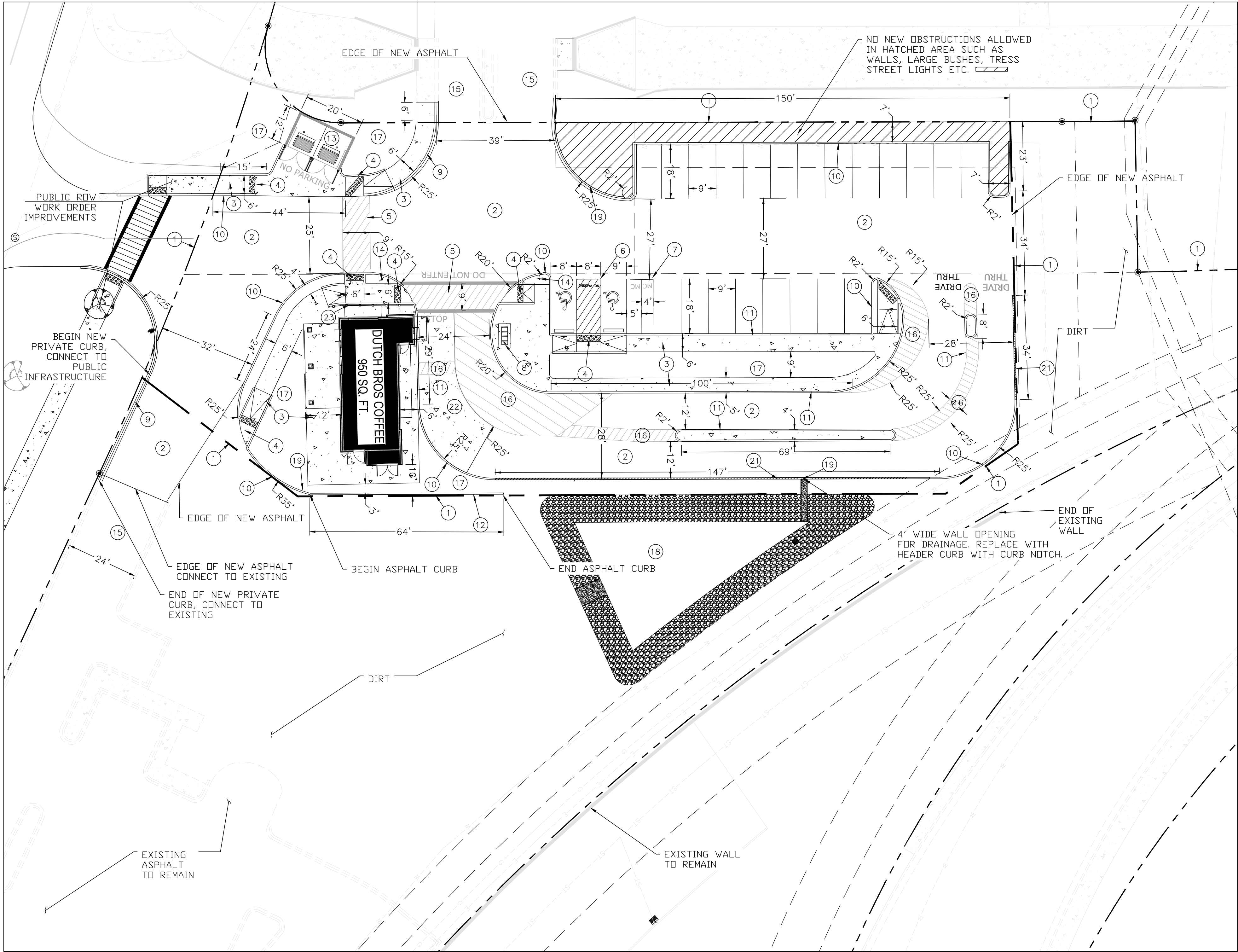


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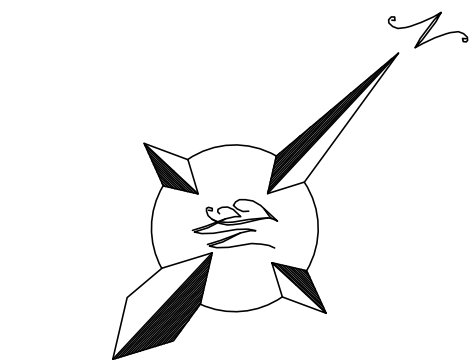


NOTES

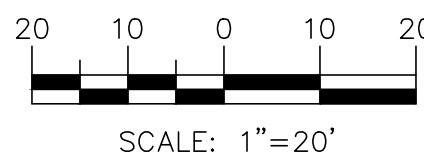
1. LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
2. ALL SIGNS TO BE COVERED WITH ANTI GRAFFITI COATING.
3. ALL SIGNS AND STRIPING SHALL BE MADE IN ACCORDANCE WITH THE MUTCD (CURRENT EDITION) SPECIFICATIONS AND COA STANDARDS.
4. ALL SYMBOLS AND ARROWS STRIPING TO BE PREFORMED HOT APPLIED THERMOPLASTIC TAPE.
5. ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST BE INCLUDED ON THE WORK ORDER.
6. ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK AND CURB AND GUTTER PER COA STANDARDS.
7. ALL NEW REFUSE ENCLOSURES MUST BE BUILT TO COA MINIMUM SPEC. REQUIREMENTS INCLUDING SANITARY DRAINS.
8. GROUND MOUNTED EQUIPMENT SCREENING WILL BE DESIGNED TO ALLOW FOR ACCESS TO UTILITY FACILITIES. ALL SCREENING AND VEGETATION SURROUNDING GROUND MOUNTED TRANSFORMERS AND UTILITY PADS ARE TO ALLOW 10' OF CLEARANCE IN FRONT OF THE EQUIPMENT DOOR AND 5'-6' OF CLEARANCE ON THE REMAINING SIDES FOR SAFE OPERATION, MAINTENANCE AND REPAIR PURPOSES. REFER PNM ELECTRICAL SERVICE GUIDE AT WWW.PNM.COM FOR SPECIFICATIONS.
9. ALL LIGHTING SHALL COMPLY WITH THE STANDARDS OF THE CITY OF ALBUQUERQUE INTEGRATED DEVELOPMENT ORDINANCE (IDO), SECTION 14-16-5-8, OUTDOOR AND SITE LIGHTING.

GENERAL NOTES:

1. LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNER INCLUDING THAT WITHIN THE CITY RIGHT-OF-WAY.
2. ROOF EQUIPMENT SHALL BE BELOW PARAPET HEIGHT AND SCREENED FROM VIEW FROM THE PROPERTY LINES OF THIS SITE. ALL GROUND MOUNTED EQUIPMENT SHALL BE SCREENED BY SCREEN WALLS WITH TOP OF EQUIPMENT BELOW TOP OF SCREEN WALL.
3. NO FREESTANDING CELL TOWERS OR ANTENNA SHALL BE PERMITTED. ANY WIRELESS COMMUNICATIONS FACILITIES SHALL BE INTEGRATED INTO THE BUILDING ARCHITECTURE.
4. LANDSCAPING, FENCING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
5. LIGHT FIXTURES SHALL BE INSTALLED WITH FULL CUT OFF SHIELDS ON FIXTURES SO THAT NO FUGITIVE LIGHT SHALL ESCAPE BEYOND THE PROPERTY LINE.



GRAPHIC SCALE

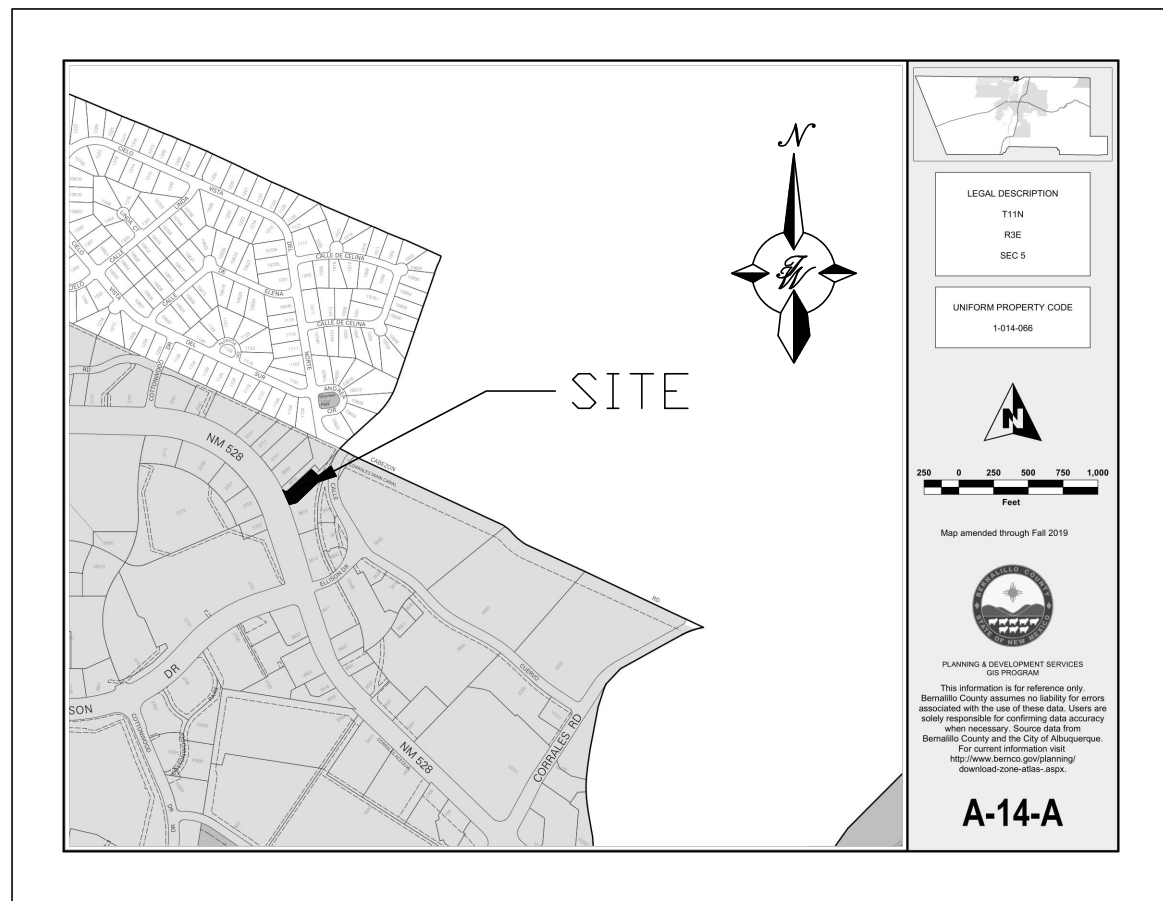


LEGEND

- CURB & GUTTER
- EASEMENT
- PROPERTY LINE
- PROPOSED BUILDING
- SIDEWALK
- STREET LIGHTS
- SCREEN WALL
- STRIPING
- EXISTING CURB & GUTTER
- EXISTING SIDEWALK
- EXISTING TO REMAIN
- EXISTING TREES TO REMAIN (TYP)
- EXISTING RETAINING WALL

KEYED NOTES

- 1 PROPERTY LINE
- 2 NEW ASPHALT PAVEMENT (SEE DETAIL, SHEET C6.1)
- 3 CONCRETE SIDEWALK (SEE DETAIL, SHEET C6.1)
- 4 ADA CURB RAMP (SEE DETAILS, SHEET C6.1)
- 5 9' WIDE CROSS WALK (SEE DETAIL, SHEET C6.1)
- 6 ADA PARKING WITH SIGN (SEE DETAILS, SHEET C6.1)
- 7 MOTORCYCLE PARKING WITH SIGN (SEE DETAIL, SHEET C6.1) INCLUDING "MC" PAVEMENT MARKING PER COA CODES
- 8 BIKE RACKS (SEE DETAIL, SHEET C6.2)
- 9 6" PRIVATE CURB AND GUTTER (SEE DETAIL, SHEET C6.2)
- 10 HEADER CURB (SEE DETAIL, SHEET C6.2)
- 11 TURN DOWN CURB (SEE DETAIL, SHEET C6.2)
- 12 TEMPORARY ASPHALT CURB (SEE DETAIL, SHEET C6.2)
- 13 DOUBLE DUMPSTER ENCLOSURE PAINTED TAN (REFER ARCHITECTURAL DWG)
- 14 DO NOT ENTER SIGNAGE (SEE DETAIL, SHEET C6.2)
- 15 EXISTING ASPHALT TO REMAIN
- 16 STRIPING
- 17 LANDSCAPE AREA
- 18 DETENTION POND AREA
- 19 CURB NOTCH (SEE DETAIL, SHEET C6.3)
- 20 NOT USED
- 21 6' SCREEN WALL MEASURED FROM FINISHED GROUND TO TOP OF WALL, PAINTED TAN (SEE DETAIL, SHEET C6.2)
- 22 PORTLAND CEMENT CONCRETE PAVING (SEE DETAIL SHEET C6.2)
- 23 INSTALL NEW HAND RAILS (SEE DETAIL, SHEET C6.2 OR SIMILAR)



VICINITY MAP:

A-14-A

SITE DATA

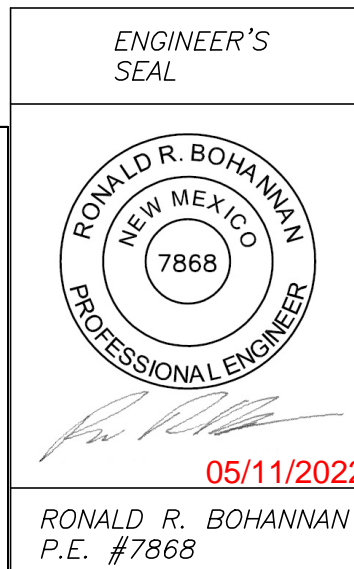
DUTCH BROTHERS COFFEE

IDO ZONING: NR-BP
PROPOSED USAGE: DRIVE THRU RESTAURANT
LOT AREA: 0.75 ACRE
BUILDING AREA: 950 SF
PARKING: SPACES REQUIRED: 8
(8 SPACES/ 1,000 SF)
PARKING: SPACES PROVIDED: 23
(INCLUDES HC PARKING)
HC PARKING: SPACES REQUIRED: 2
HC PARKING: SPACES PROVIDED: 2
(1 VAN ACCESSIBLE)
MC PARKING: SPACES REQUIRED: 1
(1 PER 1-25 REQUIRED PARKING SPACES)
MC PARKING: SPACES PROVIDED: 2
BICYCLE PARKING: SPACES REQUIRED: 3
(3 SPACES OR 10% OF REQUIRED PARKING)
BICYCLE PARKING: SPACES PROVIDED: 4
LANDSCAPE AREA PROVIDED: 5,023 SF

INDEX TO DRAWINGS

- C1. DEMO PLAN
- C2. SITE PLAN
- C3. GRADING PLAN
- C4. DRAINAGE PLAN
- C5. MASTER UTILITY PLAN
- C6. DETAIL SHEETS
- C7. EROSION AND SEDIMENT CONTROL PLAN
- L1. LANDSCAPING PLAN

FOR REFERENCE ONLY



DUTCH BRO'S 3615 NM 528, ABO SITE PLAN	DRAWN BY LN
	DATE 07/26/2021
TIERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	DRAWING 2014069-SPE
	SHEET # C2
JOB # 2020091	