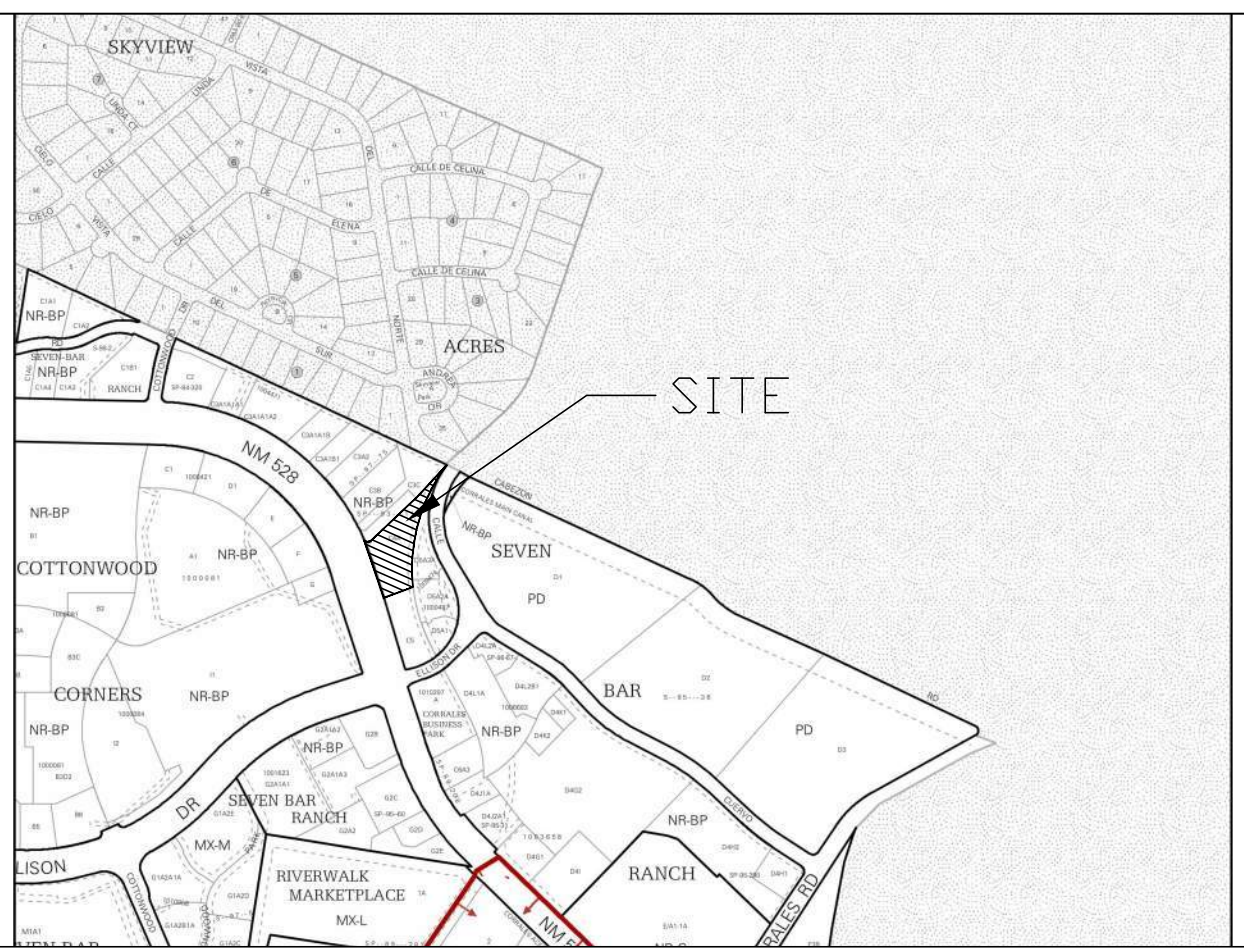
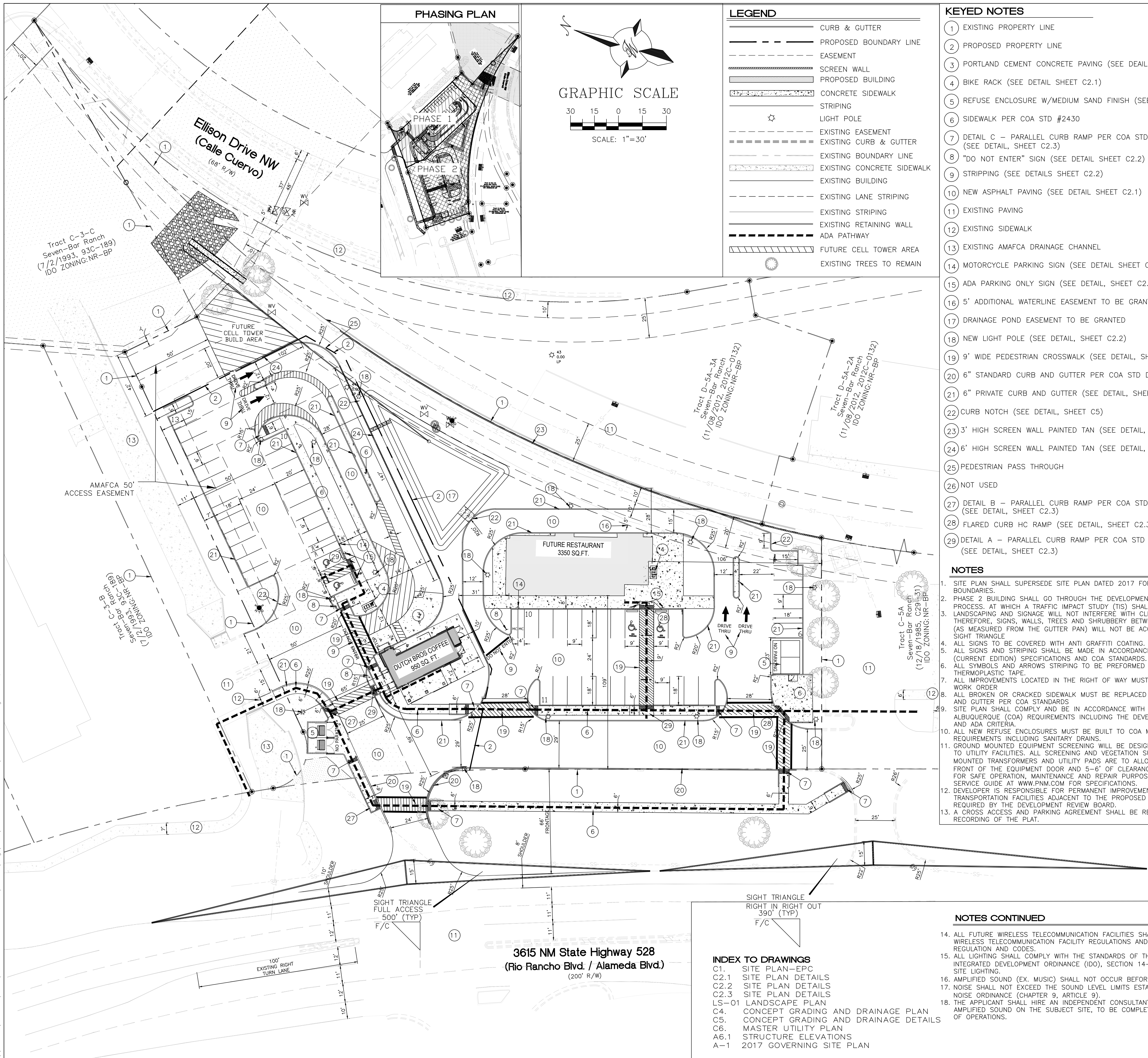


\\TWMAS\Z_Drive\2014\2014069-Julian.Gorzo.Properties\dwg\DRB\NW-528 and Ellison\2014069-SDP.dwg Jan 21, 2022 -- 10:30am



VICINITY MAP: A-14-A

LEGAL DESCRIPTION:
TRACT C-4-A PLAT OF TRACTS C3A C3B C3C AND C4A SEVEN BAR RANCH CONT 1.99 AC M/L OR 86,684 SQ FT M/L

SITE DATA

DUTCH BROTHERS COFFEE	FUTURE RESTAURANT
IDO ZONING: NR-BP	IDO ZONING: NR-BP
PROPOSED USAGE: DRIVE THRU RESTAURANT	PROPOSED USAGE: FAST FOOD RESTAURANT
LOT AREA: 32,670 SF (0.75 ACRE)	LOT AREA: 54,014 SF (1.24 ACRE)
BUILDING AREA: 950 SF	BUILDING AREA: 3,350 SF
PARKING: SPACES REQUIRED: 8 (8 SPACES/ 1,000 SF)	PARKING: SPACES REQUIRED: 27 (8 SPACES/ 1,000 SF)
PARKING: SPACES PROVIDED: 23 (INCLUDES HC PARKING)	PARKING: SPACES PROVIDED: 27 (INCLUDES HC PARKING)
HC PARKING: SPACES REQUIRED: 2 HC PARKING: SPACES PROVIDED: 2	HC PARKING: SPACES REQUIRED: 2 HC PARKING: SPACES PROVIDED: 2
(1 VAN ACCESSIBLE)	(1 VAN ACCESSIBLE)
MC PARKING: SPACES REQUIRED: 1 (1 PER 1-25 REQUIRED PARKING SPACES)	MC PARKING: SPACES REQUIRED: 2 (1 PER 1-25 REQUIRED PARKING SPACES)
MC PARKING: SPACES PROVIDED: 2	MC PARKING: SPACES PROVIDED: 2
BICYCLE PARKING: SPACES REQUIRED: 3 (3 SPACES OR 10% OF REQUIRED PARKING)	BICYCLE PARKING: SPACES REQUIRED: 3 (3 SPACES OR 10% OF REQUIRED PARKING)
BICYCLE PARKING: SPACES PROVIDED: 4	BICYCLE PARKING: SPACES PROVIDED: 4
LANDSCAPE AREA REQUIRED: 4,758 SF LANDSCAPE AREA PROVIDED: 5,071 SF	LANDSCAPE AREA REQUIRED: 7,665 SF LANDSCAPE AREA PROVIDED: 13,047 SF
REQUIRED ADJACENT WALKWAY WIDTH: 8' FROM IDO TABLE 5-3-1 (BUILDING SIZE < 10,000 SF = 8')	REQUIRED ADJACENT WALKWAY WIDTH: 8' FROM IDO TABLE 5-3-1 (BUILDING SIZE < 10,000 SF = 8')

NOTES

1. SITE PLAN SHALL SUPERSEDE SITE PLAN DATED 2017 FOR THE SAME GEOGRAPHICAL BOUNDARIES.
2. PHASE 2 BUILDING SHALL GO THROUGH THE DEVELOPMENT REVIEW BOARD (DRB) PROCESS, AT WHICH A TRAFFIC IMPACT STUDY (TIS) SHALL BE REQUIRED.
3. LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
4. ALL SIGNS TO BE COVERED WITH ANTI GRAFFITI COATING.
5. ALL SIGNS AND STRIPING SHALL BE MADE IN ACCORDANCE WITH THE MUTCD (CURRENT EDITION) SPECIFICATIONS AND COA STANDARDS.
6. ALL SYMBOLS AND ARROWS STRIPING TO BE PERFORMED HOT APPLIED THERMOPLASTIC TAPE.
7. ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST BE INCLUDED ON THE WORK ORDER.
8. ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK AND CURB AND GUTTER PER COA STANDARDS.
9. SITE PLAN SHALL COMPLY AND BE IN ACCORDANCE WITH ALL APPLICABLE CITY OF ALBUQUERQUE (COA) REQUIREMENTS INCLUDING THE DEVELOPMENT PROCESS MANUAL AND ADA CRITERIA.
10. ALL NEW REFUSE ENCLOSURES MUST BE BUILT TO COA MINIMUM SPEC. REQUIREMENTS INCLUDING SANITARY DRAINS.
11. GROUND MOUNTED EQUIPMENT SCREENING WILL BE DESIGNED TO ALLOW FOR ACCESS TO UTILITY FACILITIES. ALL SCREENING AND VEGETATION SURROUNDING GROUND MOUNTED TRANSFORMERS AND UTILITY PADS ARE TO ALLOW 10' OF CLEARANCE IN FRONT OF THE EQUIPMENT DOOR AND 5'-6' OF CLEARANCE ON THE REMAINING SIDES FOR SAFE OPERATION, MAINTENANCE AND REPAIR PURPOSES. REFER PNM ELECTRICAL SERVICE GUIDE AT WWW.PNM.COM FOR SPECIFICATIONS.
12. DEVELOPER IS RESPONSIBLE FOR PERMANENT IMPROVEMENTS TO THE TRANSPORTATION FACILITIES ADJACENT TO THE PROPOSED DEVELOPMENT SITE, AS REQUIRED BY THE DEVELOPMENT REVIEW BOARD.
13. A CROSS ACCESS AND PARKING AGREEMENT SHALL BE RECORDED PRIOR TO THE RECORDING OF THE PLAT.

NOTES CONTINUED

14. ALL FUTURE WIRELESS TELECOMMUNICATION FACILITIES SHALL FOLLOW ALL COA WIRELESS TELECOMMUNICATION FACILITY REGULATIONS AND APPLICABLE COA STANDARD REGULATION AND CODES.
15. ALL LIGHTING SHALL COMPLY WITH THE STANDARDS OF THE CITY OF ALBUQUERQUE INTEGRATED DEVELOPMENT ORDINANCE (IDO), SECTION 14-16-5-8, OUTDOOR AND SITE LIGHTING.
16. AMPLIFIED SOUND (EX. MUSIC) SHALL NOT OCCUR BEFORE 10 AM AND AFTER 5 PM.
17. NOISE SHALL NOT EXCEED THE SOUND LEVEL LIMITS ESTABLISHED BY THE CITY'S NOISE ORDINANCE (CHAPTER 9, ARTICLE 9).
18. THE APPLICANT SHALL HIRE AN INDEPENDENT CONSULTANT TO CONDUCT A STUDY OF AMPLIFIED SOUND ON THE SUBJECT SITE, TO BE COMPLETED WITHIN THE FIRST YEAR OF OPERATIONS.

INDEX TO DRAWINGS

- C1. SITE PLAN-EPC
- C2.1 SITE PLAN DETAILS
- C2.2 SITE PLAN DETAILS
- C2.3 SITE PLAN DETAILS
- LS-01 LANDSCAPE PLAN
- C4. CONCEPT GRADING AND DRAINAGE PLAN
- C5. CONCEPT GRADING AND DRAINAGE DETAILS
- C6. MASTER UTILITY PLAN
- A6.1 STRUCTURE ELEVATIONS
- A-1 2017 GOVERNING SITE PLAN

PROJECT NUMBER: PR-2021-005222
APPLICATION NUMBER: SI-2021-01237

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated _____, and the Findings and Conditions in the Official Notification of Decision are satisfied.

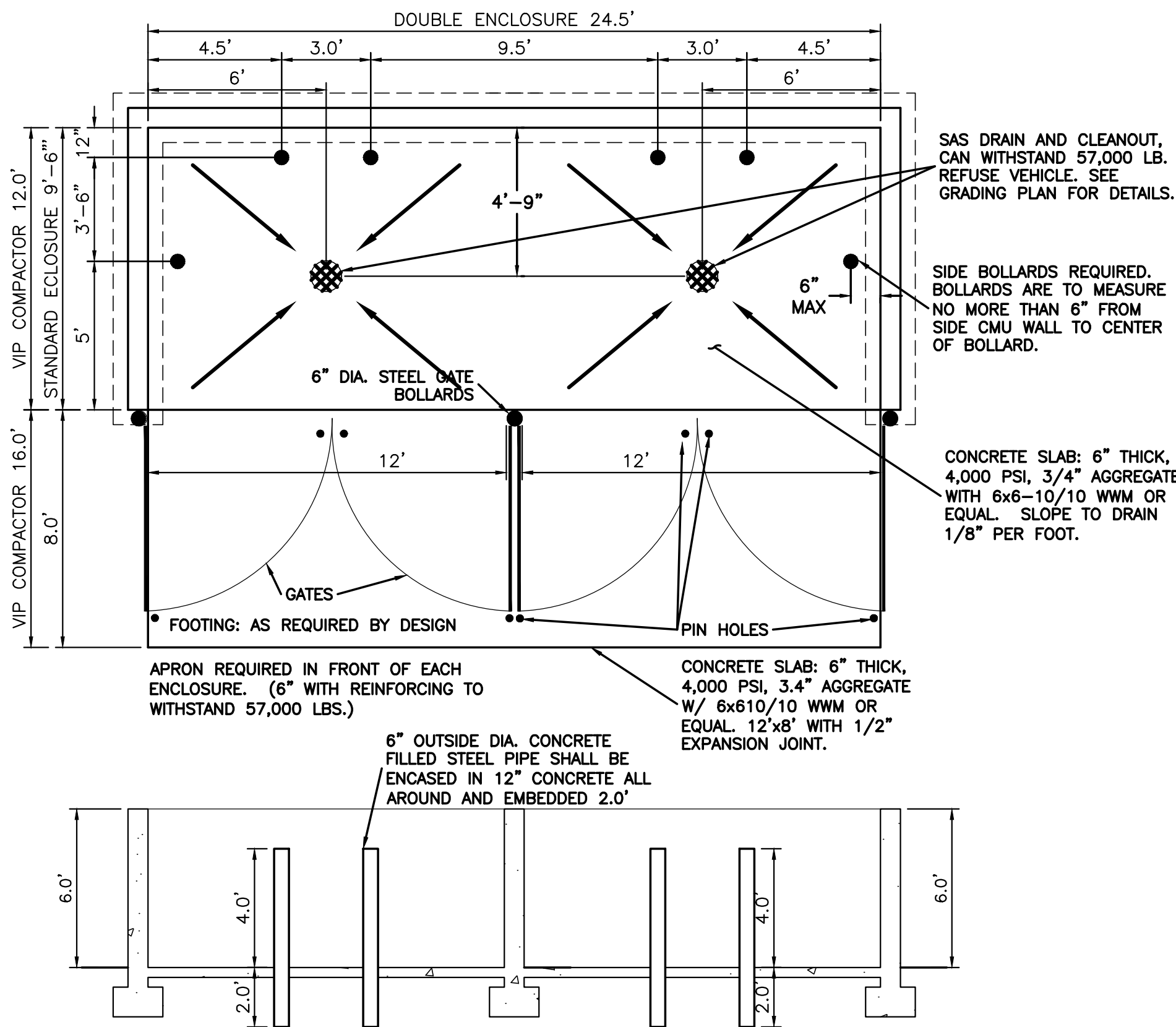
Is an Infrastructure List required? () Yes () No If Yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

Traffic Engineer, Transportation Division	Date
ABCWUA	Date
Parks & Recreation Department	Date
City Engineer/Hydrology	Date
Code Enforcement	Date
*Environmental Health Department (conditional)	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

* Environmental Health, if necessary

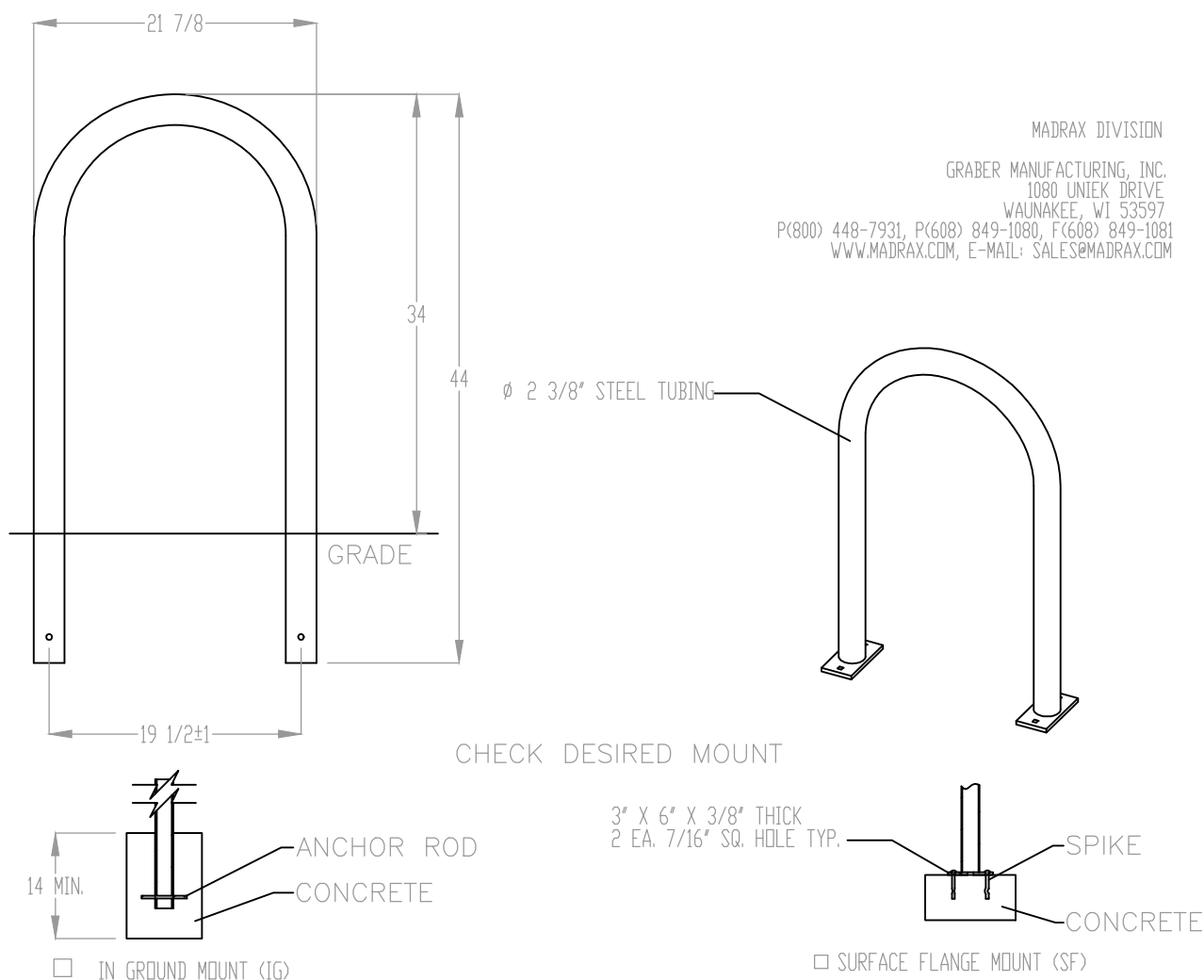
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<div>ENGINEER'S SEAL</div> <div>RONALD R. BOHANNAN NEW MEXICO 7868 PROFESSIONAL ENGINEER 11/17/2021 RONALD R. BOHANNAN P.E. #7868</div>	NM 528 AND ELLISON 3615 HWY 528 SITE PLAN - EPC	DRAWN BY LN
		DATE 11/17/2021
		DRAWING 2014069-SPE
		SHEET # C1
<div>TERRA WEST, LLC</div> <div>5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com</div>		JOB # 2020091



- NOTE:
1. THESE ARE THE MINIMUM REQUIREMENTS FOR TRASH ENCLOSURES. DESIGNS MAY VARY TO FIT THE SELECTED ENCLOSURE.
 2. SOLID WASTE IS TO PROVIDE ALL INSPECTIONS ON THE TRASH ENCLOSURE SUCH AS PRE-POUR FOR SLAB AND APRON, BOND BEAM, BOLLARD, AND FINAL INSPECTION WILL BE CONTINGENT FOR SOLID WASTE SIGN OFF FOR FINAL CO.

DUMPSTER w/SAS DRAIN - ENCLOSURE DETAIL

NTS

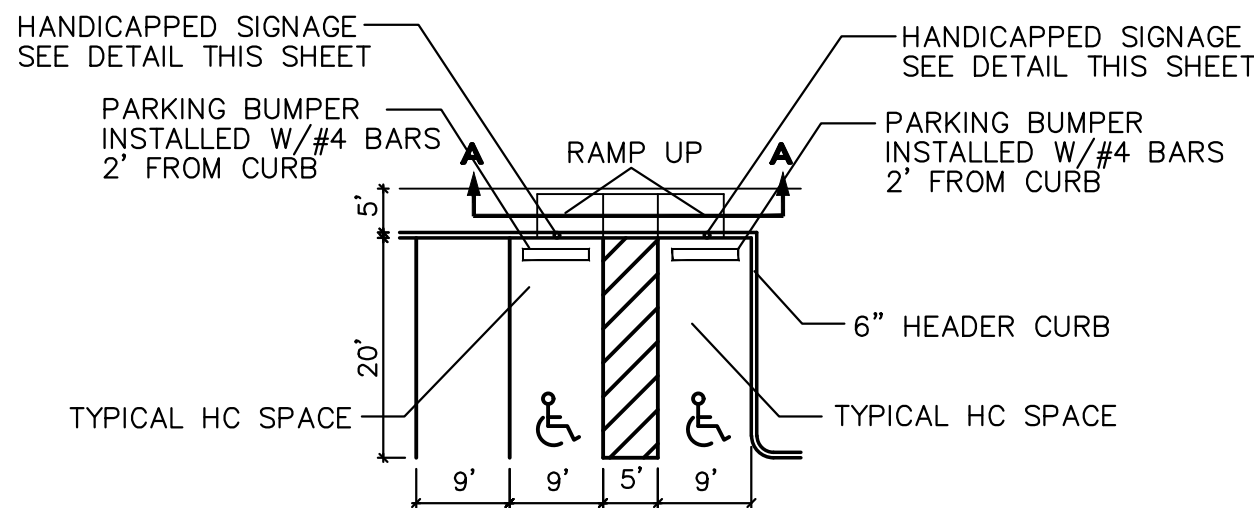


PRODUCT: U238-1G(SF)
DESCRIPTION: 10\"/>

©2008 GRABER MANUFACTURING, INC. ALL PROPRIETARY RIGHTS RESERVED.

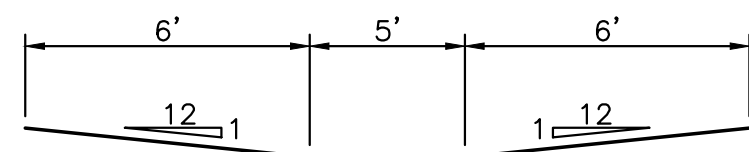
BIKE RACK

SCALE: NONE



HC PARKING DETAIL

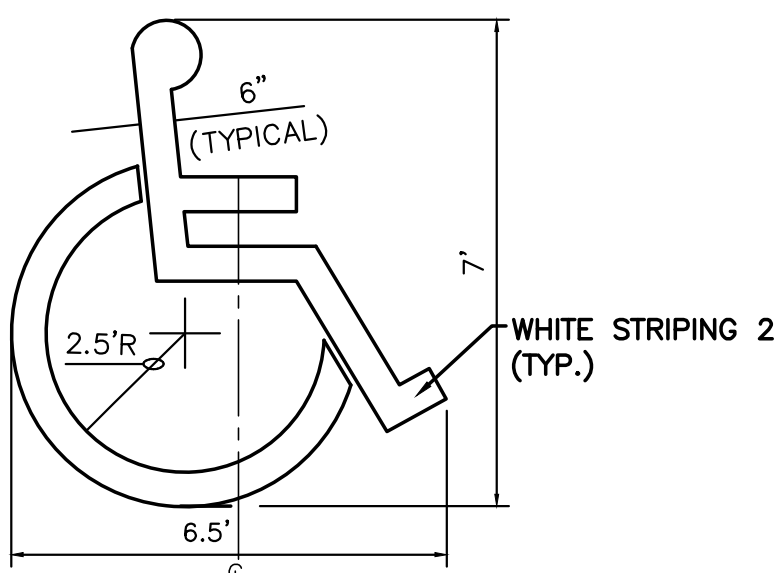
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HC PARKING DETAIL SECTION A-A

NTS

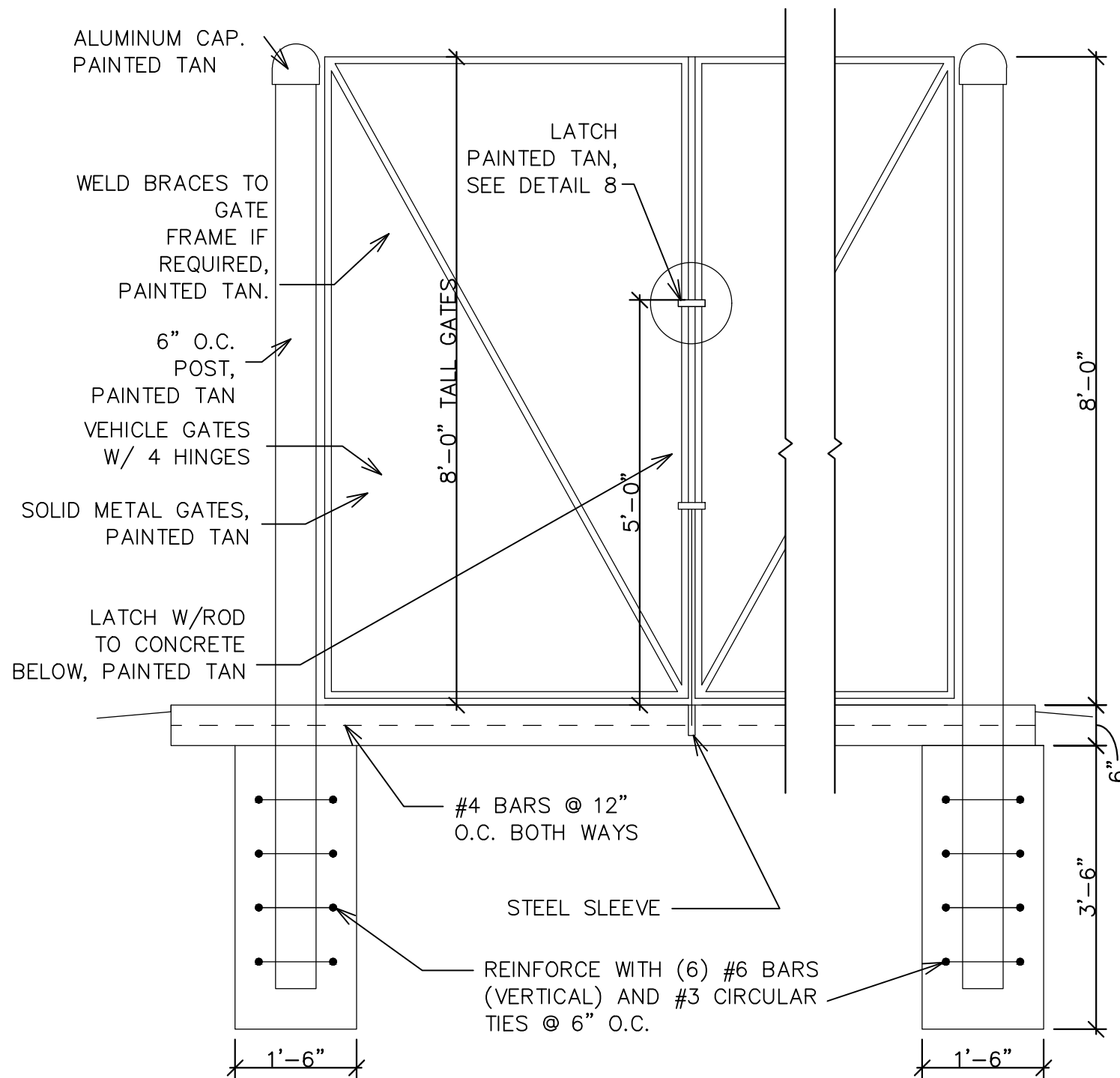
- NOTES:
- 1) International Symbol of Accessibility shall be painted on the pavement at rear of space, white symbol on blue background.
 - 2) Parking space lines and diagonal striping to be painted blue and shall be 4\"/>



LOCATE AT EDGE OF PARKING SPACE UNLESS ACCOMPANIED BY "VAN" LETTERING

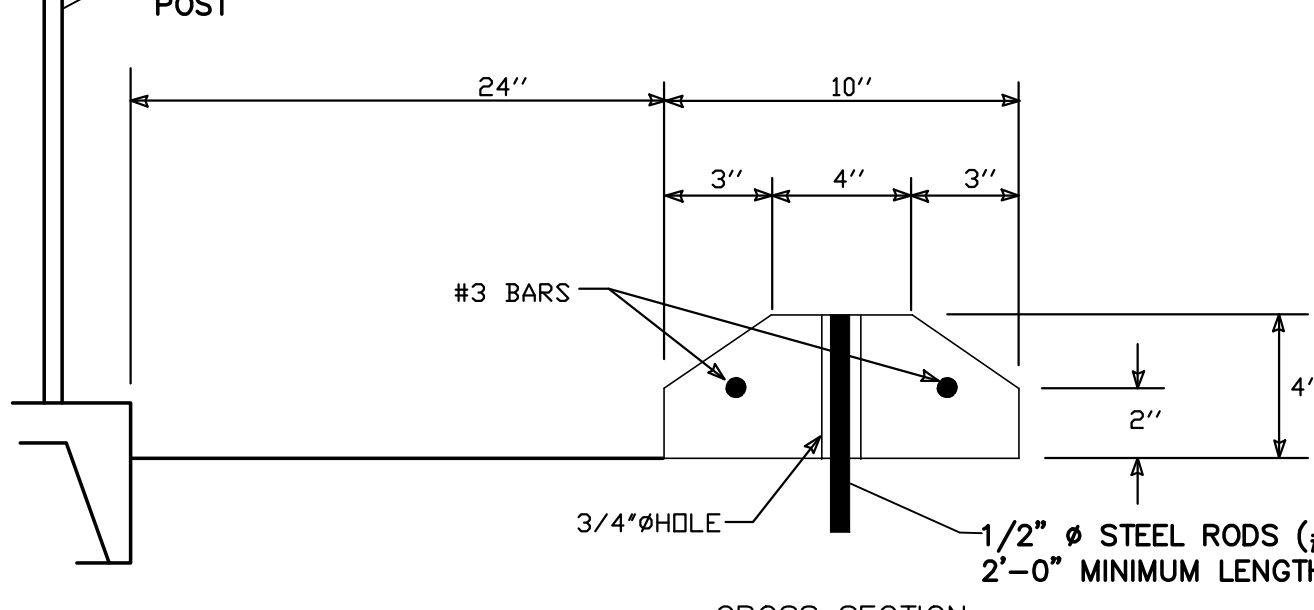
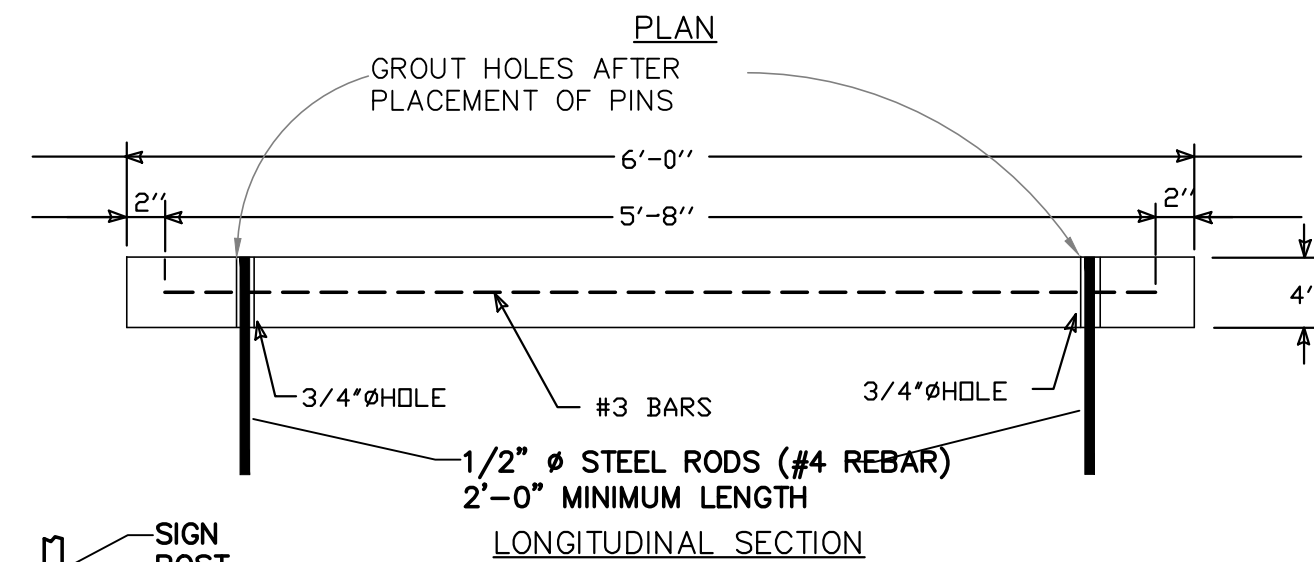
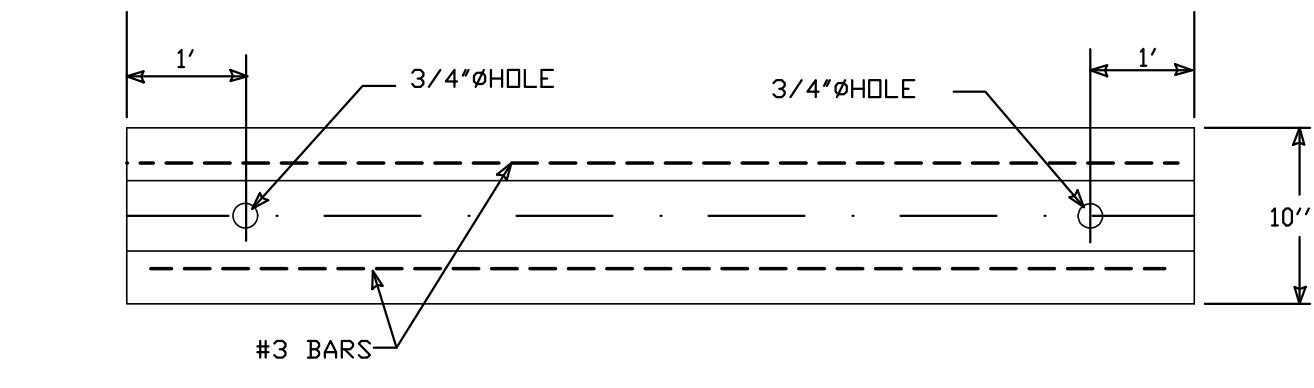
ACCESSIBLE PARKING SYMBOL

NTS



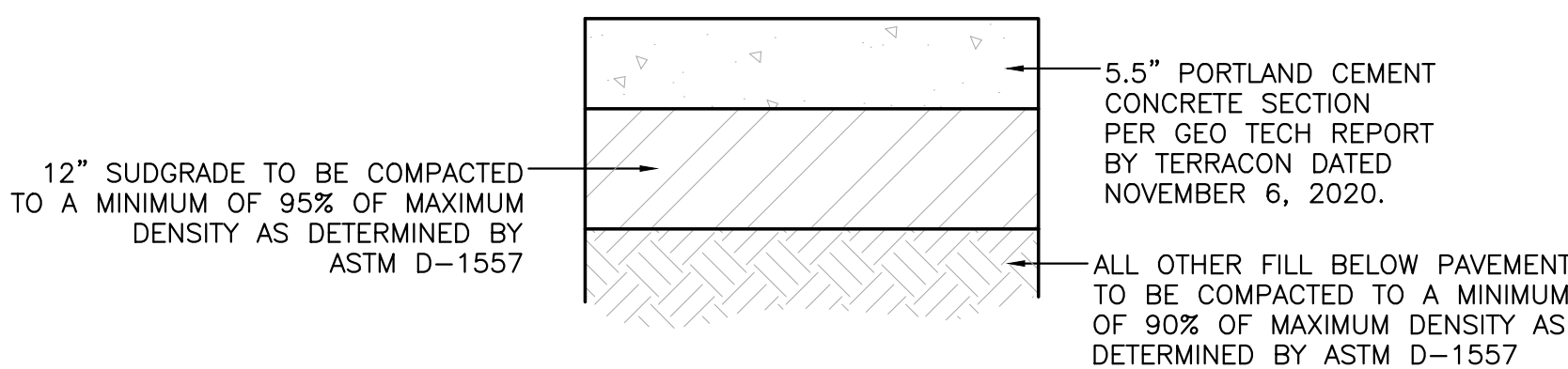
Dumpster Enclosure Gate Latch Detail

SCALE: NONE



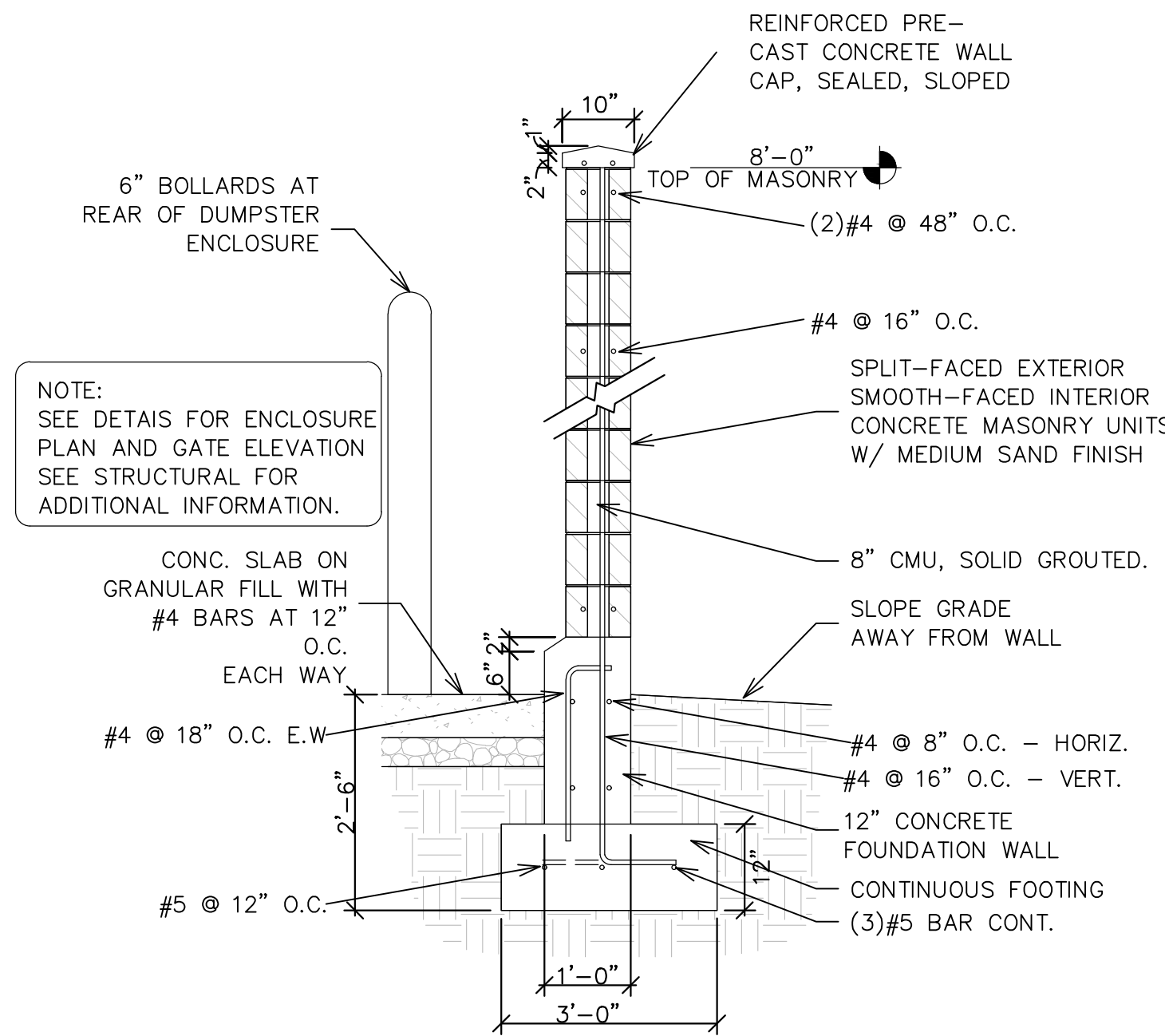
WHEEL STOP

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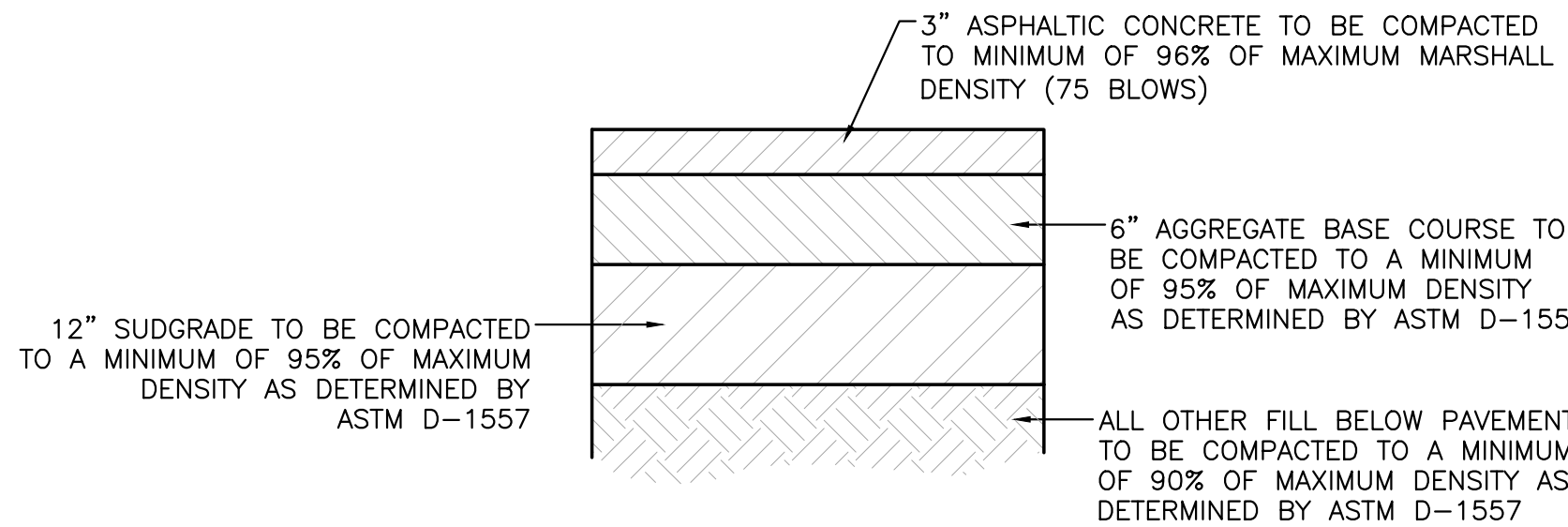
PC CONCRETE PAVEMENT SECTION

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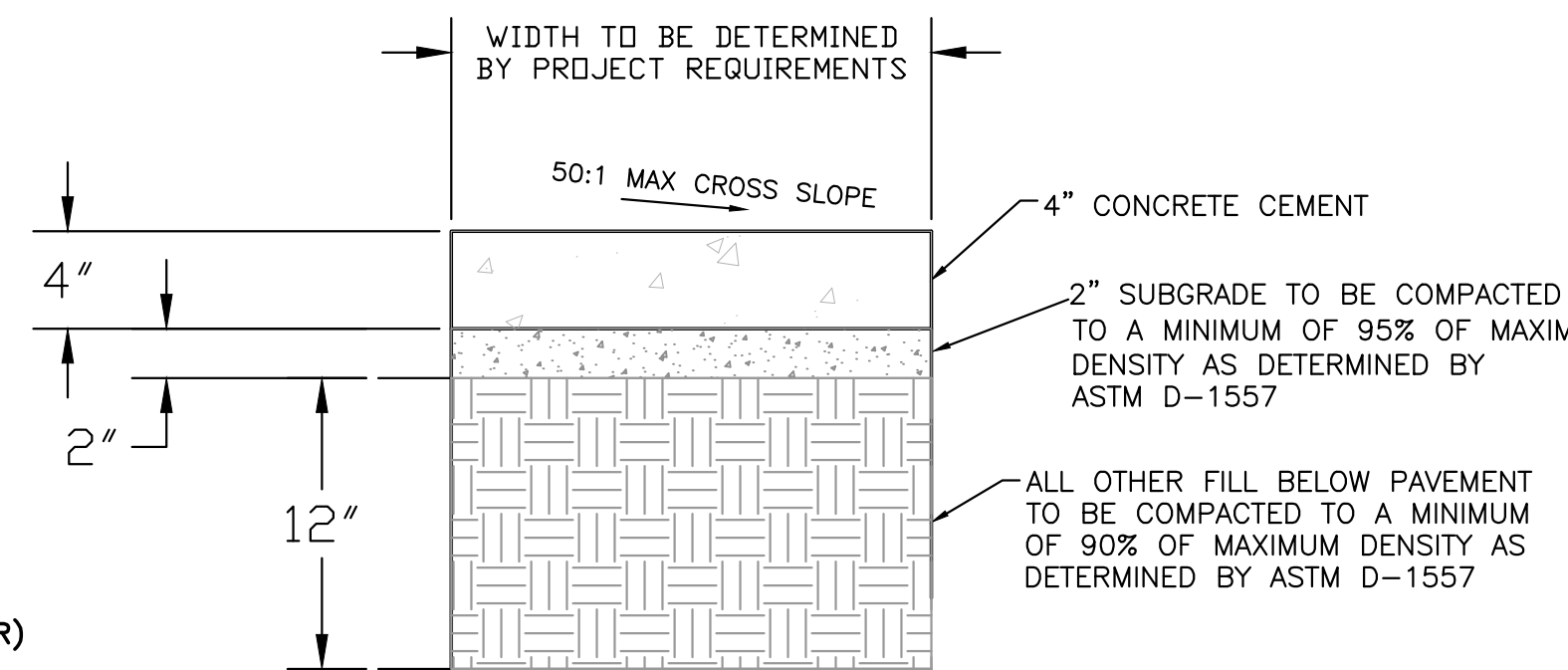
Dumpster Enclosure Wall Section

SCALE: NONE



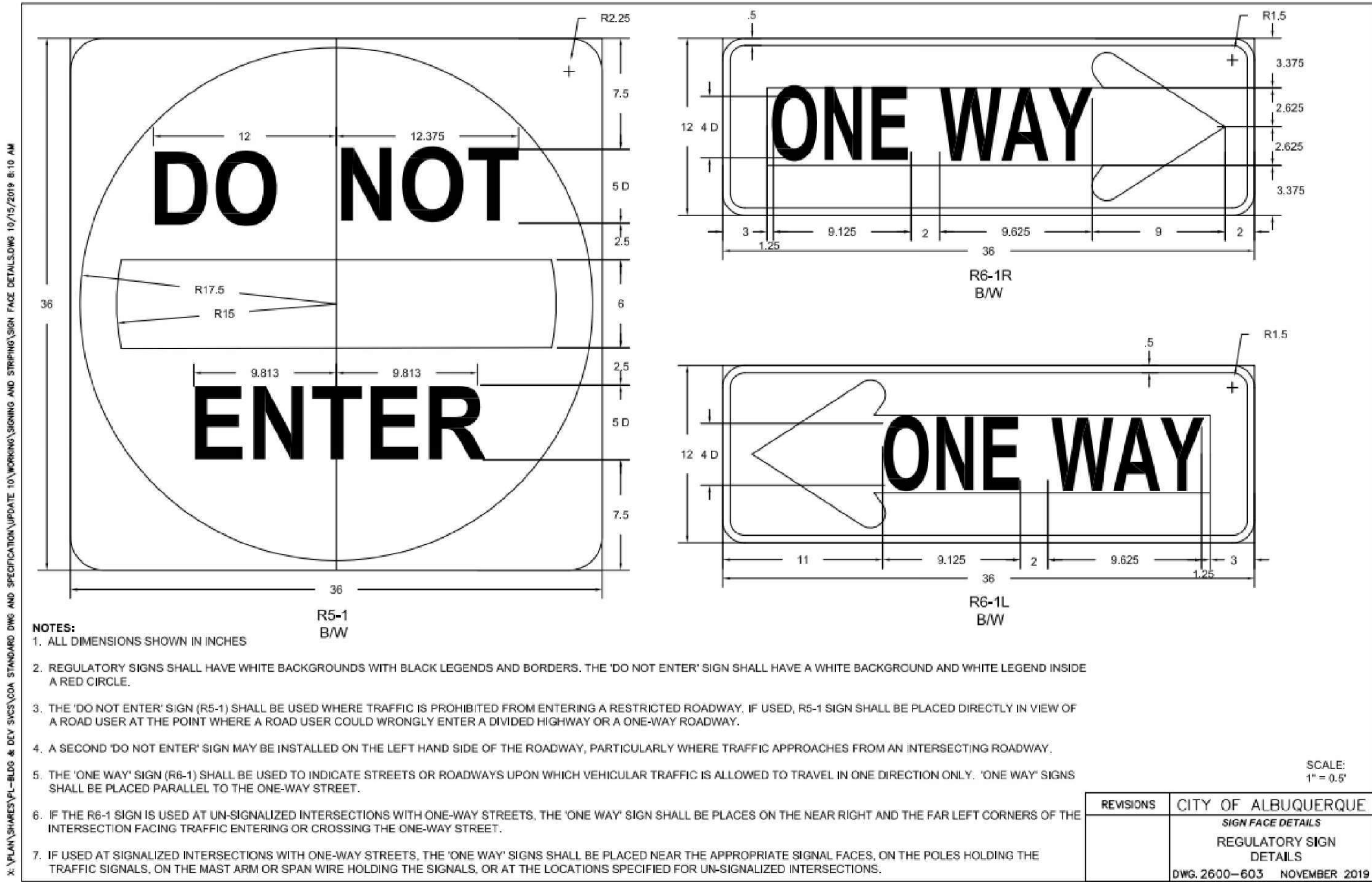
SITE ASPHALT PAVEMENT SECTION

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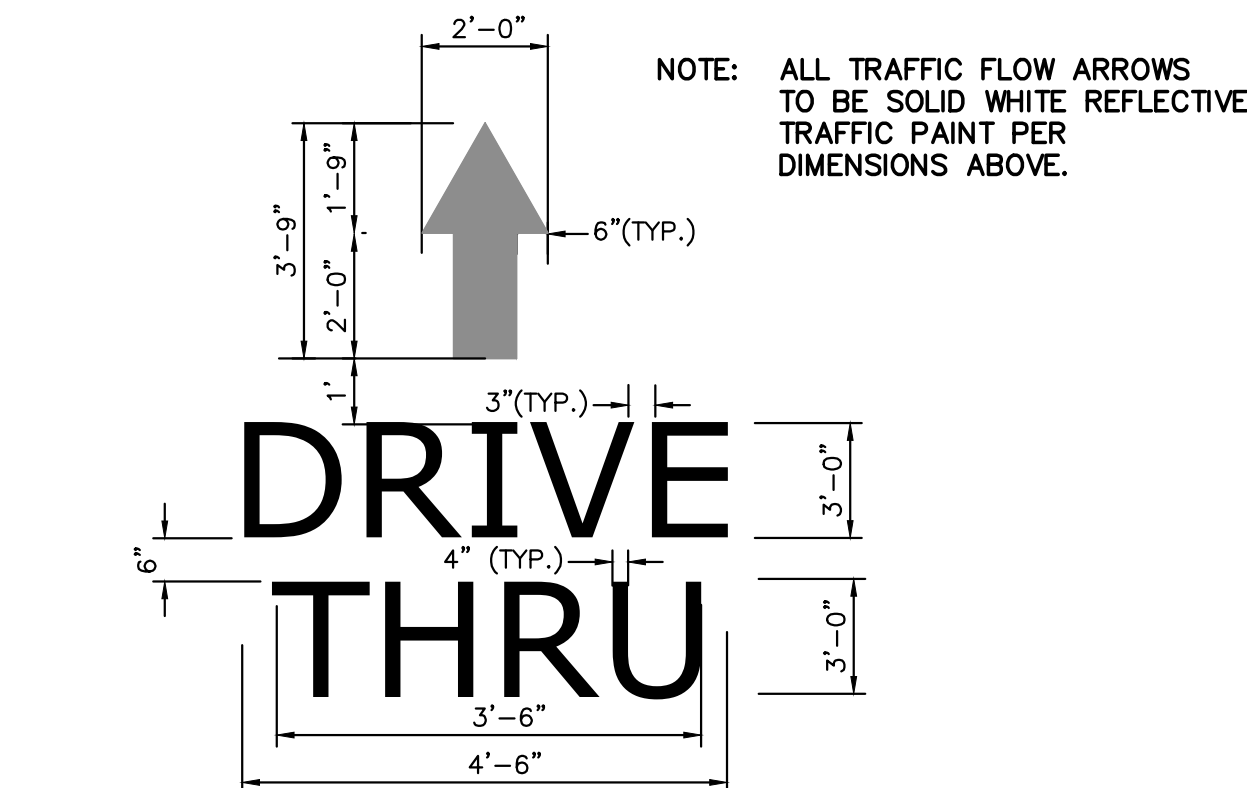


CONCRETE SIDEWALK SECTION

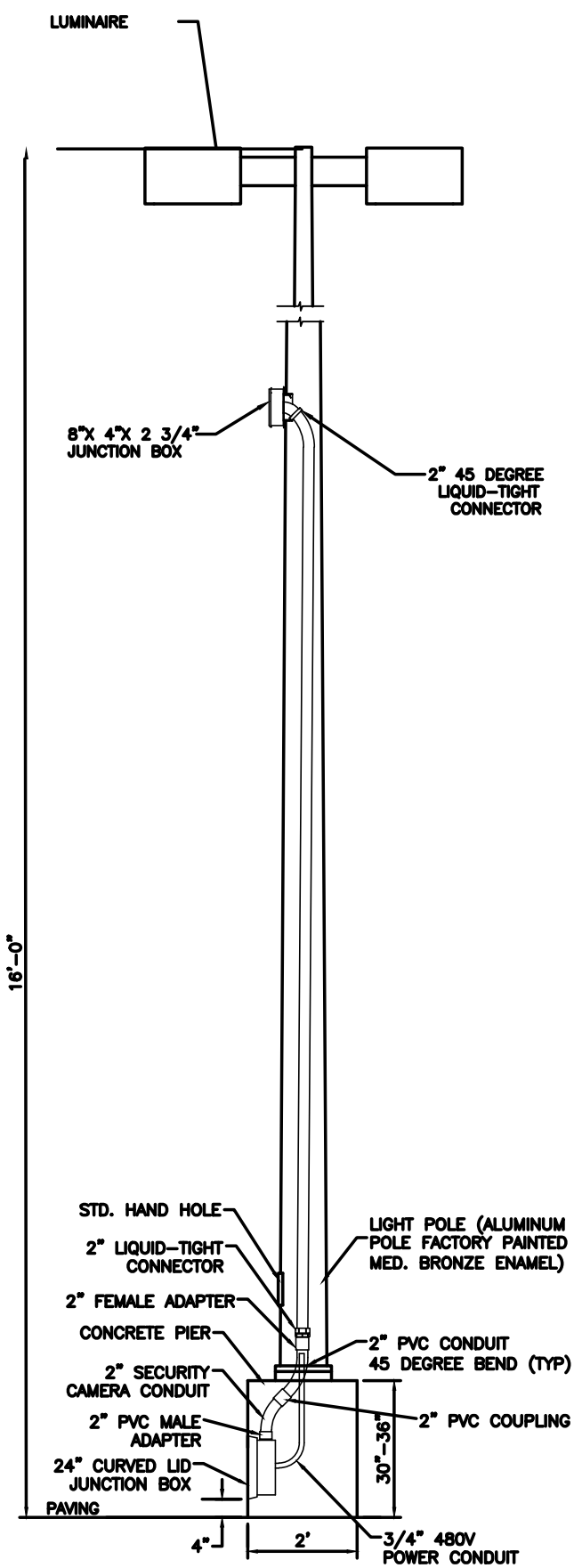
NOT FOR CONSTRUCTION		
 RONALD R. BOHANNAN P.E. #7868	ENGINEER'S SEAL 11/17/2021	
	NM 528 AND ELLISON 3615 HWY 528	DRAWN BY LN
	SITE PLAN DETAILS	DATE 11/17/2021
	TERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	DRAWING 2014069-SPE
		SHEET # C2.1
		JOB # 2020091



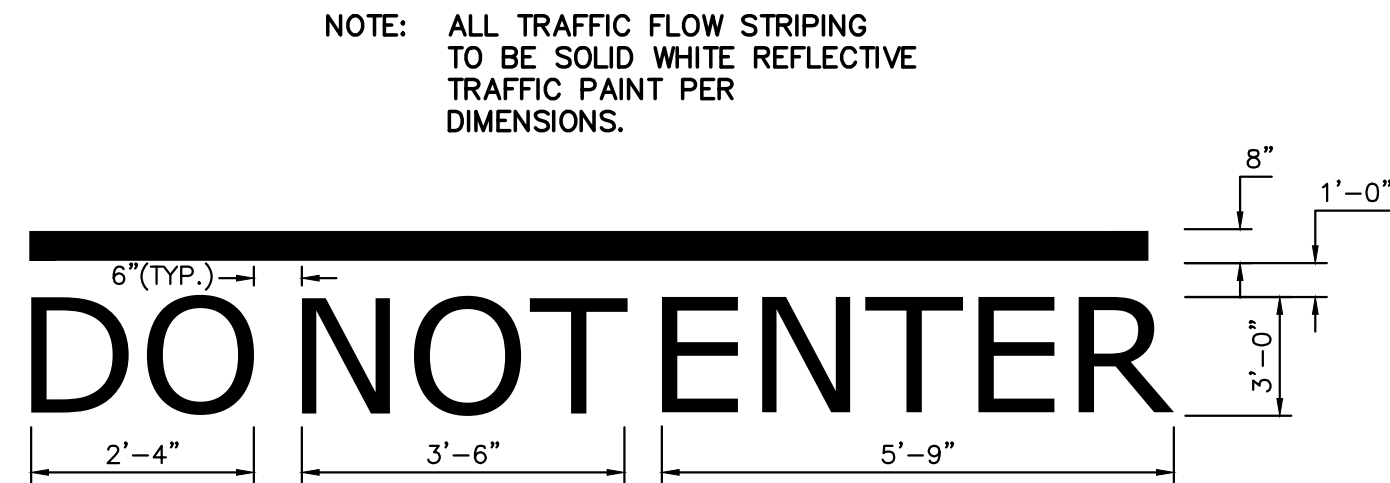
DO NOT ENTER SIGN
NTS



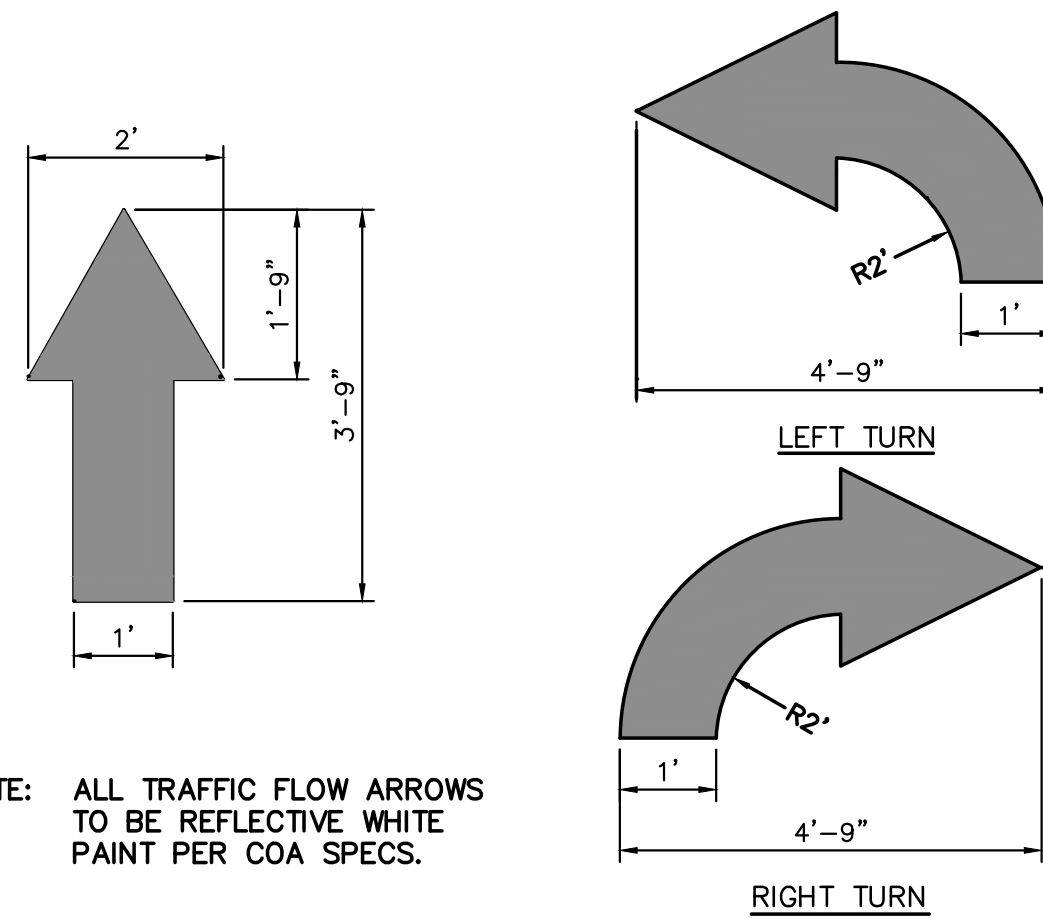
'ONE WAY' PAVEMENT MARKER W/ARROW
NTS



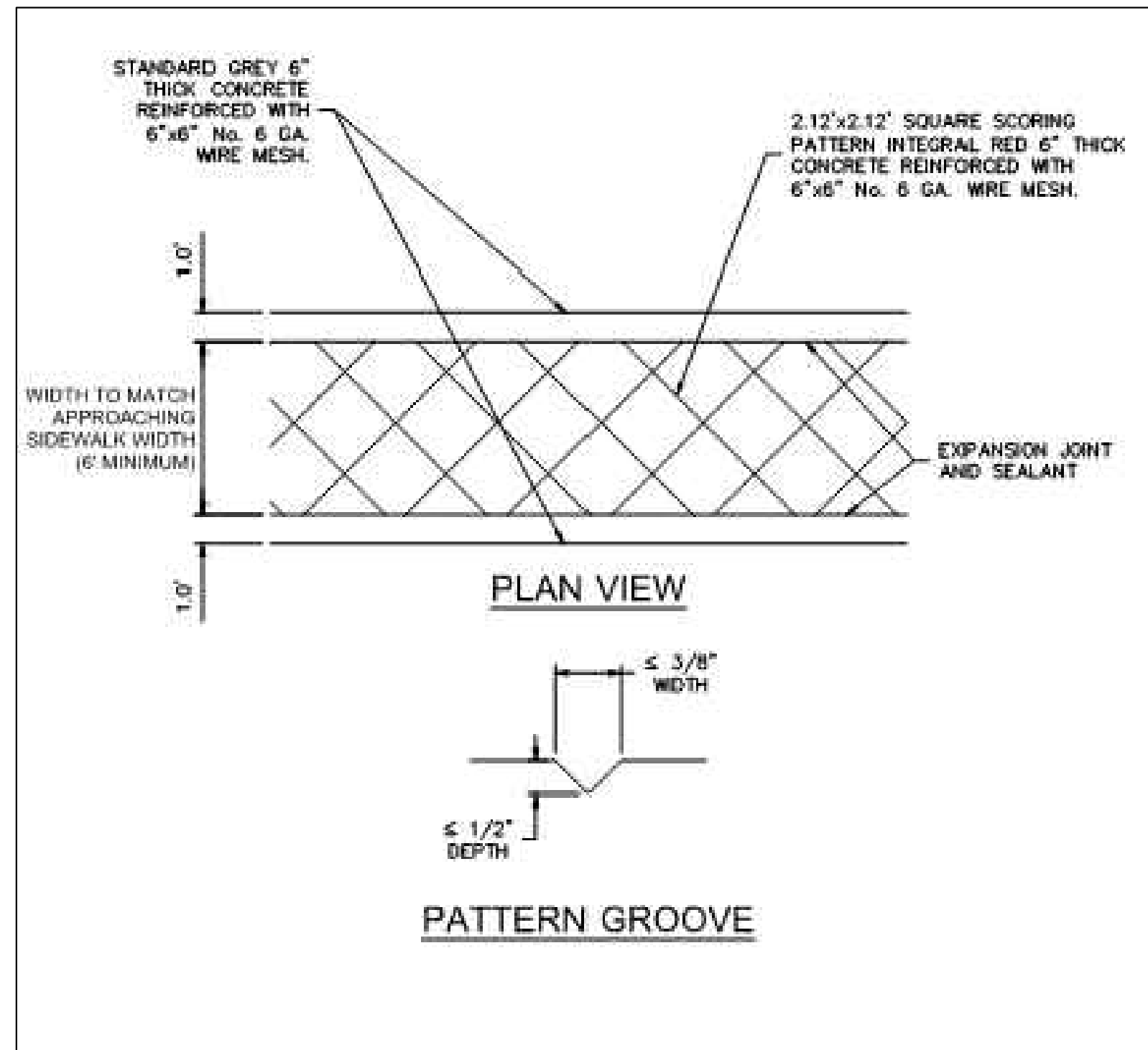
LIGHT STANDARD
NTS



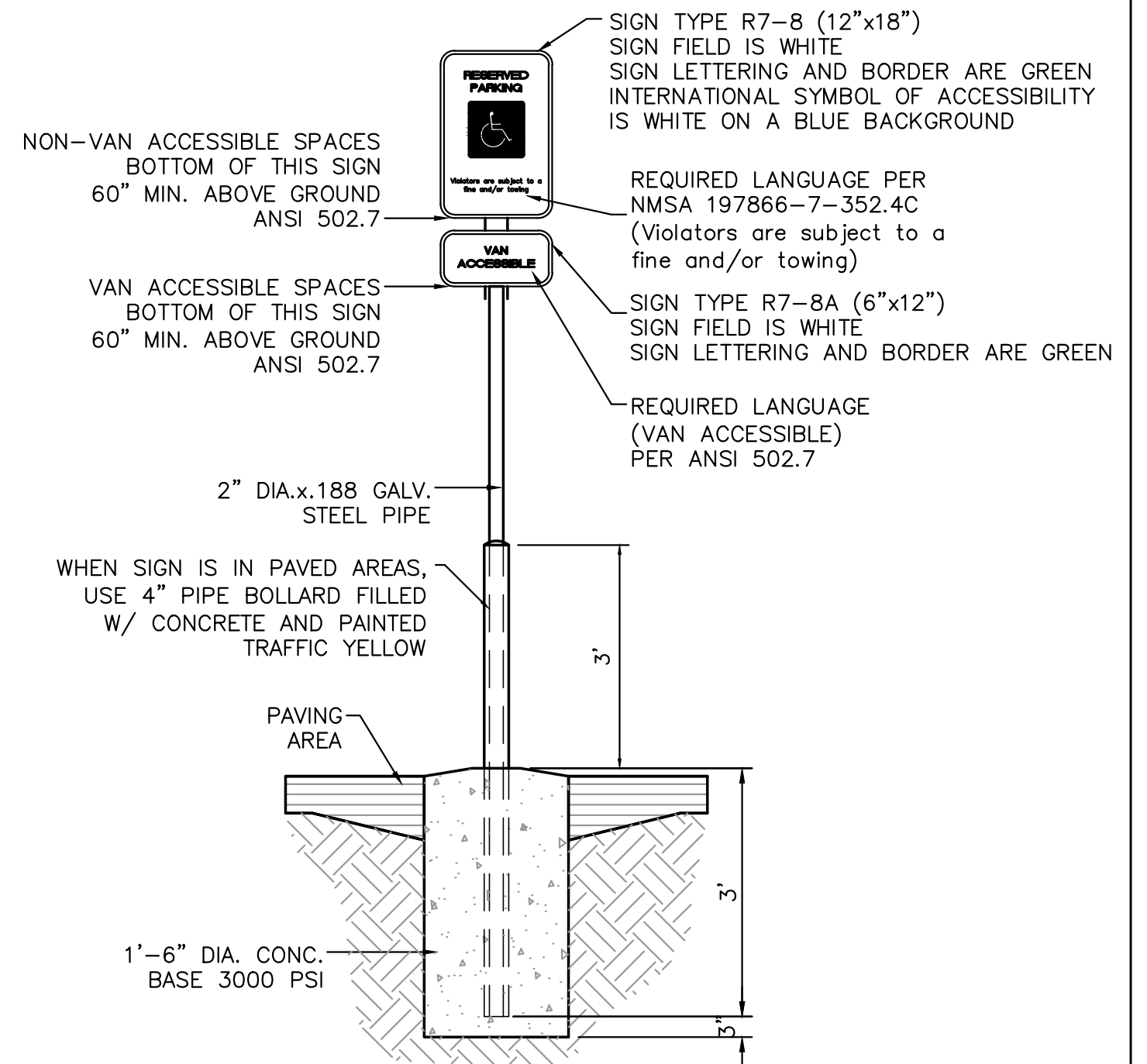
DO NOT ENTER PAVEMENT MARKER W/ARROW
NTS



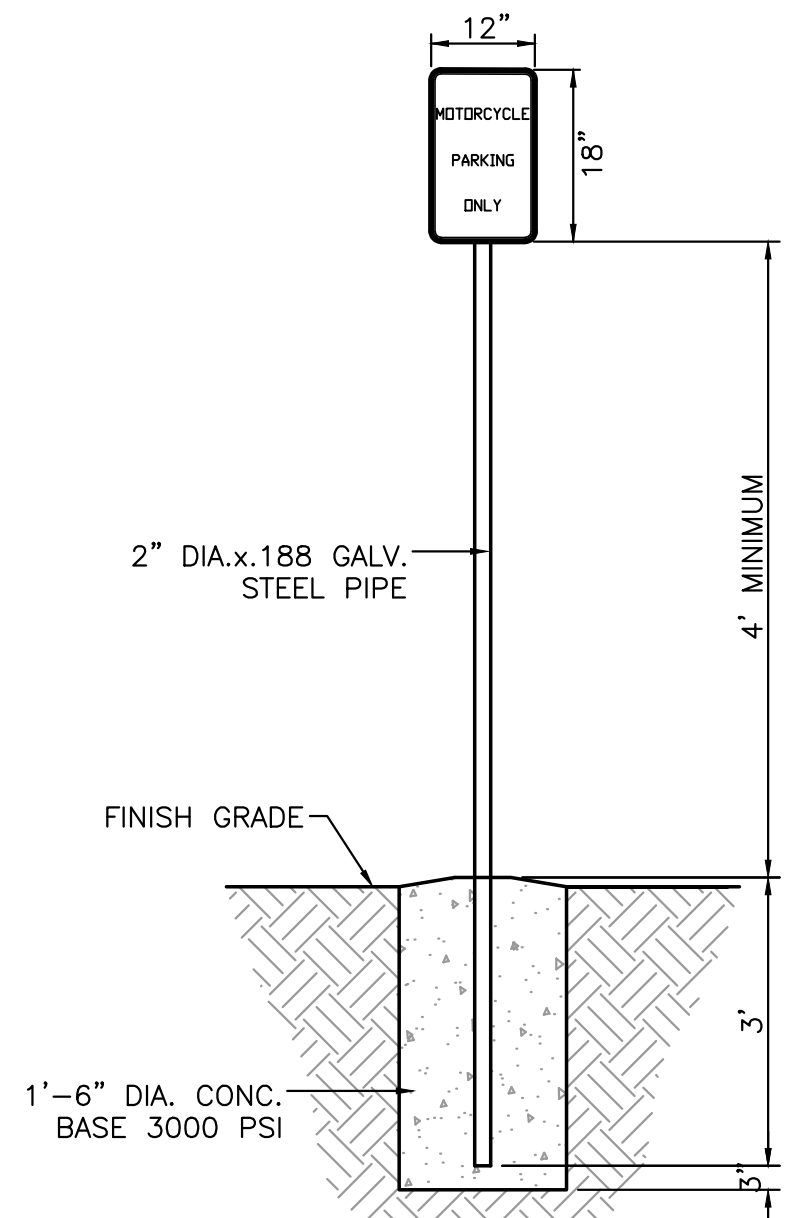
TRAFFIC FLOW ARROW
NTS




CROSSWALK/PED. CROSSING
NTS

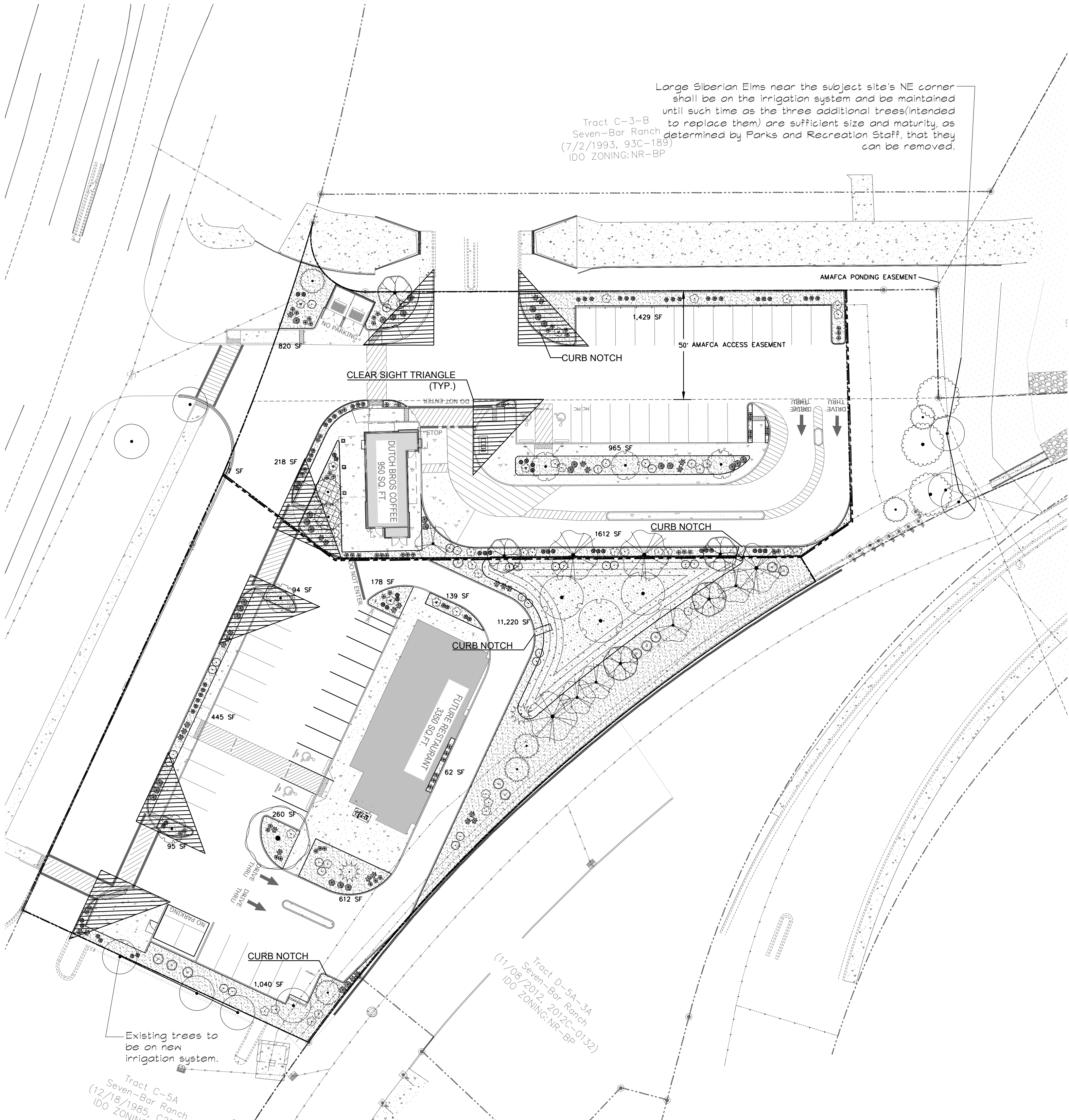


ACCESSIBLE PARKING SIGN
NTS



MOTORCYCLE PARKING SIGN
NTS

NOT FOR CONSTRUCTION		
<div>ENGINEER'S SEAL 11/17/2021</div> <div> RONALD R. BOHANNAN P.E. #7868</div>	NM 528 AND ELLISON 3615 HWY 528	DRAWN BY LN
	SITE PLAN DETAILS	DATE 11/17/2021
		DRAWING 2014069-SPE
<div> TERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.terrawestllc.com</div>		SHEET # C2.2
		JOB # 2020091



LANDSCAPE PLAN

CLEAR SIGHT TRIANGLE NOTE

LANDSCAPING, FENCING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.

GENERAL NOTES

- IN CASE OF DISCREPANCIES IN PLANT QUANTITIES SHOWN ON THE PLANT SCHEDULE AND THOSE SHOWN ON THE PLAN, THE QUANTITIES SHOWN ON THE PLAN SHALL PREVAIL. CONTRACTOR SHALL VERIFY ALL QUANTITIES PRIOR TO BID AND INSTALLATION.
- POSITIVE DRAINAGE AWAY FROM ALL STRUCTURES IS TO REMAIN AFTER ALL LANDSCAPE WORK IS COMPLETED.
- ALL MAINTENANCE FOR LANDSCAPE AND IRRIGATION SYSTEMS SHALL BE PROVIDED BY OWNER. MAINTENANCE OF STREET TREES AND SHRUBS SHALL FIND THEM IN HEALTHY, LIVING, AND ATTRACTIVE CONDITION.
- ALL ON-SITE PLANT MATERIAL, NOW AND EXISTING, SHALL BE IRRIGATED BY COMPLETE, AUTOMATIC DRIP IRRIGATION SYSTEMS. EMITTERS SHALL BE PLACED AT EVEN SPACING AT DRIP LINE OF TREES AND SHRUBS AT THE MULCH'S SURFACE AT A RATE OF SIX (6) 2.0 GPH EMITTERS PER TREE AND TWO (2) 2.0 GPH EMITTERS PER SHRUB.
- WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER. APPROPRIATE MEASURES HAVE BEEN TAKEN TO DESIGN AND INSTALL A WATER-CONSERVATIVE, ENVIRONMENTALLY SOUND LANDSCAPE.
- LANDSCAPING BEDS MUST BE DEPRESSED BELOW GRADE PURSUANT TO 5-6(C)(13)(B).

NOTE

MAINTENANCE OF LANDSCAPE PROVIDED BY OWNER

PLANTINGS TO BE WATERED BY AUTO. DRIP IRRIGATION SYSTEM WITH REDUCED PRESSURE BACKFLOW PREVENTER PER CITY OF ALBUQUERQUE

WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER

THIS PLAN IS TO COMPLY WITH THE CITY OF ALBUQUERQUE LANDSCAPING ORDINANCE

LANDSCAPE AREAS TO BE MULCHED WITH GRAVEL MULCH AT 3" DEPTH OVER FILTER FABRIC

LANDSCAPE DATA

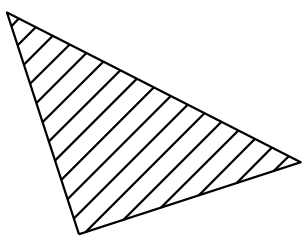
GROSS LOT AREA	86,684 SF
LESS BUILDING(S)	4,300 SF
NET LOT AREA	82,384 SF
REQUIRED LANDSCAPE	
15% OF NET LOT AREA	12,261 SF
PROPOSED LANDSCAPE	18,118 SF
REQUIRED PARKING LOT TREES	
1 TREE PER 10 PARKING SPACES	6
PROPOSED PARKING LOT TREES	6
REQUIRED VEGETATION COVERAGE	
75% OF LANDSCAPE AREA	9,196 SF
PROPOSED VEGETATION COVERAGE	43,446 SF
REQUIRED GROUND-LEVEL PLANTS COVERAGE	
25% OF VEGETATION COVERAGE	2,299 SF
PROPOSED GROUND-LEVEL COVERAGE	2,461 SF

PLANT SCHEDULE

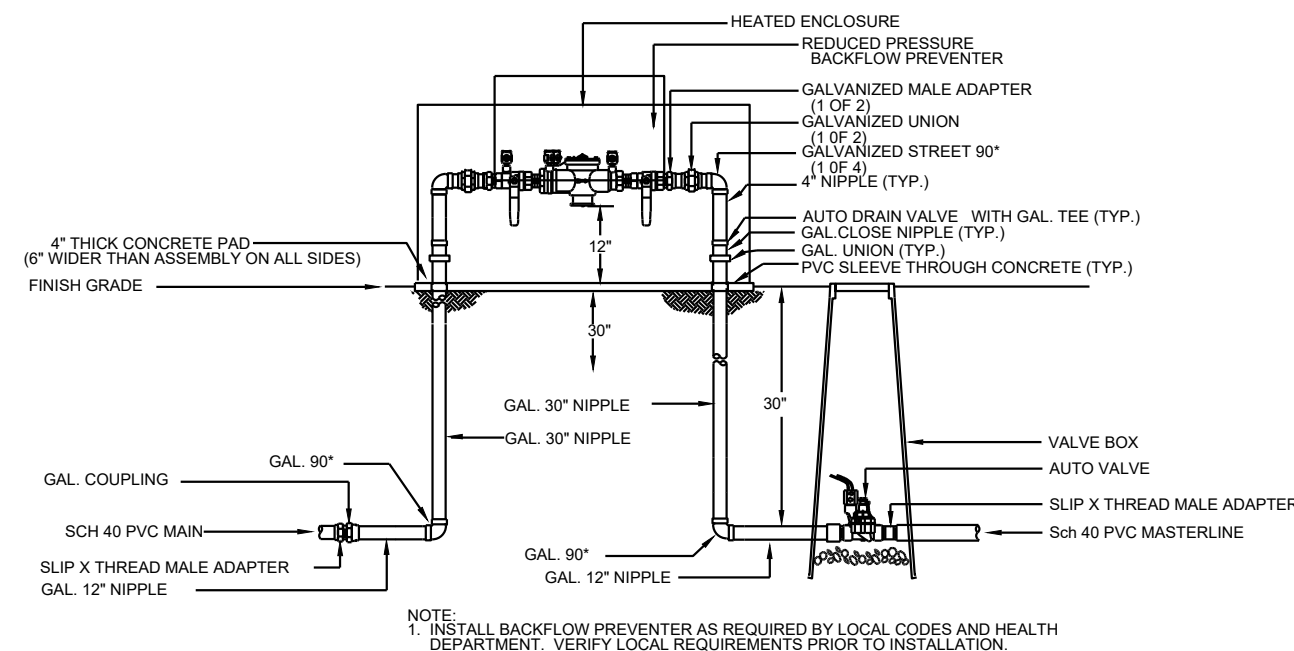
TREES	QTY	BOTANICAL / COMMON NAME	SIZE	H X W	COVERAGE
	7	EXISTING TREE TO REMAIN			
	3	ULMUS PARVIFOLIA 'ALLEE' TM / ALLEE LACEBARK ELM	2" B&B	50' X 30'	707X3=2121
DECIDUOUS TREES	QTY	BOTANICAL / COMMON NAME	SIZE	H X W	COVERAGE
	5	CHILOPSIS LINEARIS / DESERT WILLOW	2" B&B	20' X 25'	491X5=2455
	5	FRAXINUS OXYCARPA 'RAYWOOD' TM / RAYWOOD ASH	2" B&B	60' X 60'	2826X5=14130
	4	PISTACIA CHINENSIS / CHINESE PISTACHE	2" B&B	60' X 60'	2826X4=11304
	3	POPULUS DELTOIDES WISLIZENII / RIO GRANDE COTTONWOOD	2" B&B	50' X 50'	1963X3=5889
	5	PYRUS CALLERYANA 'CLEVELAND SELECT' / CLEVELAND SELECT PEAR	2" B&B	25' X 15'	177X5=885
	1	QUERCUS BUCKLEYI / BUCKLEY OAK	2" B&B	50' X 50'	1963X1=1963
EVERGREEN TREES	QTY	BOTANICAL / COMMON NAME	SIZE	H X W	COVERAGE
	6	PINUS CEMBROIDES EDULIS / PINYON PINE	6'	30' X 20'	314X6=1884
	2	PINUS EDULIS / PINYON PINE	6'	12' X 15'	177X2=354
		SUBTOTAL COVERAGE			40,985 sf
DESERT ACCENTS	QTY	BOTANICAL / COMMON NAME	SIZE	H X W	COVERAGE
	7	HESPERALOE PARVIFLORA / RED YUCCA	5 GAL	3' X 4'	13X7=91
GRASSES	QTY	BOTANICAL / COMMON NAME	SIZE	H X W	COVERAGE
	41	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER' / FEATHER REED GRASS	1 GAL	30" X 2'	3X41=123
	31	MUHLBERGIA CAPILLARIS 'REGAL MIST' TM / MUHLY	1 GAL	3' X 3'	7X31=217
	69	NASSELLA TENUISSIMA / MEXICAN FEATHERGRASS	1 GAL	2' X 2'	3X69=207
	5	SCHIZACHYRIUM SCOPARIUM / LITTLE BLUESTEM GRASS	1 GAL	2' X 2'	3X5=15
	28	SORGHASTRUM NUTANS / INDIAN GRASS	1 GAL	4' X 2'	3X28=84
DECIDUOUS SHRUBS	QTY	BOTANICAL / COMMON NAME	SIZE	H X W	COVERAGE
	31	RHUS AROMATICA 'GRO-LOW' / GRO-LOW FRAGRANT SUMAC	5 GAL	4' X 4'	13X31=403
EVERGREEN SHRUBS	QTY	BOTANICAL / COMMON NAME	SIZE	H X W	COVERAGE
	34	ARTEMISIA FILIFOLIA / SAND SAGEBRUSH	5 GAL	4' X 4'	13X34=442
	11	CERCOCARPUS INTRICATUS / LITTLE LEAF MOUNTAIN MAHOGONY	5 GAL	6' X 6'	28X11=308
	2	COTONEASTER PARNEYI / COTONEASTER	5 GAL	10' X 15'	177X2=354
	31	EUPHORBIA RIGIDA / YELLOW SPURGE	1 GAL	2' X 3'	7X31=217
		SUBTOTAL COVERAGE			2,461 sf
		TOTAL COVERAGE			43,446 sf

MATERIAL SCHEDULE

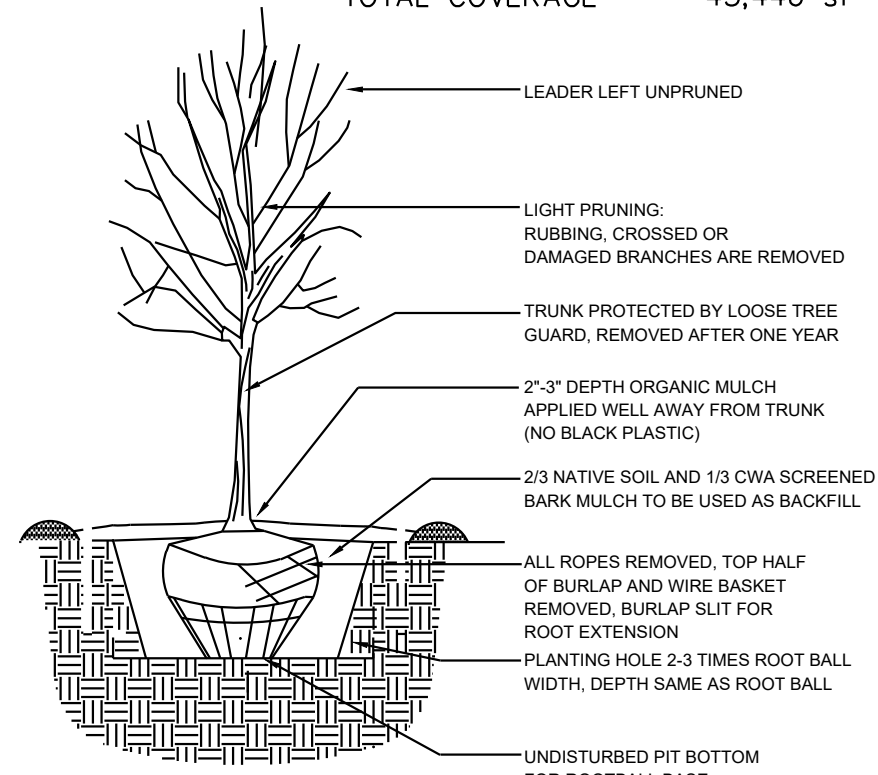
SYMBOL	DESCRIPTION
	MOUNTAINAIR BROWN 7/8" GRAVEL OVER FILTER FABRIC
	2-4" BLUE SAIS OVER FILTER FABRIC



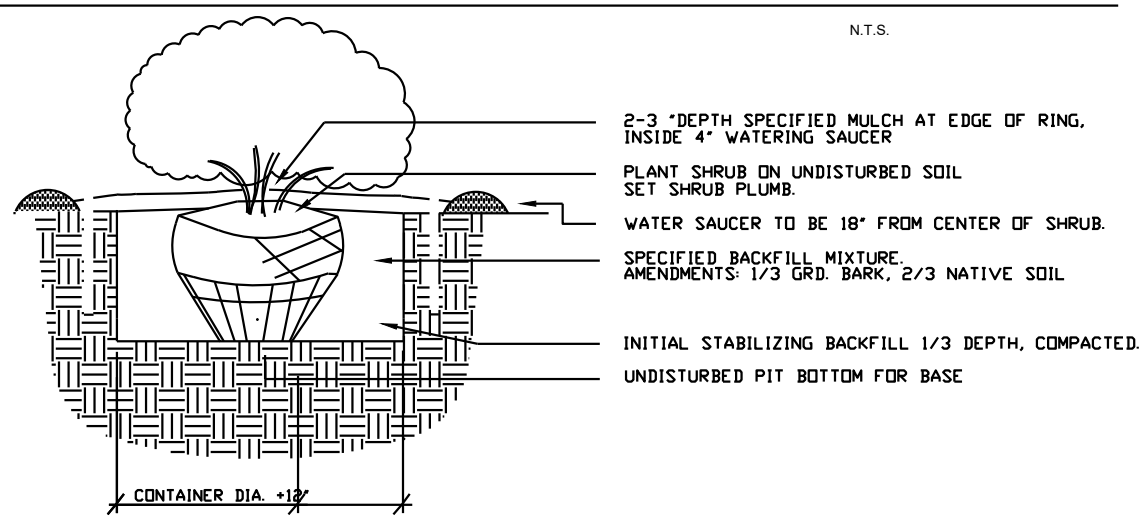
CLEAR SIGHT TRIANGLE
SEE NOTES



3 RP BACKFLOW/MASTER VALVE DETAIL



1 TREE PLANTING DETAIL

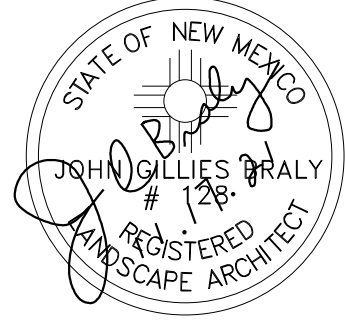


2 SHRUB PLANTING DETAIL



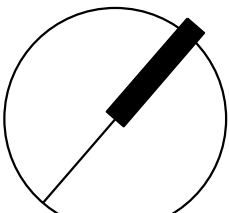
YELLOWSTONE
LANDSCAPE

www.yellowstonelandscape.com
P O Box 10597
Albuquerque, NM 87184
505.898.9615
design@yellowstonelandscape.com



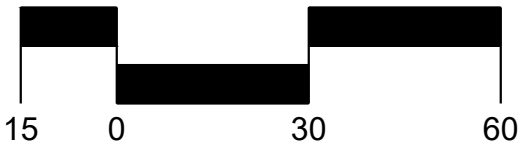
Date: 5/3/21
Revisions:
▲ 5/26/2021
▲ 6/30/2021
▲ 7/2/2021
▲ 7/29/2021
▲ 10/5/2021
▲ 11/17/2021
Drawn by: PL
Reviewed by: CM

Dutch Brothers Coffee
Cottonwood
3615 NM HWY 528
Albuquerque, New Mexico



NORTH

Scale: 1" = 30'

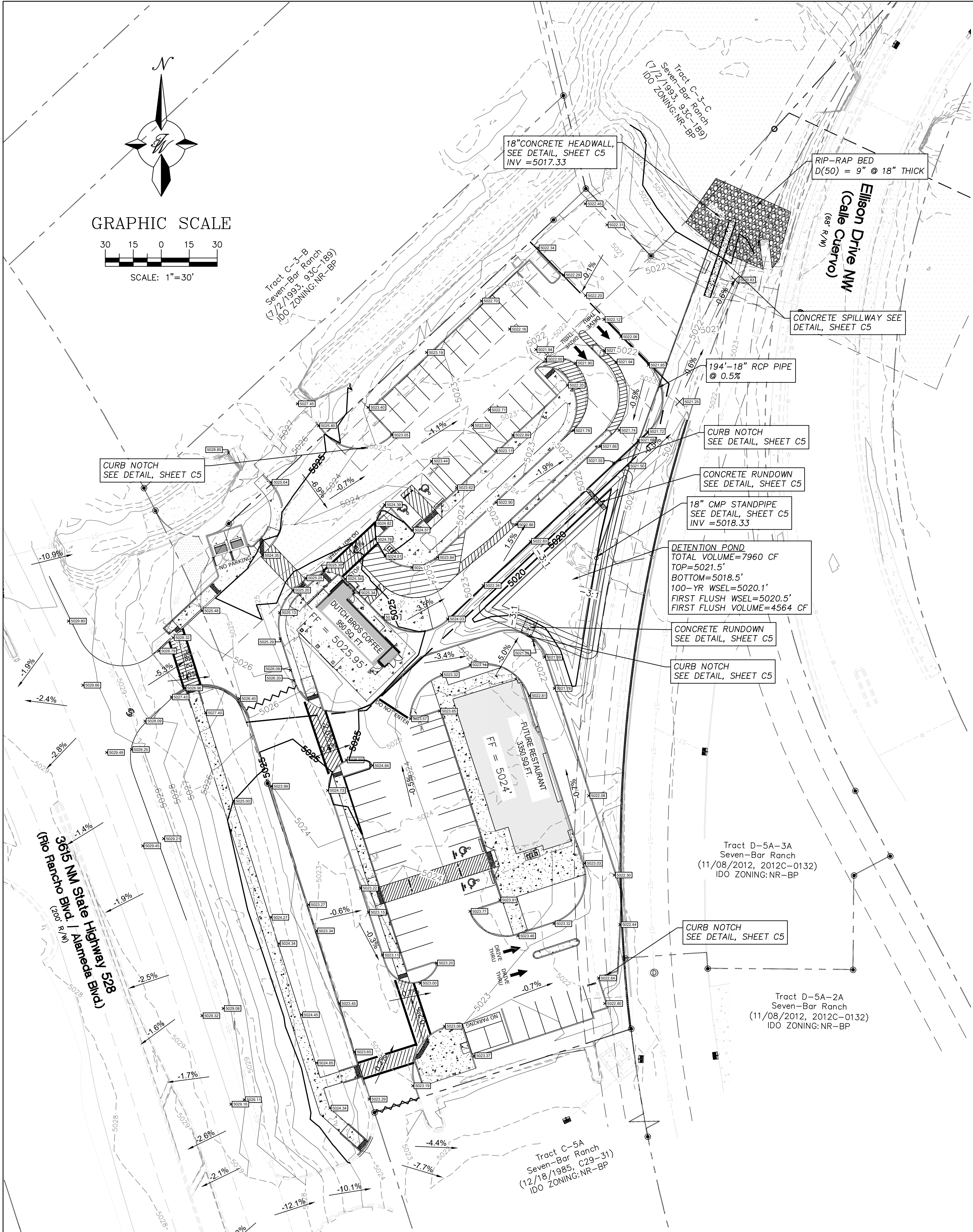


Sheet Title:

Landscape
Plan

Sheet Number:

LS-01



LEGEND

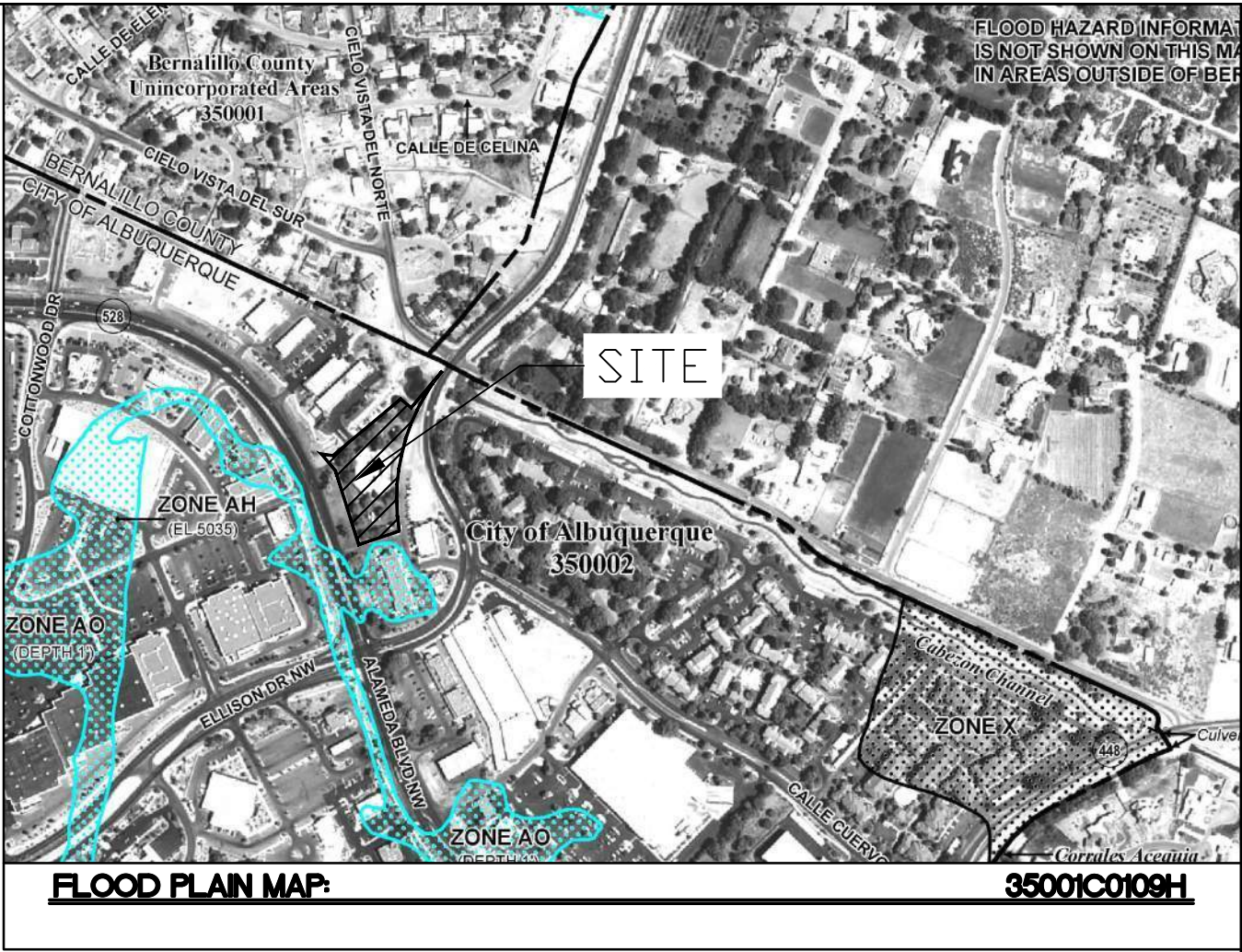
- CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- SIDEWALK
- BUILDING
- RIP-RAP
- CONTOUR MAJOR
- CONTOUR MINOR
- SPOT ELEVATION
- FLOW ARROW
- GRADE BREAK
- EXISTING CURB & GUTTER
- EXISTING EASEMENT
- EXISTING BOUNDARY LINE
- EXISTING RETAINING WALL
- EXISTING CONCRETE
- EXISTING CONTOUR MAJOR
- EXISTING CONTOUR MINOR
- EXISTING STORM DRAIN LINE
- EXISTING STORM DRAIN MH
- EXISTING STORM DRAIN INLET
- SURVEY MONUMENT

SPOT ELEVATION NOTE:

ALL SPOT ELEVATIONS ARE FLOWLINE UNLESS OTHERWISE NOTED.

EROSION CONTROL NOTES:

- CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
- CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
- REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.



SITE INFORMATION

THE PROPOSED DEVELOPMENT IS A 1.99 ACRE MULTI-PAD COMMERCIAL DEVELOPMENT PROJECT, LOCATED AT 3615 HWY 528 ALBUQUERQUE, NM 87114. THE PROPOSED DEVELOPMENT IS LOCATED IN PRECIPITATION ZONE 1, WEST OF THE RIO GRANDE RIVER AS SPECIFIED IN THE DEVELOPMENT PROCESS MANUEL CH. 6. THE PROJECT SITE IS LOCATED WITHIN SAD 223, WHERE DRAINAGE IS COLLECTED FROM A LARGE AREA AROUND THE COTTONWOOD WALL. THE PROJECT SITE PREVIOUSLY CONTAINED A TWO STORY OFFICE BUILDING WHICH HAS SINCE BEEN DEMOLISHED AND REMOVED. THE PROJECT SITE HAS BEEN PREVIOUSLY GRADED AND IS PARTLY PAVED. THE SITE IS BORDERED BY A VARIETY OF COMMERCIAL AND RESIDENTIAL ZONE DISTRICTS. TO THE SOUTH LAYS THE INTERSECTION OF NM-528 AND ELLISON DR. TO THE NORTH THE SITE IS BORDERED BY AN AMAFCA DRAINAGE CHANNEL AND A DE-SILTING POND. THE PROPOSED SITE LIES WITHIN HYDROLOGY NUMBER A14D019 AND DOES NOT CONTAIN A FLOOD PLAIN.

EXISTING CONDITIONS

THE SITE IS CURRENTLY PARTLY PAVED WHICH INCLUDES ACCESS AISLES AND PARKING ON THE SOUTH SIDE OF THE PROPERTY. THE REMAINDER OF THE LOT REMAINS VACANT WITH GROWING VEGETATION. BASED ON THE TOPOGRAPHY, RUNOFF SURFACE FLOWS NORTH-EAST AND DISCHARGES INTO THE AMAFCA DE-SILTING POND VIA AN EXISTING ROCK SWALE. LOCATED ON THE SOUTH-EAST SIDE OF THE DE-SILTING POND. CROSS LOT DRAINAGE FROM THE NEIGHBORING LOTS IS REDUCED DUE TO EXISTING RETAINING WALLS AND CURBING ALONG THE SOUTH, EASTERN AND NORTHERN PROPERTY LINE. OFFSITE DRAINAGE FROM A PORTION OF HWY NM-528'S RIGHT OF WAY FLOWS EAST INTO THE SUBJECT PROPERTY AND IS TAKEN INTO CONSIDERATION.

PROPOSED CONDITIONS

THE CONCEPTUAL GRADING AND DRAINAGE REPORT AND PLAN FOR THIS SITE HAS BEEN PREVIOUSLY APPROVED BY HYDROLOGY UNDER HYDRO NUMBER A14D019. THE DEVELOPED FLOWS WILL SURFACE FLOW INTO A DETENTION POND LOCATED ON THE EASTERN SIDE OF THE PROJECT SITE. THE DETENTION POND IS DESIGNED TO RETAIN THE FIRST 0.62 INCHES OF RUNOFF. ANY FLOWS BEYOND THAT WILL BE CONVEYED INTO AN UNDERGROUND STORM DRAIN PIPE, WHICH OUTFALLS INTO THE AMAFCA DE-SILTING POND NORTH OF THE SITE. IN AN EMERGENCY SITUATION, AS THE POND REACHES MAXIMUM CAPACITY THE STORM WATER RUNOFF WILL BE ROUTED INTO AN EMERGENCY SPILLWAY WHICH DRAINS INTO THE AMAFCA DE-SILTING POND. THE EMERGENCY SPILLWAY IS A CONCRETE RUNDOWN LOCATED SOUTH-EAST OF THE DE-SILTING POND.

NOTICE TO CONTRACTORS

- AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
- TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL, DIAL "811"[OR (505) 260-1990] FOR THE LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONNECTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL
- NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
- MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
- WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

CAUTION:

ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

NOT FOR CONSTRUCTION		
<div>ENGINEER'S SEAL 11/17/2021</div> <div>RONALD R. BOHANNAN NEW MEXICO 7868 PROFESSIONAL ENGINEER</div> <div>RONALD R. BOHANNAN P.E. #7868</div>	NM 528 AND ELLISON 3615 HWY 528	DRAWN BY LN
	CONCEPT GRADING AND DRAINAGE PLAN	DATE 11/17/2021
	TERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrowestllc.com	DRAWING 2014069-GRD
		SHEET # C4
		JOB # 2020091



ALL BARS FORMING CONICAL TRASH
RACK ARE MARK (a) BARS, UNLESS
OTHERWISE NOTED.

WI-275 Page 1 of 3

Natural Resources
Conservation Service

CLIENT: _____

COUNTY: _____

Designed <u>####</u>	Date <u>####</u>	File Name WI-275
Drawn _____		Date
Checked _____		07/14
Approved _____		Sheet XX of ###

THRASH RACK
NTS



Technical drawings of a tapered pipe fitting. The top left drawing is a side view showing the 'Tongue End For Inlet' and 'Groove End For Outlet' with dimensions E and C. The top right drawing is an 'Installation Detail' showing the fitting on a pipe. The bottom left drawing is a 'Section View at Centerline' showing dimensions A, B, C, D, and 'Wall Thickness'. The bottom right drawing is an 'End View' showing the circular profile with 'Pipe I.D.'.

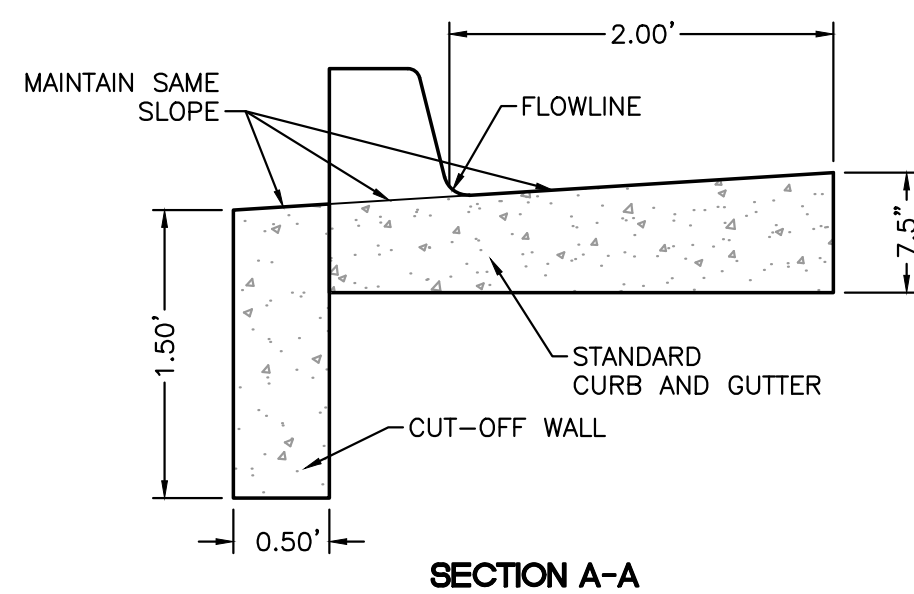
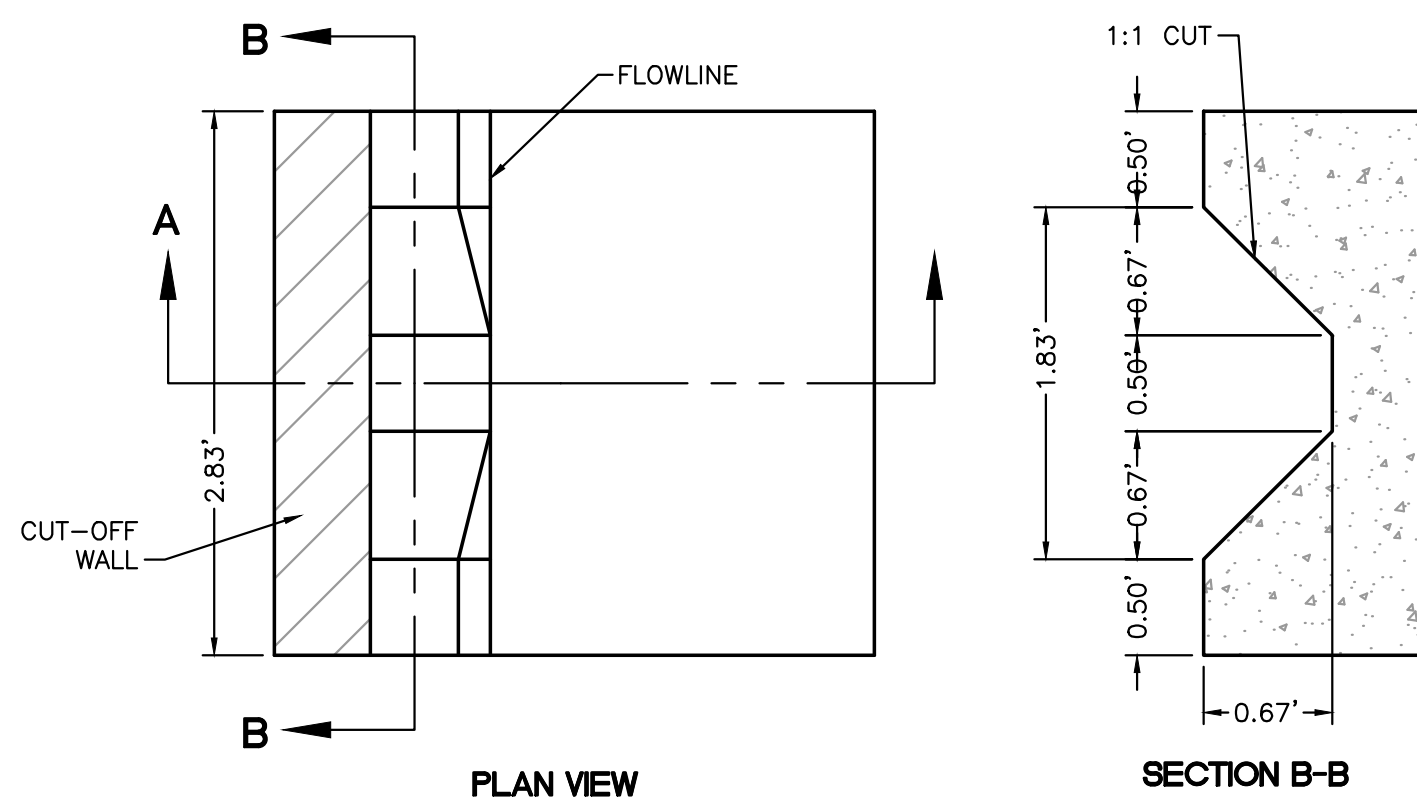
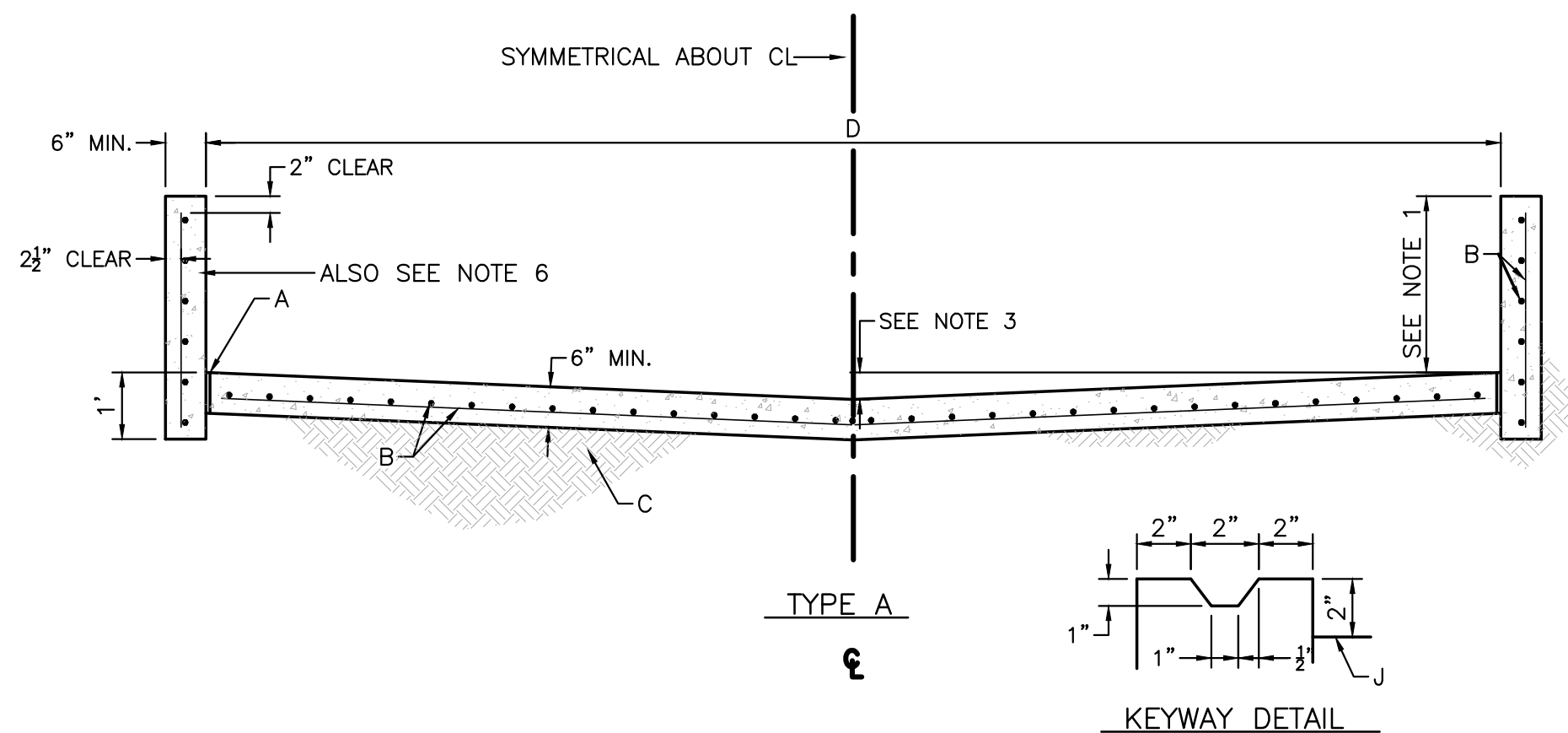
Poe Inner Diameter (inches)	Wall Thickness (inches)	A (inches)	B (inches)	C (inches)	D (inches)	E (inches)	Slope
12	2	4	24	48/78	72/78	30	3:1
15	2 1/4	6	27	46	73	30	3:1
18	2 1/2	9	27	46	73	36	3:1
24	3	9 1/2	43/52	30	73/52	48	3:1
30	3 1/2	12	54	19/34	73/34	60	3:1
36	4	15	63	34/34	93/34	72	3:1
42	4 1/2	21	63	35	98	78	3:1
48	5	24	72	26	98	84	3:1
54	5 1/2	27	65	35	100	90	2:1
60	6	30	60	39	99	96	2:1
66	6 1/2	32	78	21	99	102	2:1
72	7	34	78	21	99	108	2:1

Dimensions may vary depending upon equipment availability

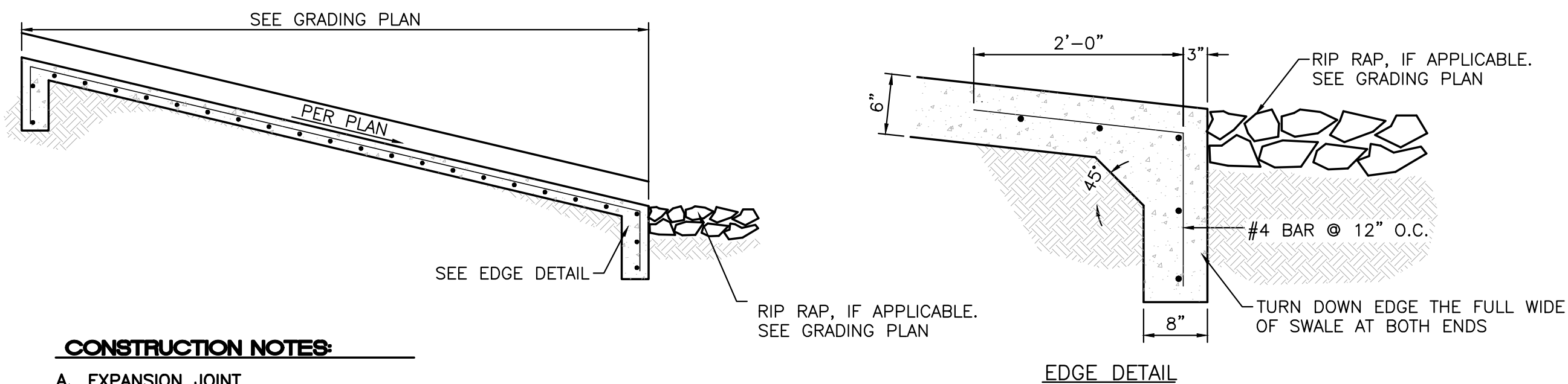
Notes:

1. Produced to meet ASTM specifications.
2. Contact a Concrete Pipe Division representative for details not listed on this sheet.

CONCRETE FLARED END SECTION DETAIL
NTS



CURB NOTCH DETAIL
NTS



CONCRETE SPILLWAY

CONSTRUCTION NOTES:

- A. EXPANSION JOINT
- B. #4 REBARS @ 6" O.C. LONG AND 12" O.C. TRANSVERSE
- C. 6" COMPACTED SOIL 95% ASTM D 1557
- D. WIDTH OF CHANNEL = 3"
- E. KEYED CONSTRUCTION JOINT

GENERAL NOTES:

1. CHANNEL DEPTHS EXCEEDING 2' WILL REQUIRE SEPARATE DESIGN FOR FLOOR AND WALLS.
2. TYPE B LINING WILL BE USED ONLY WHERE NO UTILITIES ARE LOCATED OR PROPOSED.
3. UP TO 16' WIDTH USE 4" INVERTED CROWN. 16' WIDTH AND OVER USE 6" INVERTED CROWN.
4. WARNING: THESE WALLS ARE NOT DESIGNED TO SUPPORT THE ADDITION OF GARDEN OR RETAINING TYPE WALLS.
5. THE OUTSIDE OF DRAINAGE WALLS SHALL NOT EXTEND BEYOND EASEMENT LINES OR ROW LINES.
6. 6" CONC. BLOCK WITH CORES FILLED WITH CONC. AND #4 BARS INSERTED INTO CORES AT 1'-6" O.C. MAY BE SUBSTITUTED FOR FORMED CONC. WALLS.

NOT FOR CONSTRUCTION

NM 528 AND ELLISON
3615 HWY 528

DRAWN BY
LN

DATE
11/17/202

DRAWING
014069-G

SHEET #

C5

JOB #
2020091

ENGINEER'S
SEAL 11/17/2021

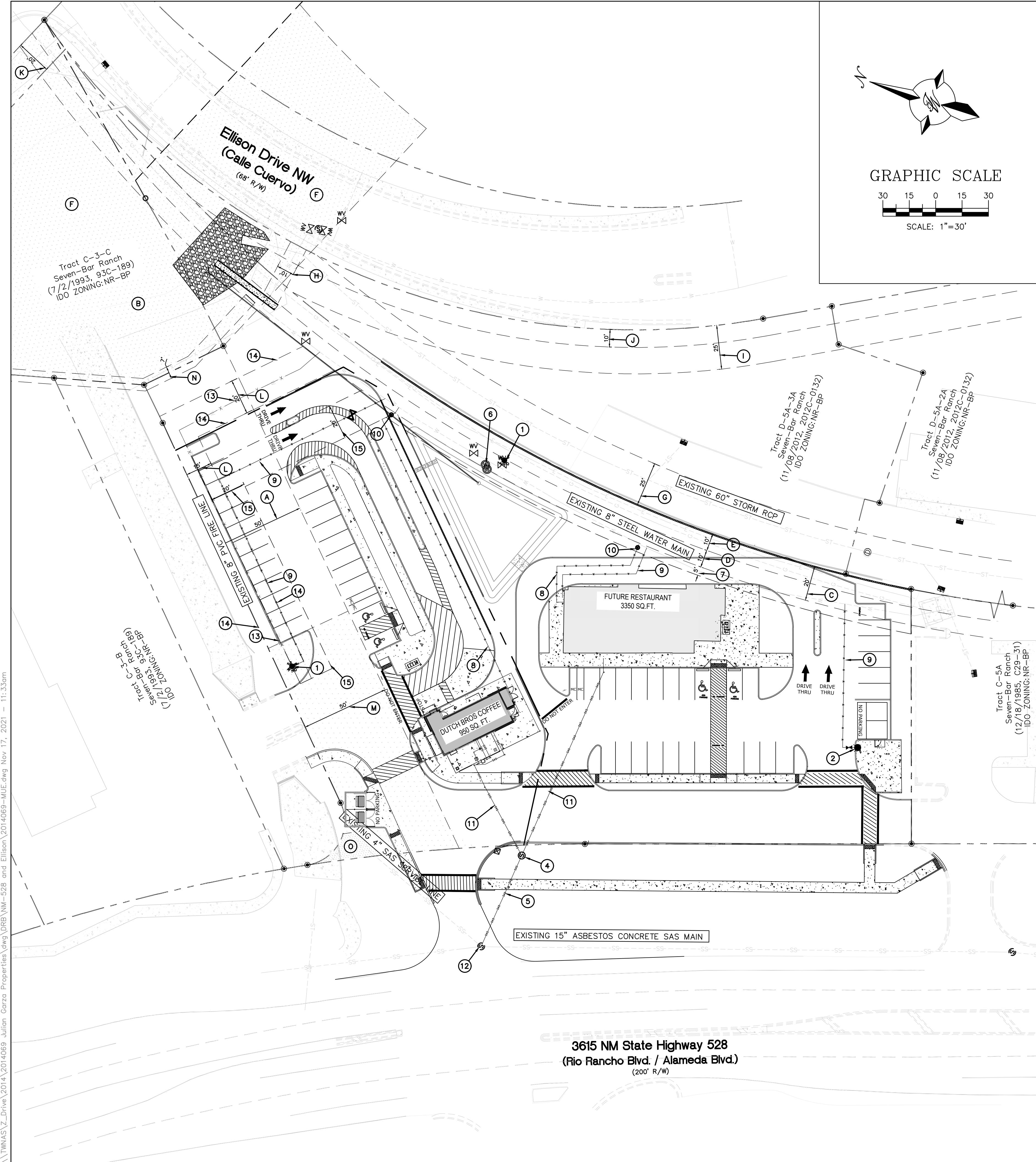


RONALD R. BOHANNAN
P.E. #7868

TIERRA WEST, LLC

5571 MIDWAY PARK PL NE
ALBUQUERQUE, NEW MEXICO 87109
(505) 858-3100
www.tierrawestllc.com

JOB #
2020091



LEGEND

	CURB & GUTTER
	BOUNDARY LINE
	PROPOSED EASEMENT
	CENTERLINE
	RIGHT-OF-WAY
	BUILDING
	SIDEWALK
	SCREEN WALL
	RETAINING WALL
	EXISTING CURB & GUTTER
	EXISTING BOUNDARY LINE
	36" SD STORM SEWER LINE
	8" SAS SANITARY SEWER LINE
	8" WL WATERLINE
	SINGLE CLEAN OUT
	DOUBLE CLEAN OUT
	EXISTING SD MANHOLE
	EXISTING INLET
	EXISTING SAS MANHOLE
	EXISTING FIRE HYDRANT
	EXISTING WATER VALVE
	EXISTING WATER METER
	EXISTING POWER POLE
	EXISTING GAS VALVE
	EXISTING EASEMENT
	EXISTING OVERHEAD UTILITIES
	EX. UGE EXISTING UNDERGROUND UTILITIES
	EX. 2" GAS EXISTING GAS
	EX. 8" SAS EXISTING SANITARY SEWER LINE
	EX. 10" WL EXISTING WATER LINE
	EX. 18" RCP EXISTING STORM SEWER LINE

KEYED NOTES

- EXISTING FIRE HYDRANT TO REMAIN
- NEW PRIVATE FIRE HYDRANT PAINTED SAFETY ORANGE PER COA STDS
- REMOVE AND DISPOSE EXISTING FIRE HYDRANT, PER APPROVED WORK ORDER
- NEW 4" MANHOLE PER COA STD DWG #2101
- NEW 8" SAS MAIN
- EXISTING WATER METER TO BE REMOVED PER APPROVED WORK ORDER
- PROPOSED 5' OF ADDITIONAL WATERLINE EASEMENT WIDTH
- DOMESTIC WATER SERVICE LINE
- FIRE LINE
- PROPOSED WATER METER PER COA STD DWG #2367
- SAS SERVICE LINE
- MANHOLE CONNECTION PER COA STD DWG #2101
- WATER LINE TO BE REMOVED PER APPROVED WORK ORDER
- WATER LINE EASEMENT TO BE VACATED PER APPROVED PLAT

ABCWUA NOTES:

THE CONTRACTOR SHALL COORDINATE WITH THE WATER AUTHORITY SEVEN (7) DAYS IN ADVANCE OF PERFORMING WORK THAT WILL AFFECT THE PUBLIC WATER OR SANITARY SEWER INFRASTRUCTURE. WORK REQUIRING SHUTOFF OF FACILITIES DESIGNATED AS MASTER PLAN FACILITIES MUST BE COORDINATED WITH THE WATER AUTHORITY 14 DAYS IN ADVANCE OF PERFORMING SUCH WORK. ONLY WATER AUTHORITY CREWS ARE AUTHORIZED TO OPERATE PUBLIC VALVES. SHUTOFF REQUESTS MUST BE MADE ONLINE AT [HTTP://ABCWUA.ORG/CONTENT/VIEW/483729/](http://abcwua.org/content/view/full/483729/). CAUTION: ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

ABCWUA NOTES:

- DEVELOPMENT ON PROPOSED TRACT 2 WILL REQUIRE ITS OWN AVAILABILITY STATEMENT.
- EACH PROPOSED LOT SHALL HAVE A SEPARATE PRIVATE SANITARY SEWER SERVICES.
- THE LOCATION OF EXISTING PRIVATE WATER AND/OR PRIVATE SANITARY SEWER SERVICES, TO DETERMINE IF PRIVATE SERVICE EASEMENTS ARE NEEDED TO PRESERVE THE EXISTING SERVICE(S) FOR THE NEWLY CREATED LOTS, SHALL BE FIELD-VERIFIED. THE WIDTH OF TO PRIVATE SERVICE EASEMENT SHALL BE DETERMINED BY THE ENGINEER OR SURVEYOR.
- CONTACT UTILITY COMPANIES FOR EXACT LOCATION FOR UNDERGROUND UTILITIES IN THE AREA.
- PROVIDE ADEQUATE CONCRETE THRUST BLOCKING AT THE FOLLOWING: TAPPING, SLEEVES, TEES, BENDS, PLUGS - ALL FITTINGS. REFER TO ABCWUA STANDARD DETAIL DRAWING 2320
- INSTALL A TRENCH SAFETY SYSTEM TO PROVIDE FOR THE SAFE EXCAVATION OF ALL TRENCHES EXCEEDING A DEPTH OF (5') FIVE FEET AS PER O.S.H.A. STANDARDS.
- ALL P.V.C. PIPE ON THIS PLAN SHALL BE ENCASED WITH SELECT BEDDING WHEN PLACED IN CITY ROW. IN SITU (ACCEPTABLE) MATERIAL CAN BE USED IN PRIVATE LINES.
- ALL VALVES ON P.V.C. WATER MAINS SHALL BE ANCHORED IN CONCRETE.
- CITY PAVING CUT PERMIT REQUIRED BEFORE EXCAVATION.
- RECONNECTION OF EXISTING WATER LINE SYSTEM SHOWN ON THESE PLANS MUST BE MADE, SUCH THAT MINIMAL INTERRUPTION OF SERVICE TO CUSTOMER IS MADE.
- ALL EXISTING LINES CURRENTLY IN SERVICE MUST REMAIN IN SERVICE THROUGHOUT CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR PROTECTING SEWER LINES (INCLUDING SERVICES) FROM DAMAGE AS A RESULT OF CONSTRUCTION.
- CONTRACTOR SHALL VERIFY LOCATION OF SERVICES BEFORE CONSTRUCTION.
- CONTRACTOR SHALL COORDINATE WITH CITY & COUNTY CONSTRUCTION SEQUENCE AND TRAFFIC CONTROL PLANS.
- CONTRACTOR SHALL PROVIDE TEMPORARY SERVICE TO CUSTOMERS IF SERVICE WILL BE INTERRUPTED FOR MORE THAN (4) HOURS IN A 24-HOUR PERIOD.
- CONTRACTOR TO ADJUST WATER VALVES TO FINAL GRADE WHERE NECESSARY.

GENERAL UTILITY NOTES:

- CONTRACTOR MUST COORDINATE WATER SYSTEM WITH SEWER SYSTEM TO PREVENT ANY CONFLICTS WHERE THESE LINES INTERSECT ONE ANOTHER.
- PROVIDE 4 FEET OF COVER MINIMUM FOR ALL PROPOSED WATER LINES. UNLESS OTHERWISE NOTED.
- AREAS WHERE WATER PIPES CROSS OVER SEWER PIPES SHALL NOT HAVE ANY JOINTS.
- CONTACT UTILITY COMPANIES FOR EXACT LOCATION OF UNDERGROUND UTILITIES IN THIS AREA BEFORE EXCAVATION.
- INSTALL A TRENCH SAFETY SYSTEM TO PROVIDE FOR THE SAFE EXCAVATION OF ALL TRENCHES EXCEEDING A DEPTH OF (5') FEET AS PER O.S.H.A. STANDARDS.
- PROVIDE ADEQUATE CONCRETE THRUST BLOCKING AT THE FOLLOWING: TAPPING SLEEVES, TEES, BENDS, PLUGS AND ALL FITTINGS.
- P.V.C. PIPE SHALL BE PLACED WITH SELECT BEDDING MATERIAL ALL AROUND.
- CAUTION: VERIFY LOCATION & DEPTH OF EXISTING GAS MAIN IN THE AREA OF CONSTRUCTION, BEFORE INSTALLING WATER LINE.

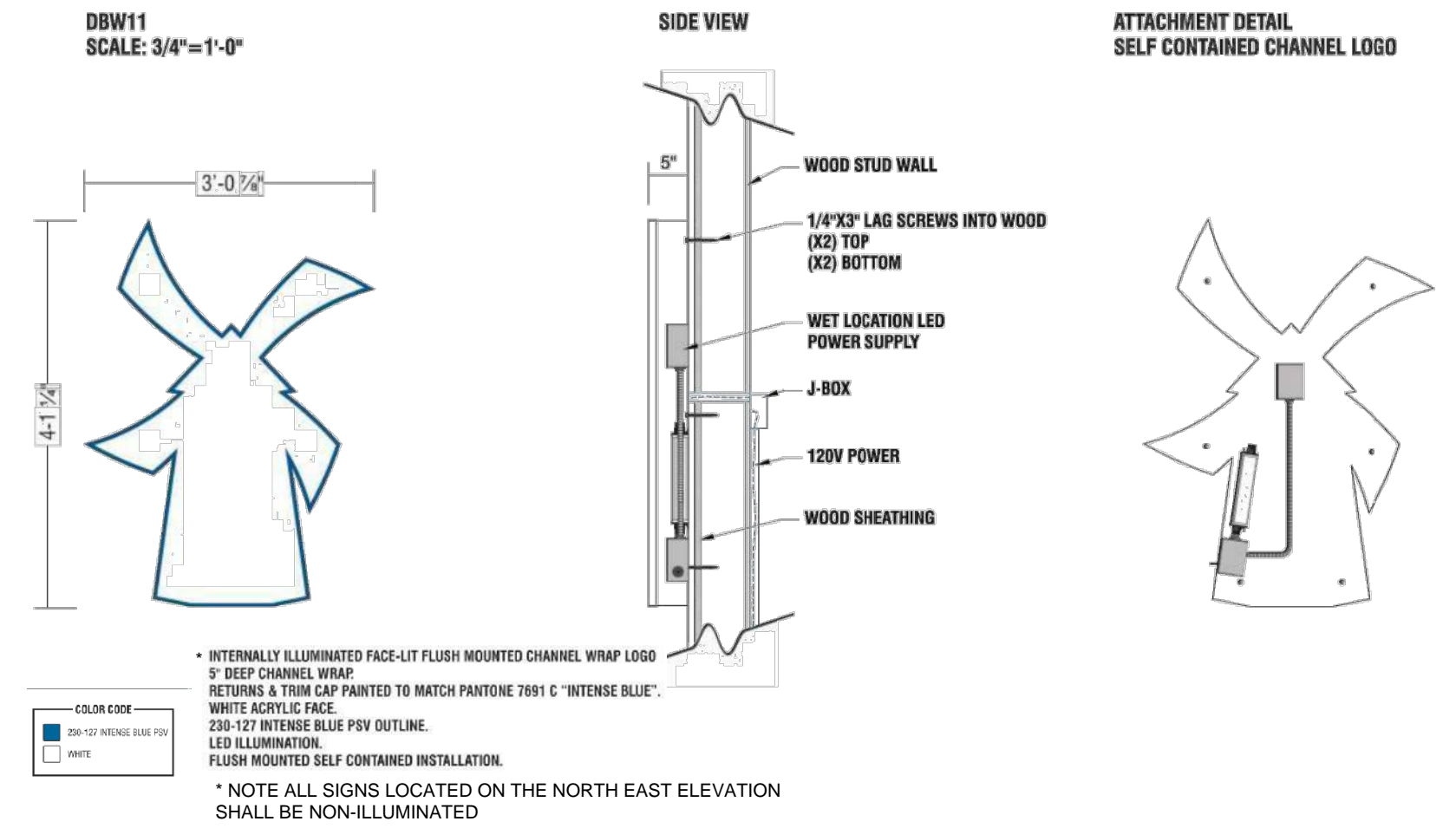
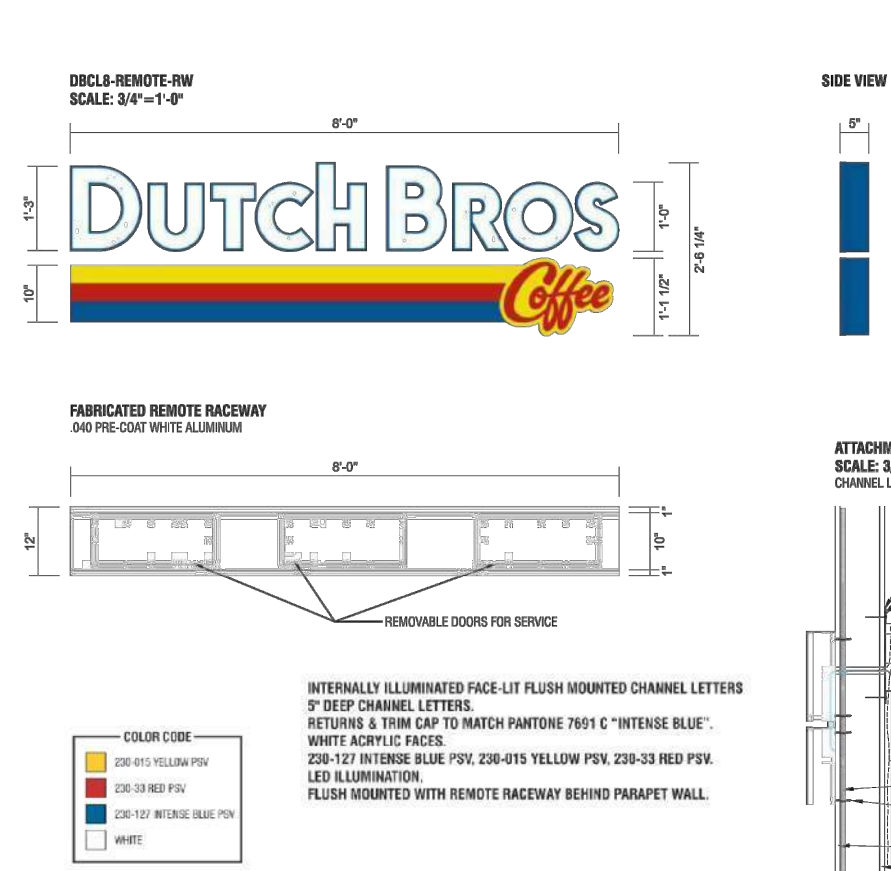
EXISTING EASEMENTS

- EXISTING 50' ROADWAY & TEMPORARY DRAINAGE EASEMENT (4/20/1982, VOL. MISC. 924, PG. 741) AND (6/21/1993, VOL. 93-16, PG. 1505-1510)
- EXISTING DRAINAGE RIGHT-OF-WAY FOR AMAFCA ACROSS TRACT C-3-C PER AGREEMENT (7/2/1993, 93C-189)
- EXISTING 20' SOUTHERN UNION GAS CO. EASEMENT (12/23/1974, BK. 399, PG. 963-964)
- EXISTING 10' WATERLINE EASEMENT (12/27/1974, VOL. MISC. 400, PG. 381-82)
- EXISTING 10' UTILITY EASEMENT (8/6/1974, VOL. MISC. 380, PG. 510)
- EXISTING DESILTING POND FOR DRAINAGE (12/18/1985, BK. MISC. 303A, PG. 185-189)
- EXISTING 25' DRAINAGE EASEMENT (3/22/1998, 98C-99)
- EXISTING 10' WATERLINE EASEMENT (12/18/1985, C29-31)
- EXISTING 25' SIDEWALK EASEMENT (12/18/1985, C29-31)
- EXISTING 10' UTILITY EASEMENT (12/18/1985, C29-31)
- EXISTING 20' WATERLINE EASEMENT (7/26/1984, C24-136)
- EXISTING NMUI EASEMENT FOR WATERLINE (12/15/1993, BK. 93-36, PG. 956-961, DOC. NO. 93141955)
- EXISTING NON-EXCLUSIVE, PERPETUAL INGRESS AND EGRESS EASEMENT (11/1/1994, BK. 94-30, PG. 6362-6367, DOC. NO. 94131022)
- EXISTING 7' PNM AND MST&T EASEMENT (9/23/1986, BK. MISC. 3978, PG. 909)
- EXISTING PRIVATE SANITARY SEWER EASEMENT (12/8/1993, BK. 93-35, PG. 3040-3046, DOC. NO. 93139036)

NOT FOR CONSTRUCTION

	ENGINEER'S SEAL 11/17/2021	
	NM 528 AND ELLISON	<i>DRAWN BY</i> LN
	3615 NM 528	<i>DATE</i> 11/17/2021
	MASTER UTILITY PLAN	<i>DRAWING</i> 2014069-SPE
	Tierra West, LLC	
	5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	
RONALD R. BOHANNAN P.E. #7868		<i>SHEET #</i> C6
		<i>JOB #</i> 2020091

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EXTERIOR FINISH SCHEDULE				
ID TAG	MATERIAL	MANUFACTURER	MODEL	REMARKS
ZONE 1 (BODY)				
1A	EXTERIOR CEMENT PLASTER	DUNN EDWARDS	DEC715 SANDAL	MEDIUM SAND/CEMENT PLASTER
1B	EXTERIOR CEMENT PLASTER	DUNN EDWARDS	DEC765 BONE	MEDIUM SAND/CEMENT PLASTER
ZONE 2 (TOWER) (Z2)				
2	FIBER CEMENT SIDING	NICHIHA	ILLUMINATION, AWP 1818 W/ OPEN OUTSIDE CORNERS	FACTORY PAINTED BLDG DB BLUE; CAP FLASHING TO MATCH BLDG DB BLUE
ZONE 3 (3'-2" BASE)				
3	STONE VENEER	ELDORADO STONE	CLIFFSTONE, BANFF SPRINGS	
	STONE VENEER SILL	ELDORADO STONE	SNAPPED EDGE WAINSCOT SILL; PEWTER	
ZONE 4 (FRAMED CANOPY)				
4	FASCIA		METAL FASCIA	COLOR TO MATCH DB DARK GRAY
5	SOFFIT	HEWN ELEMENTS	NATURAL NORTHWESTERN SPRUCE	1x6, T&G, $\frac{3}{8}$ " REVEAL
6	COLUMNS	ELDORADO STONE	CLIFFSTONE, BANFF SPRINGS	
NOTE: PROVIDE 3"x2" SMOOTH DOWNSPOUTS AND ALL NECESSARY ADAPTORS AT AWNING AND CANOPY LOCATIONS; DOWNSPOUT COLOR TO MATCH BODY MATERIAL PER ELEVATION				

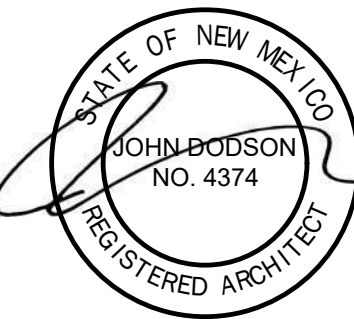


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**ARMÉT DAVIS NEWLOVE &
ASSOCIATES, AIA ARCHITECTS**

1330 OLYMPIC BLVD.
SANTA MONICA, CALIFORNIA 90404
PH 310 452-5533 FAX 310 450-4742

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Project No: NM0105
Dutch Bros Coffee - New Freestanding Store
2550 - A1 PROTOTYPE

3615 NM-528
ALBUQUERQUE, NM 87114

DATE: 06/01/2021		
REV:	DATE:	DESCRIPTION:

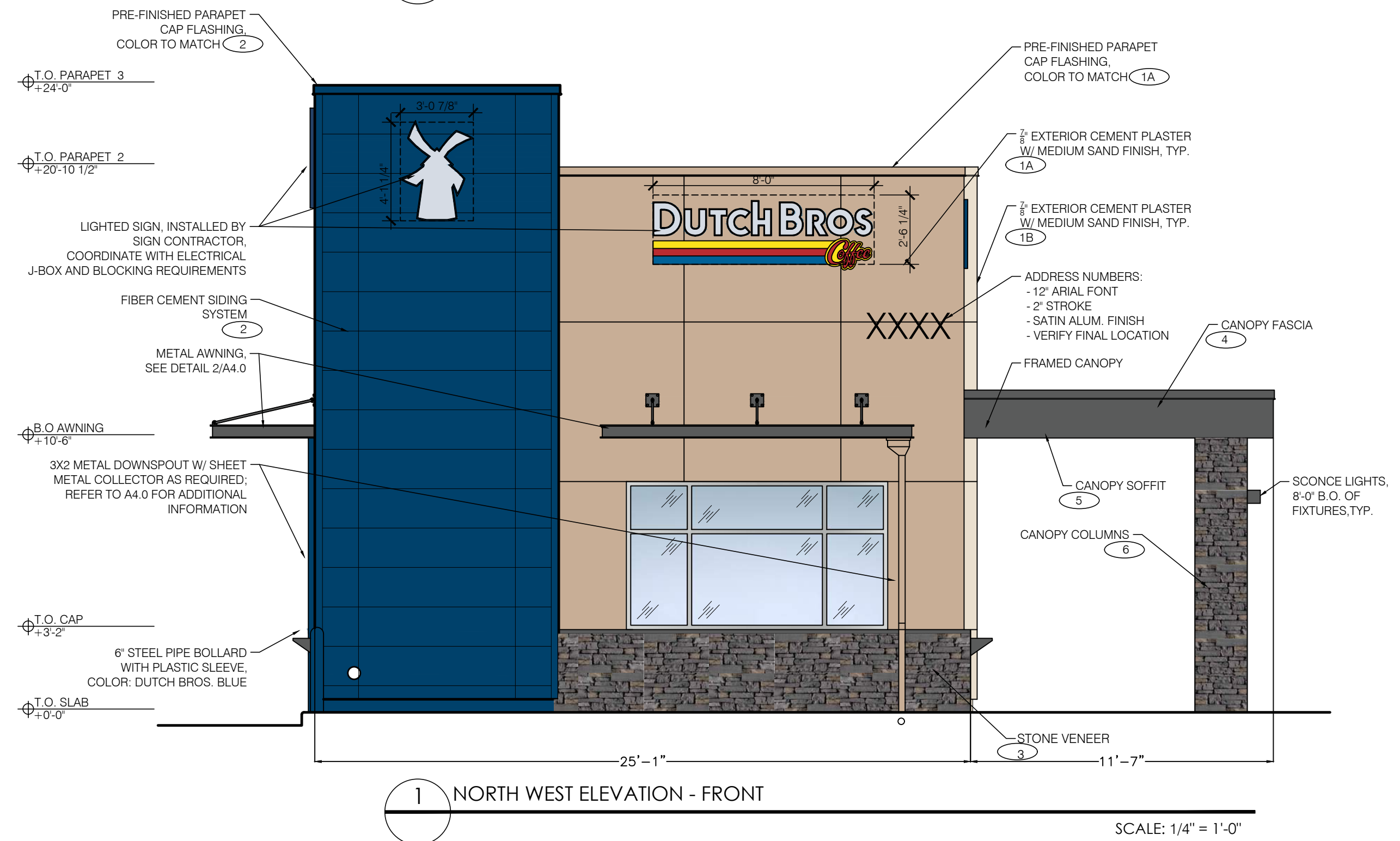
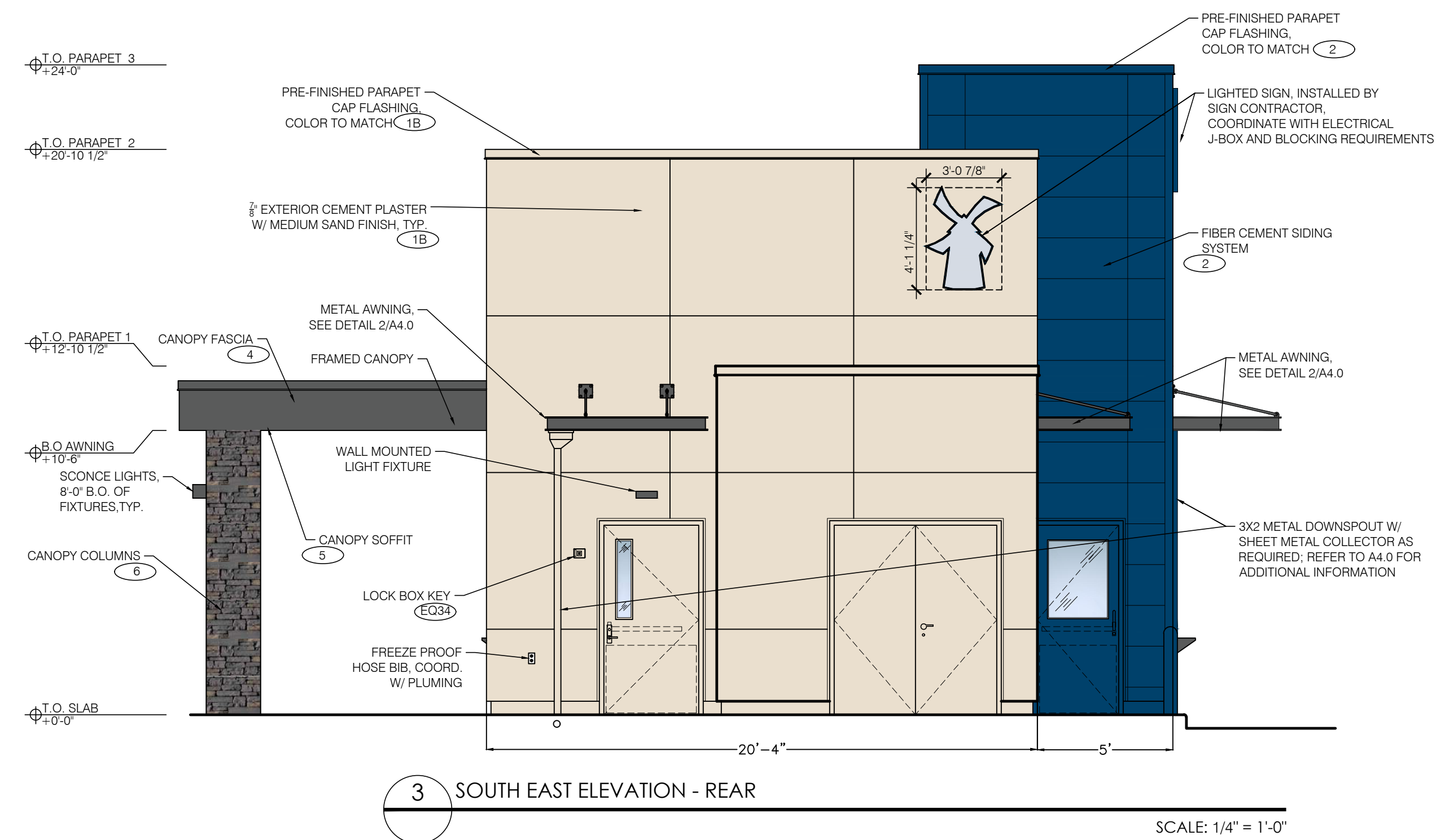
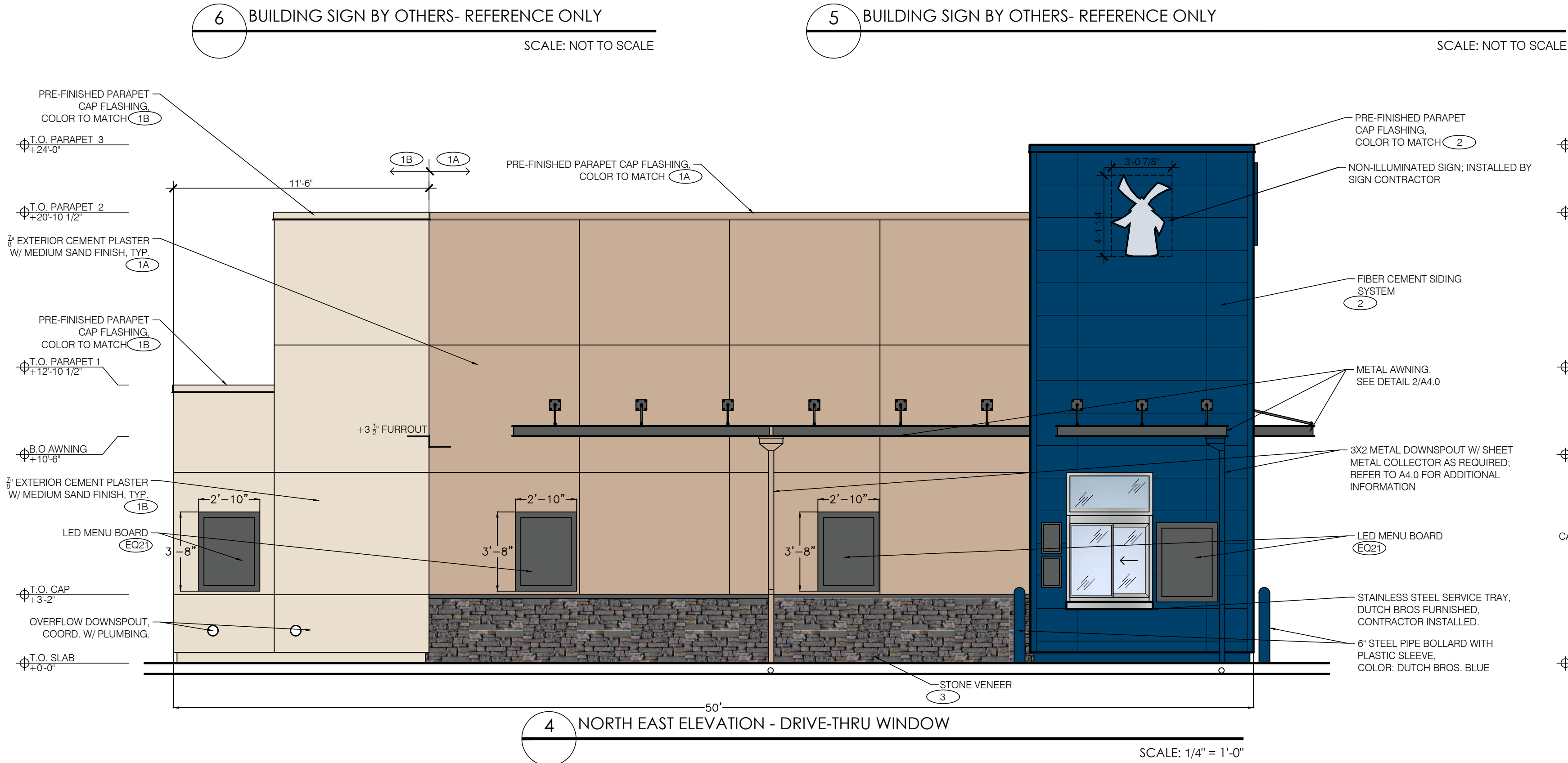
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BUILDING ELEVATIONS
COLOR


SHEET NUMBER:

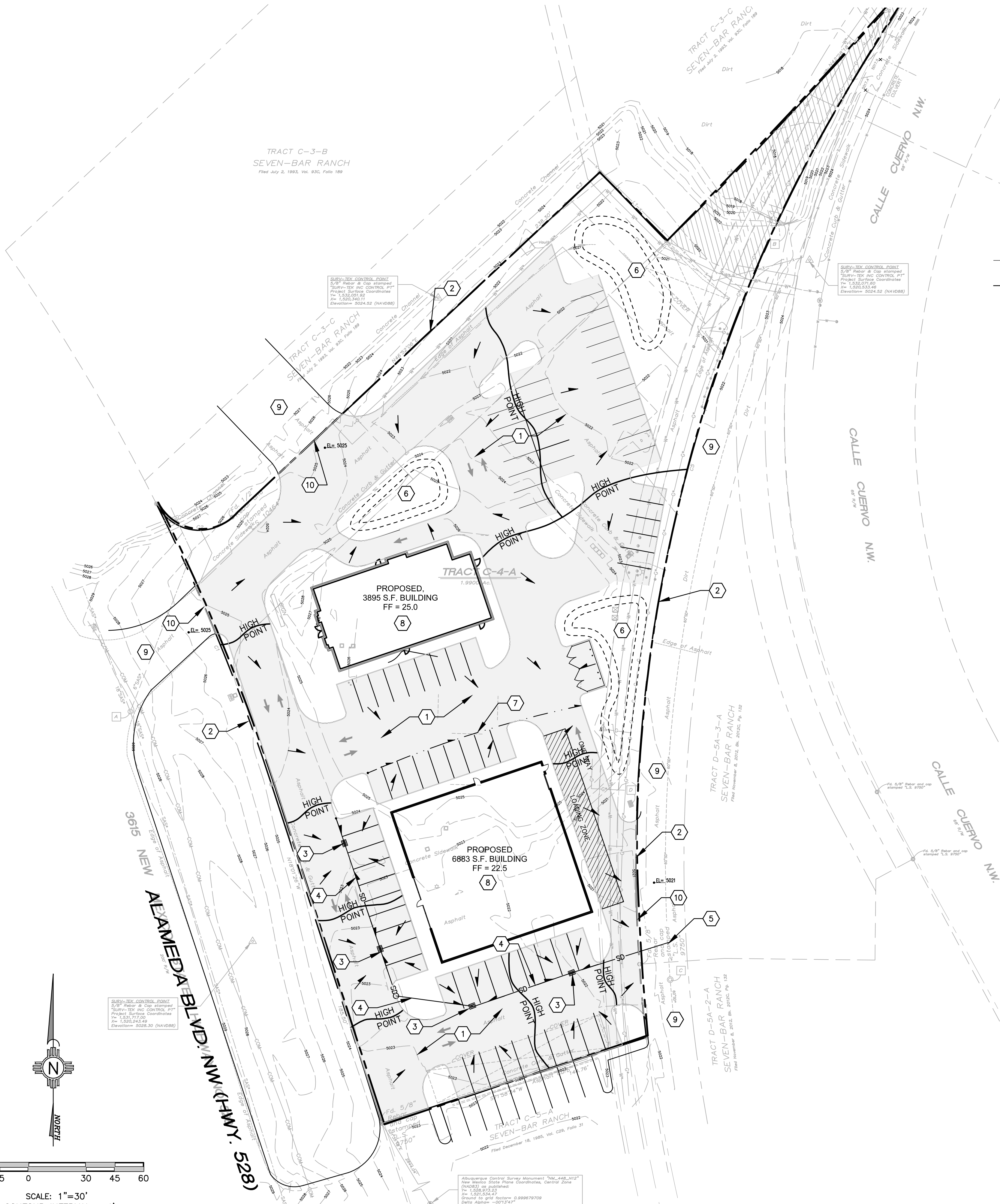
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1	2	3	4	5	6
D	I. PURPOSE & INTENT The following design standards were prepared with the intent of informing, guiding and preparing design professionals and developers to achieve the goals and standards set forth in this document. The goals of the design standards are to bring thoughtful, safe, harmonious design to new development, buildings and sites along the 3600 block of HWY 528. The proposed future uses are commercial retail and restaurants, so the standards emphasize safe and functional pedestrian use, with convenient vehicular ingress/egress and parking. The architecture standards establish criteria for aesthetically pleasing buildings, with materials and features consistent and complimentary to the local built and natural environment.	a. Parking shall be screened from the public rights-of-way by means of a 3 foot high wall and/or landscaping. These walls shall be complimentary to the building designs on site, and should reflect local materials and colors.	a. All lighting shall comply with Section 14-16-3-9, Area Lighting Regulations of the CABQ Comp. Zoning Code.	VIII. ARCHITECTURE / DESIGN The architectural design of buildings and site ammenities shall be thoughtful and reflect a high quality of aesthetics, character, and appropriate scale and massing. The design shall reflect the built and natural surrounding of the southwest, and shall respond to climate, views, solar access and street visibility.	IX. SIGNAGE Signage and graphics should create a sense of arrival to the development and provide visual continuity between the various lots and their users.
	a. All new development shall meet or exceed the requirements of City of Albuquerque Comprehensive Zoning Code, and the Seven Bar Ranch Sector Development Plan for SU-1 zoning.	b. Trash receptacles, mechanical equipment, and loading docks shall be screened from public streets through the use of solid walls, solid fences, berms, or dense evergreen foliage. (loading zones located in parking areas and drives, that are not depressed or do not contain a raised dock are not subject to screening)	b. Lighting fixtures shall conform to the requirements of the State of New Mexico Night Sky Protection Act. (74-12-1 to 74-12-10 NMSA 1978)	a. All development shall comply with the General Building & Site Design Regulations for Non-residential uses of the CABQ Comp. Zoning Code.	a. All signage on subject site must comply with Sections 14-16-3-5 (General Sign Regulations) and 14-16-2-19(A)(25)(Industrial Park Zone). * Per these requirements, one free standing sign is permitted for each street frontage, or joint sign premises, which as at least 200 feet of street frontage. This would allow a single, 26'foot high, 100sf. sign on the subject site along NM Highway 528. A maximum of twenty percent of building facades facing NM Hwy 528 may be used as building mounted signage area.
	II. SETBACKS AND BUILDING HEIGHT Building height shall meet the requirements of the City of Albuquerque Comprehensive Zoning Code. For SU-1 Zoning the code refers to R-2 Zoning limitations (Sect. 14-16-2-11(C)). Structure height up to 26' is permitted. Structures over 26' shall fall within 45' angle plan requirements described in the above section.	1. Trash enclosures shall be consistent with the architectural styles and materials of buildings on site.	c. All free-standing lights shall be of consistent design throughout the site.	b. Architectural Style: 1. The development shall provide a cohesive material and color palette among all buildings.	b. Free standing signs shall be designed so as to not require and external bracing, angle supports, guy wires or similar devises
	a. Setbacks shall meet the requirements of the City of Albuquerque Comprehensive Zoning Code (Sect. 14-16-2-11(E)). For SU-1 Zoning the code refers to R-2 Zoning requirements. Setbacks shall be as follows: Front yard setback: 15' min. Side yard setback: 5' min. Rear yard setback: 15' min.	2. All outdoor refuse containers shall be screened within a minimum 6 foot tall enclosure which is large enough to contain all trash stored between collections.	d. High pressure sodium & cobra-head type lighting fixtures are not permitted.	2. Building features like shade canopies, storefronts, and building accents should be consistent or complimentary to the overall style of the development.	c. No signage is allowed that uses moving parts, makes audible sounds, or has blinking or flashing lights
C	b. Landscape setbacks shall meet the requirements of the CABQ Comp. Zoning Code section 14-16-3-10(E)(3)..	3. Trash enclosures shall have solid, or opaque gates as tall as the enclosure.	e. Light fixtures shall be located on Site Development Plans for Building Permit	3. All buildings shall be "contemporary" in design and reflect characteristics and architectural styling of the present time. Contemporary design is based in modern architecture styling and can include clean lines, explicit geometry, variation in massing, minimal or no ornamentation, careful and honest use of materials, emphasis on shadow/light, and creative use of openings and glazing.	d. Signs shall not overhang into the public right-of-way or extend above the buildings parapet or roof line.
	III. VEHICULAR ACCESS, CIRCULATION & PARKING Proper parking and vehicle circulation is key to a safe, efficient and convenient commerical development. Visually, parking areas shall not dominate the frontage along Hwy 528. Parking shall be dispersed into smaller lots, and primarily situated between and behind buildings. Cross access and shared parking is encouraged. Careful consideration should be given to screening parking, while maintaining clear sight at intersections and pedestrian connections.	c. Walls and fences shall be at least as tall as the objects they are intended to screen but shall not exceed 8 feet high.	f. The height of street lights and off-street parking area lights shall not exceed 26 feet.	4. Historical references to traditional New Mexico styles shall be in a contemporary interpretation of those styles.	e. Off-premise signs and portable signs are prohibited
	a. Off-street parking areas, including parking spaces size, drive aisle widths, pedestrian walkways, and screening shall comply with Section 14-16-3-1 of the CABQ Comp. Zoning Code.	d. All screening devises shall be in compliance with the City of Albuquerque DPM's Clear Sight Triangle regulations.	g. All lights shall be shielded to prevent light spillage onto adjocent properties or the public right-of-way.	c. Articulation 1. Buildings shall have a variety of structural forms to create visual interest and character.	f. Building mounted signs shall have contrasting colors from the background and text height and font to ensure readability
	1. Parking areas shall be designed to include a min. 6 foot wide pedestrian connections to buildings	e. All mechanical equipment shall meet the screening requirements of Section 14-16-3-18(C)(6) of the CABQ Comp. Zoning Code.	h. Pedestrian lighting shall not exceed 12 feet in height	2. Long unarticulated facades shall be prohibited. Facades shall have varied front setbacks, bump-outs, or wall planes that do not run in one continuous direction of more than 100 feet without a change in color, material or architectural treatment.	X. PROCESS No building mounted sign shall intrude upon architectural features like windows, columns, or parapets. The plan for Building Permit shall be delegated to the Development Review Board and shall be consistent with the design standards established by the Site Development Plan for Subdivision.
B	1. Parking shall be placed beside, behind buildings or screened from surrounding neighborhoods by a 3 foot wall or landscaping. Walls shall compliment the material and style of surrounding buildings.	f. Walls and fences shall comply with Section 14-16-3-19 of the CABQ Comp. Zoning Code.	i. Tree canopy lighting may be used to accent and enhance pedestrian connections.	3. Massing elements shall be reinforced with accent color or material variation.	
	b. Bicycle parking shall comply with Section 14-16-3-1(B) of the CABQ Comp. Zoning Code.	g. Perimeter walls shall include openings at all pedestrian connections to insure convenient access to adjacent tracts.	j. Exterior elevations of buildings fronting the public right-of-way may use accent lighting to enhance the building	d. Materials: 1. The architectural expression of all buildings shall reflect contemporary style with materials that compliment New Mexico and southwest vernacular.	
	1. Secure bicycle parking shall be provided in convenient locations to help promote cycle commuting.	h. The use of razor ribbon, razor wire, barbed wire, chain link fencing with or without slots, cyclone fencing or unfinished, smooth, grey CMU is prohibited.		2. Individual building elements and materials shall be of excellent design, construction, and quality. Examples of appropriate materials include: - Metal wall panels - Porcelain tile - Natural or cast stone - Concrete (colored or patterned) - Rammed earth - Glass - Stucco or EIFS - Brick or decorative CMU	
	c. Motorcycle parking shall comply with Section 14-16-3-1(C) of the CABQ Comp. Zoning Code.	i. Some examples of acceptable wall & fence materials include: 1. stucco over CMU 2. split faced block 3. brick 4. stone 5. curved interlock blocks 6. solid, perforated or patterned sheet metal. (no corugated roofing sheet metal)	a. Street trees shall be provided as per the Street Tree Ordinance (6-6-2-1 et seq., Street Tree Ordinance) of the CABQ Comp. Zoning Code.	3. The following exterior building materials shall be prohibited: - Engineered wood paneling - Vinyl or plastic siding - plain grey, or unfinished smooth CMU	
A	d. Building entries shall be clearly visible from parking areas or by site access and circulation.	j. The finish of walls & fences shall be attractive and complimentary to the building materials on site.	b. A minimum of 15% of the net site area shall be devoted to landsapce materials.	4. All glazing shall be clear and neutral in color. Reflective, deeply colored, and patternized glazing is prohibited	
	e. Grading and drainage design of parking areas shall comply with Chapt 22 of the Development Process Monual and shall incorporate low impact development principles.	k. Retaining walls are permitted and shall be attractive and complimentary to the building materials and colors on site.	c. Gravel, mulch, cobble, bark, and other similar materials are acceptable as a top dressing for the landscape areas	5. Canopies, trellises and awnings shall be durable and weather resistent, such as metal, corrugated metal, or steel.	
	1. Parking islands shall allow for proper drainage or used for water harvesting.	1. Retaining walls, seat walls, or elements intended to compensate for the slope in the site, shall avoid long, unarticulated expanses of wall. Walls shall have varied setbacks of at least one foot in planes not running in on continuous direction for more than fifty feet without a change in height or setback.	d. Gravel shall be a 1-1/2" maximum, and color shall be consitent or specific to a design pattern throughout the site.	6. Colors shall include earth tones with accent colors in limited areas. i. No more than 2 accent colors shall be used per building ii. The use of constrasting colors for shade elements and metal accents are encouraged.	
	V. WALLS, FENCES & SCREENING To enhance the attractiveness of site and parking lots, screening of areas such as parking and utility items, as well as retaining walls shall meet the following design standards. Walls, fences and screening shall meet the requirements of Section 14-16-3-19 of the Abq. Comprehensive Zoning Code.	2. Pedestrian sidewalks and landscape shall be integrated into these locations where applicable to allow for pedestrian access through elevation changes with the site.	e. All plant material shall be maintained by the building owner in a living, attractive condition, and free of weeds and trash.		
		l. Grading and drainage plans must comply with the City of Albuquerque's Drainage Ordinance.	f. Minimum plant material sizes at the time of installation shall be: 1. Canopy Trees - 2" caliper 2. Evergreen Trees - 10" min. height 3. Accent Trees - 2" caliper 4. Shrubs and groundcovers - 1 gallon minimum		
		1. All measures shall be taken to provide public safety at ponding locations	g. Landscape plans shall comply with the City's Water Conservation Ordinance and Pollen Ordinance.		
		VI. LIGHTING AND SECURITY To improve safety, security and site aesthetics, lighting design shall be carefully considered. The primary design goal of site lighting shall be to maximize public safety without impacting the adjacent properties, buildings or roadways with extraneous glare or reflection.	h. Drought tolerant species shall be used in landscape areas, and zeric scape planting is encouraged. Live plant materials shall cover a min. 75% of landscape areas at maturity.		
			i. An automatic underground irrigation system is required to support all site landscaping. The system shall be designed to avoid over-spraying on walls, buildings, fences, sidewalks, parking areas, etc. Irrigation components shall be maintained properly in full working condition at all times.		
			j. The irrigation system serving landscaped areas shall be a fully automated system with centralized computer controls.		
			k. Landscape beds shall be at grade to promote water harvesting.		
1	2	3	4	5	

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COMMERCIAL REDEVELOPMENT 3615 NM HWY 528 Albuquerque, NM		
DATE: 12/5/16		
SHEET TITLE: DRB -FINAL SIGN-OFF FOR EPC APPROVED SDP FOR SUBDIVISION		
A-2 DESIGN STANDARDS		



LEGEND:

38.00 FG	PROPOSED SPOT ELEVATIONS (FINISHED GRADE)		STORM DRAIN MANHOLE
MATCH (95.19)	MATCH EXISTING ELEVATIONS		SANITARY SEWER MANHOLE
TCOR	TOP OF CONCRETE FLOW LINE, CURB	SAS	SANITARY SEWER LINE
FL	FINISH GRADE	SD	STORM DRAIN LINE
INV	TOP OF BASE COURSE		STORM DRAIN INLET
FG	TOP OF CURB		POWER POLE
TBC	TOP OF GRATE		GUY WIRE
TC	FLOW ARROW		OVERHEAD WIRES
TG	GRADE BREAK-HIGH POINT		SEWER
SD	SWALE		UNDERGROUND ELECTRIC LINE
5895	PROPOSED MAJOR CONTOUR		UNDERGROUND COMMUNICATIONS LINE
5895	PROPOSED MINOR CONTOUR		UNDERGROUND GAS LINE
5895	EXISTING MAJOR CONTOUR		UNDERGROUND WATER LINE
5895	EXISTING MINOR CONTOUR		SANITARY SEWER CLEAN-OUT
			WATER METER
			WATER VALVE
			HYDRANT
			FENCE

GRADING AND DRAINAGE
NARRATIVE

THE EXISTING PROPERTY FOR COMMERCIAL DEVELOPMENT IS LOCATED AT 3615 ALAMEDA BLVD. NW (HWY. 528). THE SITE IS ACCESSED FROM THE NORTH SIDE (EXISTING DEVELOPMENT) FROM NORTH BAR RANCH NW AND THE WEST SIDE FROM ALAMEDA BLVD. NW. AND FROM THE EAST SIDE COMMERCIAL DEVELOPMENT. THE SITE CONSISTS OF A EXISTING PARKING LOT, BUILDING AND CONCRETE FLATWORK. THERE IS AN EXISTING DEVELOPMENT (SEVEN BAR RANCH) ON THE NORTH AND SOUTH SIDE. THE PROPERTY IS BOUNDED BY ALAMEDA BLVD (NM-528) ON THE WESTSIDE. TO THE EAST IS A VACANT COMMERCIAL LOT. THE LAND IS GENERALLY FLAT AND SLOPES FROM THE SOUTHWEST TO THE NORTHEAST. THE POSSIBLE IMPROVEMENTS WILL BE NEW BUILDINGS AND ASSOCIATED CONCRETE FLATWORK, ASPHALT PARKING LOT, CURB AND GUTTERS AND ASSOCIATED SITE WORK.

THE PROPOSED GRADING IMPROVEMENTS WILL INCLUDE STANDARD CURB AND GUTTER, WITH CURB CUTS AND RUNDOWNS ALLOWING STORMWATER INTO PROPOSED WATER HARVESTING AREAS. THIS WATER HARVESTING AREAS WILL BE USED TO MANAGE THE 90TH PERCENTILE STORM EVENTS (REQD VOL= (0.33 IN. * 65900 SF)/12 = 1850 CF. PROPOSED WATER HARVEST AREA VOL 4500 CF > 1850 CF, AS REQUIRED BY THE RECENT CITY OF ALBUQUERQUE DRAINAGE ORDINANCE CHANGES. ALL ROOF DRAINAGE AND PROPOSED ASPHALT PARKING AREAS WILL DISCHARGE INTO WATER HARVEST AREAS IN THE NORTH AND NORTHEAST CORNER OF THE SITE AND THE EASTERN PORTION OF THE SITE.

THE SUBJECT PROPERTY IS NOT LOCATED WITHIN A FEMA DESIGNATED FLOOD ZONE AS PER FEMA MAPS.

KEYED NOTES:

- 1) NEW HOT MIX ASPHALT.
- 2) APPROXIMATE LOCATION OF PROPERTY LINE.
- 3) NEW WATER QUALITY INLET (4 TYPICAL).
- 4) NEW 12" STORM DRAIN PIPE.
- 5) CONNECT TO EXISTING STORM DRAIN MAIN.
- 6) NEW WATER HARVEST AREA.
- 7) SWALE.
- 8) NEW BUILDING.
- 9) EXISTING ASPHALT.
- 10) SAW CUT EXISTING ASPHALT, MATCH EXISTING ELEVATION. SEE PLAN FOR ELEVATION.

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SHEET TITLE: EPC CONCEPTUAL GRADING AND DRAINAGE PLAN FOR SUBDIVISION	
C-101	