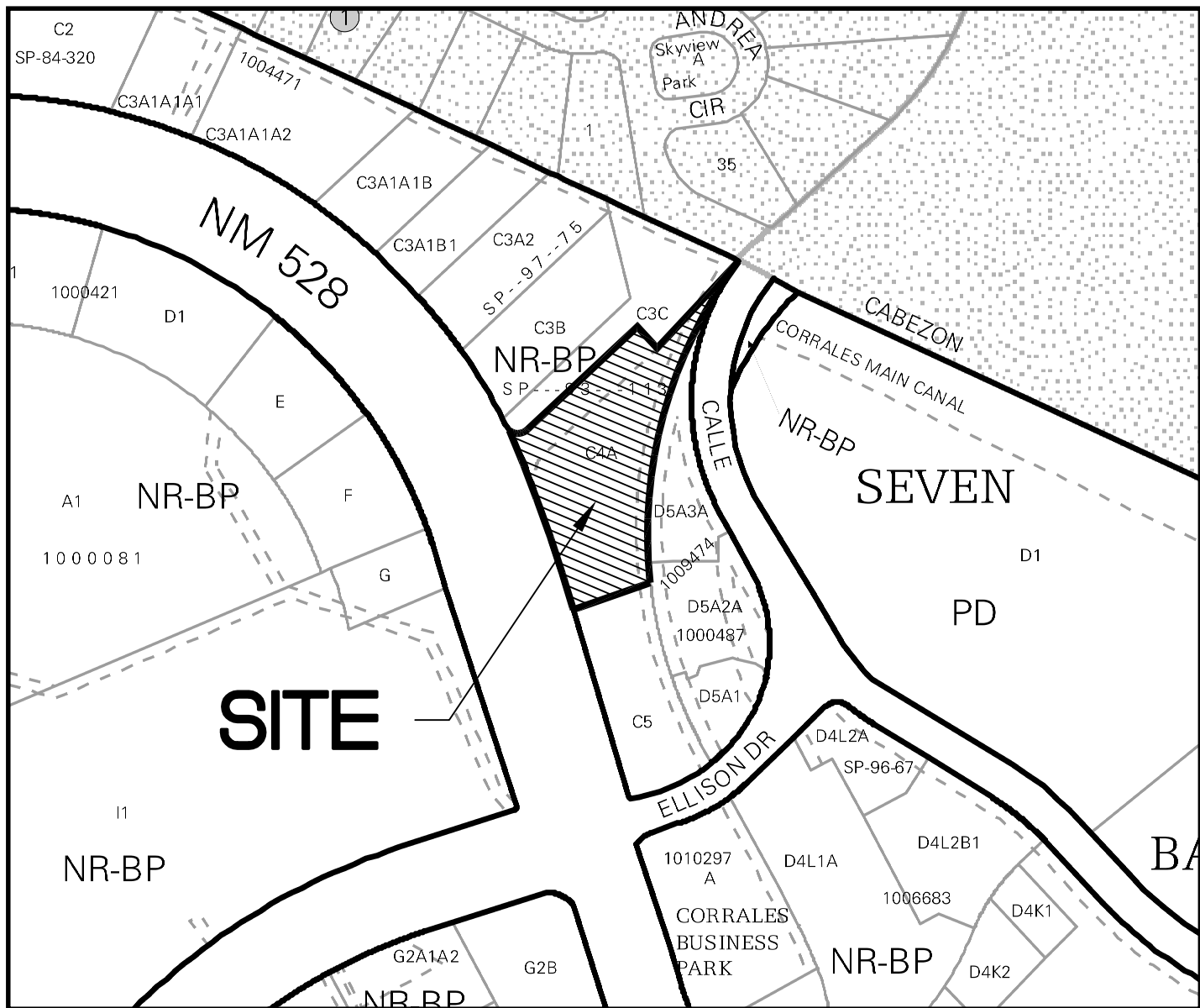
The Scoping Form must be submitted as part of any building permit application, DRB application, or EPC application. See the Development Process Manual Chapter 7.4 for additional information.

Submit by email to plndrs@cabq.gov and to the City Traffic Engineer. Call 924-3991 for information.

Site Plan/Traffic Scoping Checklist

Site plan, building size in sq. ft. (show new, existing, remodel), to include the following items as applicable:

1. Access -- location and width of driveways
2. Sidewalks (Check DPM and IDO for sidewalk requirements. Also, Centers have wider sidewalk requirements.)
3. Bike Lanes (check for designated bike routes, long range bikeway system) ([*check MRCOG Bikeways and Trails in the 2040 MTP map*](#))
4. Location of nearby multi-use trails, if applicable ([*check MRCOG Bikeways and Trails in the 2040 MTP map*](#))
5. Location of nearby transit stops, transit stop amenities (eg. bench, shelter). Note if site is within 660 feet of premium transit.
6. Adjacent roadway(s) configuration (number of lanes, lane widths, turn bays, medians, etc.)
7. Distance from access point(s) to nearest adjacent driveways/intersections.
8. Note if site is within a Center and more specifically if it is within an Urban Center.
9. Note if site is adjacent to a Main Street.
10. Identify traffic volumes on adjacent roadway per MRCOG information. If site generates more than 100 vehicles per hour, identify v/c ratio on this form.



Vicinity Map - Zone Atlas A-14-Z

Exceptions 9-23

- 9 RESERVATIONS CONTAINED IN THE PATENT FROM THE UNITED STATES OF AMERICA, RECORDED AUGUST 18, 1920 IN BOOK 64, PAGE 412, RECORDS OF BERNALILLO COUNTY, NEW MEXICO.
AFFECTS SUBJECT PROPERTY – BLANKET IN NATURE
- 10 EASEMENT, AND RIGHTS INCIDENT THERETO, IN FAVOR OF PUBLIC SERVICE COMPANY OF NEW MEXICO, A NEW MEXICO CORPORATION, AND THE MOUNTAIN STATES TELEPHONE AND TELEGRAPH COMPANY, A COLORADO CORPORATION, RECORDED AUGUST 6, 1974 IN BOOK MISC. 380, PAGE 510 AS DOCUMENT NO. 23224, RECORDS OF BERNALILLO COUNTY, NEW MEXICO.
AFFECTS SUBJECT PROPERTY – SHOWN HEREON AS 5
- 11 RIGHT-OF-WAY AND EASEMENT, AND RIGHTS INCIDENT THERETO, IN FAVOR OF SOUTHERN UNION GAS COMPANY, RECORDED DECEMBER 23, 1974 IN BOOK MISC. 399, PAGE 963-964 AS DOCUMENT NO. 42594, RECORDS OF BERNALILLO COUNTY, NEW MEXICO.
AFFECTS SUBJECT PROPERTY – SHOWN HEREON AS 3
- 12 GRANT OF EASEMENT, AND RIGHTS INCIDENT THERETO, IN FAVOR OF PARADISE COMMUNITY SERVICES, INC., RECORDED DECEMBER 27, 1974 IN BOOK MISC. 400, PAGE 381-382 AS DOCUMENT NO. 43013, RECORDS OF BERNALILLO COUNTY, NEW MEXICO.
AFFECTS SUBJECT PROPERTY – SHOWN HEREON AS 4
- 13 EASEMENT GRANT, AND RIGHTS INCIDENT THERETO, BETWEEN SEVEN BAR LAND AND CATTLE COMPANY, A NEW MEXICO LIMITED PARTNERSHIP, AND JEMEZ BUILDING ONE, LTD., A NEW MEXICO LIMITED PARTNERSHIP, RECORDED APRIL 20, 1982 IN BOOK MISC. 924, PAGE 741-746 AS DOCUMENT NO. 82-20382, RECORDS OF BERNALILLO COUNTY, NEW MEXICO.
AFFECTS SUBJECT PROPERTY – SHOWN HEREON AS 1
- 14 EASEMENTS AND NOTES AS SHOWN, NOTED AND PROVIDED FOR ON THE PLAT RECORDED JULY 26, 1984 IN VOLUME C24, FOLIO 136, RECORDS OF BERNALILLO COUNTY, NEW MEXICO.
AFFECTS SUBJECT PROPERTY – SHOWN HEREON AS 1 3 4 AND 5
- 15 DECLARATION OF PROTECTIVE COVENANTS, CONDITIONS, AND RESTRICTIONS RECORDED AUGUST 10, 1986 IN BOOK MISC. 142-A, PAGE 539-550 AS DOCUMENT NO. 84-60385; AMENDED BY MODIFICATION OF DECLARATION OF PROTECTIVE COVENANTS, CONDITIONS, AND RESTRICTIONS RECORDED APRIL 1, 1993 IN BOOK 93-8, PAGE 3606-3612 AS DOCUMENT NO. 93033047 AND BY ACKNOWLEDGEMENT OF COMPLIANCE WITH DECLARATION OF PROTECTIVE COVENANTS, CONDITIONS, AND RESTRICTIONS RECORDED MARCH 20, 1995 IN BOOK 95-7, PAGE 1256-1261 AS DOCUMENT NO. 95027508, RECORDS OF BERNALILLO COUNTY, NEW MEXICO.
AFFECTS SUBJECT PROPERTY – BLANKET IN NATURE
- 16 DESILTING POND EASEMENT AGREEMENT, AND RIGHTS INCIDENT THERETO, BY AND BETWEEN SEVEN BAR LAND AND CATTLE COMPANY, A NEW MEXICO LIMITED PARTNERSHIP, AND THE ALBUQUERQUE METROPOLITAN ARROYO FLOOD CONTROL AUTHORITY, A POLITICAL SUBDIVISION OF THE STATE OF NEW MEXICO, RECORDED DECEMBER 18, 1985 IN BOOK MISC. 303-A, PAGE 185-189 AS DOCUMENT NO. 85-6956A, RECORDS OF BERNALILLO COUNTY, NEW MEXICO.
AFFECTS SUBJECT PROPERTY – SHOWN HEREON AS 6

Indexing Information

Section 5, Township 11 North, Range 3 East, N.M.P.M. as Projected into the Town of Alameda Grant
Subdivision: Seven-Bar Ranch
Owner: Sonny and Lorraine Otero
UPC #: 101406615023620114

Exceptions (Continued)

- 17 UNDERGROUND EASEMENT, AND RIGHTS INCIDENT THERETO, IN FAVOR OF PUBLIC SERVICE COMPANY OF NEW MEXICO, A NEW MEXICO CORPORATION, AND THE MOUNTAIN STATES TELEPHONE AND TELEGRAPH COMPANY, A COLORADO CORPORATION, RECORDED SEPTEMBER 23, 1986 IN BOOK MISC. 397-A, PAGE 909 AS DOCUMENT NO. 86-91166, RECORDS OF BERNALILLO COUNTY, NEW MEXICO.
AFFECTS SUBJECT PROPERTY – SHOWN HEREON AS 14
- 18 EASEMENTS AND NOTES AS SHOWN, NOTED AND PROVIDED FOR ON THE PLAT RECORDED JULY 2, 1993 IN VOLUME 93C, FOLIO 189, RECORDS OF BERNALILLO COUNTY, NEW MEXICO.
AFFECTS SUBJECT PROPERTY – SHOWN HEREON AS 2
- 19 JOINT USE TRASH BIN AGREEMENT BY AND BETWEEN JEMEZ BUILDING, LTD., AND JILL JURKENS, A SINGLE WOMAN, JODY JURKENS GATES, A MARRIED WOMAN, AS HER SOLE AND SEPARATE PROPERTY, AND JOEL J. JURKENS AND LEETRA H. JURKENS, HUSBAND AND WIFE, RECORDED NOVEMBER 17, 1993 IN BOOK 93-32, PAGE 9330-9341 AS DOCUMENT NO. 93130256, RECORDS OF BERNALILLO COUNTY, NEW MEXICO.
AFFECTS SUBJECT PROPERTY – SHOWN HEREON AS A
- 20 GRANT OF EASEMENT AGREEMENT, AND RIGHTS INCIDENT THERETO, BY AND BETWEEN JEMEZ BUILDING, LTD. A NEW MEXICO LIMITED PARTNERSHIP, AND JILL A. JURKENS, A SINGLE WOMAN, JODY JURKENS GATES, A MARRIED WOMAN, AS HER SOLE AND SEPARATE PROPERTY, AND JOEL J. JURKENS AND LEETRA H. JURKENS, HUSBAND AND WIFE, RECORDED DECEMBER 8, 1993 IN BOOK 93-35, PAGE 3040-3046 AS DOCUMENT NO. 93139036, RECORDS OF BERNALILLO COUNTY, NEW MEXICO.
AFFECTS SUBJECT PROPERTY – SHOWN HEREON AS 15
- 21 GRANT OF EASEMENT AGREEMENT, AND RIGHTS INCIDENT THERETO, BY AND BETWEEN JEMEZ BUILDING, LTD. A NEW MEXICO LIMITED PARTNERSHIP, AND NEW MEXICO UTILITIES, INC., A NEW MEXICO CORPORATION, RECORDED DECEMBER 15, 1993 IN BOOK 93-36, PAGE 956-961 AS DOCUMENT NO. 93141955, RECORDS OF BERNALILLO COUNTY, NEW MEXICO.
AFFECTS SUBJECT PROPERTY – SHOWN HEREON AS 12
- 22 EASEMENT GRANT, AND RIGHTS INCIDENT THERETO, BETWEEN NEW MEXICO PHYSICIANS MUTUAL LIABILITY CO., A NEW MEXICO CORPORATION, AND JILL A. JURKENS, A SINGLE WOMAN, JODY JURKENS GATES, A MARRIED WOMAN, AS HER SOLE AND SEPARATE PROPERTY, AND JOEL J. JURKENS AND LEETRA H. JURKENS, HUSBAND AND WIFE, RECORDED NOVEMBER 1, 1994 IN BOOK 94-30, PAGE 6362-6367 AS DOCUMENT NO. 94131022, RECORDS OF BERNALILLO COUNTY, NEW MEXICO.
AFFECTS SUBJECT PROPERTY – SHOWN HEREON AS 13

23 INTENTIONALLY OMITTED

Record and Measured Legal Description

THAT CERTAIN PARCEL OF LAND SITUATE WITHIN THE TOWN OF ALAMEDA GRANT IN PROJECTED SECTION 5, TOWNSHIP 11 NORTH, RANGE 3 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO COMPRISING TRACT C-4-A, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT ENTITLED "TRACTS C-3-A, C-3-B, C-3-C AND C-4-A, SEVEN-BAR RANCH (BEING A REPLAT OF TRACTS C-3 AND C-4, SEVEN-BAR RANCH), CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO", FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON JULY 2, 1993 IN VOLUME 93C, FOLIO 189, AS DOCUMENT NO. 93-071196.

Documents

1. TITLE COMMITMENT PROVIDED BY OLD REPUBLIC NATIONAL TITLE, HAVING FILE NO. 1902271 AND AN EFFECTIVE DATE OF MAY 30, 2019.
2. PLAT OF RECORD FOR SEVEN-BAR RANCH FILED IN THE BERNALILLO COUNTY CLERK'S OFFICE ON JULY 2, 1993, IN BOOK 93C, PAGE 189.
3. WARRANTY DEED FOR SUBJECT PROPERTY, FILED IN THE BERNALILLO COUNTY CLERK'S OFFICE ON DECEMBER 30, 1994, IN BOOK 94-35, PAGE 2626.

Flood Notes

BASED UPON SCALING, THIS PROPERTY LIES WITHIN FLOOD ZONE X WHICH IS DEFINED AS AN AREA OF MINIMAL FLOOD HAZARD AS DETERMINED BY F.E.M.A. AND SHOWN ON THE FLOOD INSURANCE RATE MAP DATED AUGUST 16, 2012, MAP NO. 35001C0109H.

Boundary Survey
and
ALTA/NSPS Land Title Survey
for
Tract C-4-A
Seven Bar Ranch
City of Albuquerque
Bernalillo County, New Mexico
June 2019

Notes

1. FIELD SURVEY PERFORMED IN MAY AND JUNE 2019.
2. ALL DISTANCES ARE GROUND DISTANCES: U.S. SURVEY FOOT.
3. THE BASIS OF BEARINGS REFERENCES NEW MEXICO STATE PLANE COORDINATES (NAD 83-CENTRAL ZONE).
4. NO BUILDINGS EXISTING ON THE SURVEYED PROPERTY.
5. INTENTIONALLY OMITTED.

Surveyor's Certificate

To: Golden River Limited Liability Co., a New Mexico limited liability company, Sonny Otero and Lorraine Otero, husband and wife, Old Republic National Title Insurance Company:

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2016 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes items 1-4 and 7(a) of Table A thereof. The Field Work was completed on June 11, 2019.

Will Plotner 6/21/19
Will Plotner Jr. Date
N.M.R.P.S. No. 14271

Revisions: 06/17/2019 – Original
06/20/2019 – Revised Easement 6 and omitted Note 5

I, Will Plotner Jr., New Mexico Professional Surveyor No. 14271, do hereby certify that this boundary survey plat and the actual survey on the ground upon which it is based were performed by me or under my direct supervision; that I am responsible for this survey; that this survey meets the minimum standards for surveying in New Mexico; and that it is true and correct to the best of my knowledge and belief. I further certify that this survey is not a land division or subdivision as defined in the New Mexico subdivision act and that this instrument is a boundary survey plat of an existing tract or tracts.

Will Plotner 6/21/19
Will Plotner Jr. Date
N.M.R.P.S. No. 14271

CSI-CARTESIAN SURVEYS INC.

P.O. BOX 44414 RIO RANCHO, N.M. 87174
Phone (505) 896 - 3050 Fax (505) 891 - 0244
wplotnerjr@gmail.com



*Boundary Survey
and
ALTA/NSPS Land Title Survey
for
Tract C-4-A
Seven Bar Ranch
City of Albuquerque
Bernalillo County, New Mexico
June 2019*

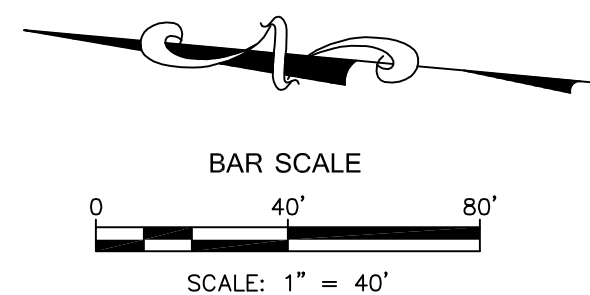
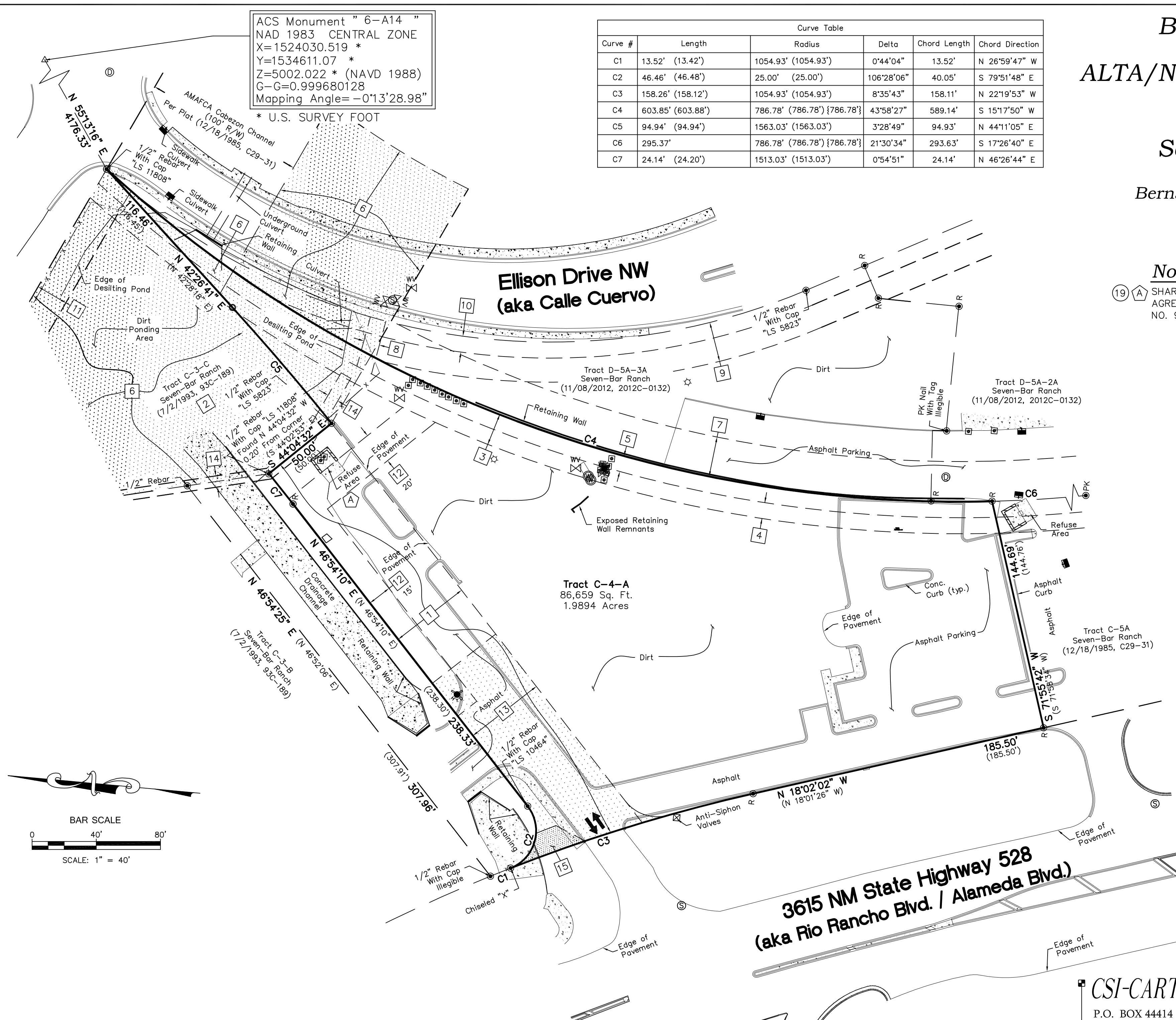
Notes

- (19) (A) SHARED REFUSE AREA AS PER JOINT USE TRASH BIN AGREEMENT (11/17/1993, BK. 93-32, PG. 9330-9341, DOC. NO. 93130256)

Curve Table					
Curve #	Length	Radius	Delta	Chord Length	Chord Direction
C1	13.52' (13.42')	1054.93' (1054.93')	0°44'04"	13.52'	N 26°59'47" W
C2	46.46' (46.48')	25.00' (25.00')	106°28'06"	40.05'	S 79°51'48" E
C3	158.26' (158.12')	1054.93' (1054.93')	8°35'43"	158.11'	N 22°19'53" W
C4	603.85' (603.88')	786.78' (786.78') {786.78'}	43°58'27"	589.14'	S 15°17'50" W
C5	94.94' (94.94')	1563.03' (1563.03')	3°28'49"	94.93'	N 44°11'05" E
C6	295.37'	786.78' (786.78') {786.78'}	21°30'34"	293.63'	S 17°26'40" E
C7	24.14' (24.20')	1513.03' (1513.03')	0°54'51"	24.14'	N 46°26'44" E

ACS Monument " 6-A14 "
NAD 1983 CENTRAL ZONE
X=1524030.519 *
Y=1534611.07 *
Z=5002.022 * (NAVD 1988)
G-C=0.999680128
Mapping Angle= -0°13'28.98"


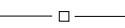
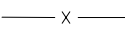
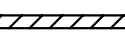











* U.S. SURVEY FOOT



**3615 NM State Highway 528
(aka Rio Rancho Blvd. / Alameda Blvd.)**

CSI-CARTESIAN SURVEYS INC.
P.O. BOX 44414 RIO RANCHO, N.M. 87174
Phone (505) 896 - 3050 Fax (505) 891 - 0244
wplotnerjr@gmail.com

Legend

N 90°00'00" E	MEASURED BEARINGS AND DISTANCES
(N 90°00'00" E)	RECORD BEARINGS AND DISTANCES (7/2/1993, 93C-189)
{N 90°00'00" E}	RECORD BEARINGS AND DISTANCES (9/7/2000, 2000C-233)
●	FOUND MONUMENT AS INDICATED
●R	FOUND 1/2" REBAR WITH CAP "LS 9750"
●PK	FOUND PK NAIL WITH TAG "LS 9750"
○	SET BATHEY MARKER "LS 14271" UNLESS OTHERWISE NOTED
	CONCRETE
	METAL GATE
	WIRE FENCE
	BLOCK WALL
	RETAINING WALL
	BOLLARD
	LIGHT POLE
	WATER VALVE
	WATER METER
	FIRE HYDRANT
	SANITARY SEWER MANHOLE
	IRRIGATION BOX
	STORM DRAIN MANHOLE
	STORM DRAIN INLET
	CURB CUT/INDICATION OF ACCESS TO ROADWAY

Easement Notes

- 13

14

1
- EXISTING 50' ROADWAY & TEMPORARY DRAINAGE EASEMENT (4/20/1982, VOL. MISC. 924, PG. 741) AND (6/21/1993, VOL. 93-16, PG. 1505-1510)

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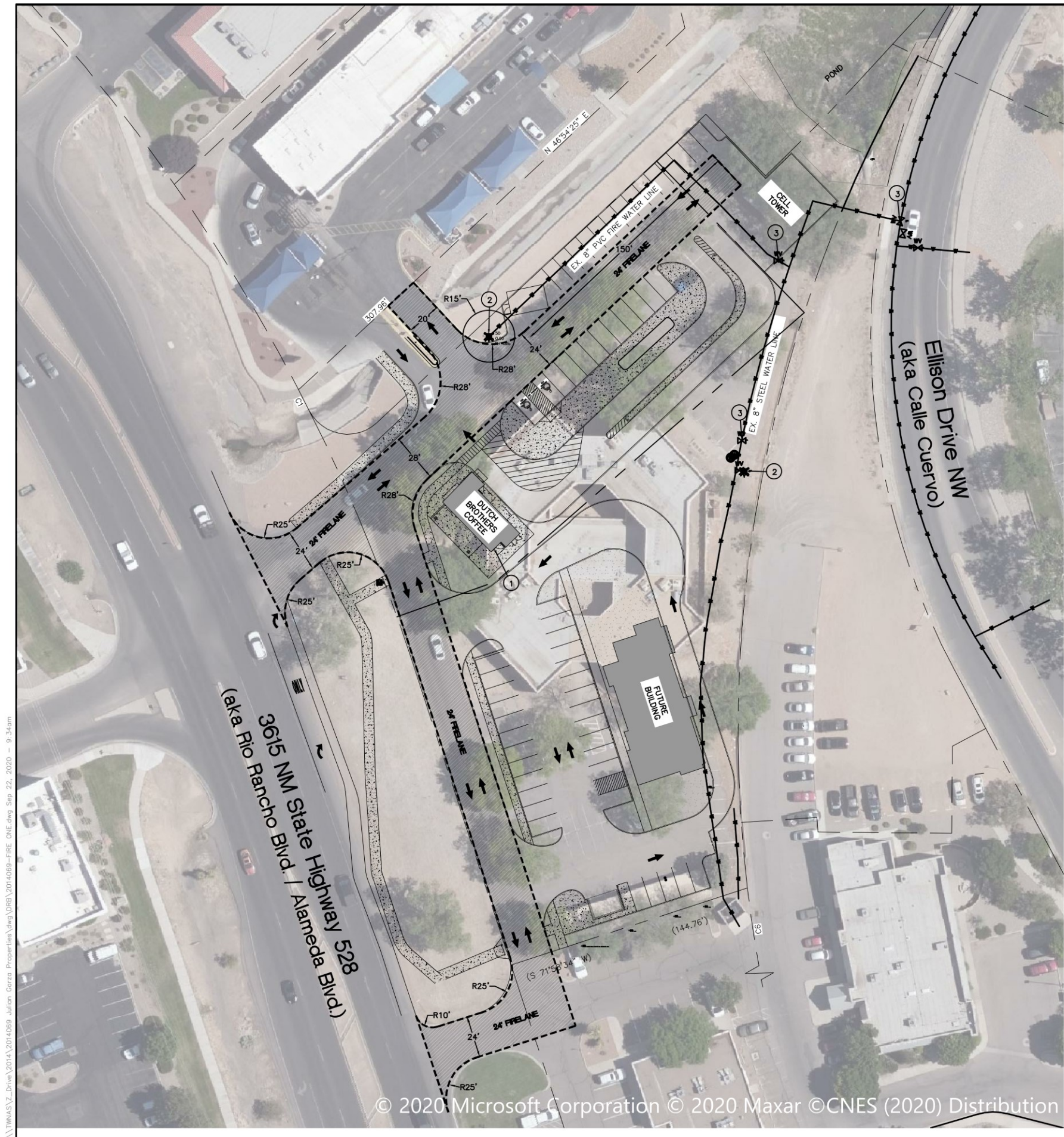
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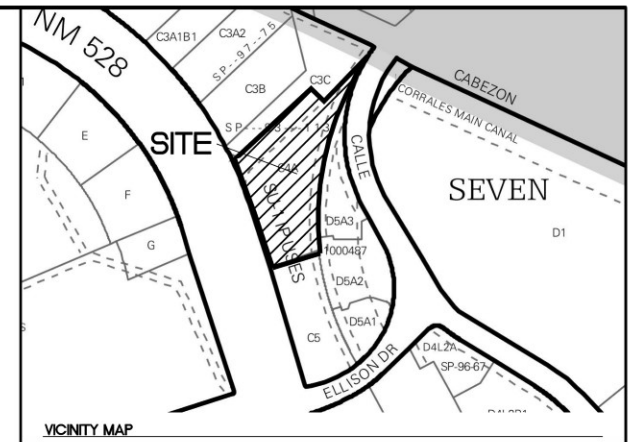
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15

Boundary Survey
and
ALTA/NSPS Land Title Survey
for
Tract C-4-A
Seven Bar Ranch
City of Albuquerque
Bernalillo County, New Mexico
June 2019



- LEGEND**
- CURB & GUTTER
 - BOUNDARY LINE
 - BUILDING
 - EXISTING CURB & GUTTER
 - FIRE ACCESS
 - EXISTING HYDRANT
 - EXISTING GATE VALVE



LEGAL DESCRIPTION:

NOTES:

- ON SITE FIRE LANE ROAD SHALL BE MARKED ON BOTH SIDES, AS DIRECTED BY FIRE MARSHALL.
- FIRE APPARATUS ACCESS ROADS SHALL NOT EXCEED 10 PERCENT IN GRADE AND SHALL HAVE AN ALL WEATHER DRIVING SURFACE CAPABLE OF SUPPORTING THE IMPOSED LOAD OF FIRE APPARATUS WEIGHING AT LEAST 75000 LBS
- KEY BOX (KNOX BOX) SHALL BE MOUNTED BETWEEN 4 AND 6 FEET ABOVE GRADE AND SHALL BE ILLUMINATED.

DUTCH BROTHERS COFFEE
ALAMEDA BLVD AND ELLISON DRIVE NW
ALBUQUERQUE, NM 87114

DRIVE THRU COFFEE SHOP
OCCUPANCY TYPE: ASSEMBLY (GROUP A-2)
LOT AREA: 32,600 SF (0.75 ACRES)
BUILDING AREA: 900 SF

CONSTRUCTION TYPE: V-B

NOT SPRINKLED
MAX BUILDING HEIGHT: 28'

KEYED NOTES

- ① KNOX BOX
- ② EXISTING FIRE HYDRANT
- ③ EXISTING 8" GATE VALVE



GRAPHIC SCALE



FIRE 1 PERMIT
ALBUQUERQUE FIRE MARSHAL'S
OFFICE PLANS CHECK DIVISION
PERMIT NUMBER: 20-004087
APPROVED BY: [Signature]
APPROVED DATE: 9/22/2020
SFT: 1500 CONSTRUCTION TYPE: V-B
SPR: 900
THESE CONSTRUCTION DOCUMENTS WERE REVIEWED AND APPROVED BY
THE ALBUQUERQUE FIRE MARSHAL'S OFFICE IN ACCORDANCE WITH CITY
ORDINANCE, THE INTERNATIONAL FIRE CODE AND NFPA STANDARDS.
THIS PERMIT IS VALID FOR 180 DAYS. FINAL INSPECTION IS REQUIRED.

CAUTION

ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

ENGINEER'S SEAL RONALD R. BOHANNAN P.E. #7868	NM 528 AND ELLISON DR DUTCH BROTHERS	DRAWN BY LN
	FIRE 1 PLAN	DATE 9-18-2020
TERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.terrawestllc.com		DRAWING 2014069-FIRE ONE
		SHEET # F1
		JOB # 2014069