

# CITY OF ALBUQUERQUE

Planning Department  
Alan Varela, Director



Mayor Timothy M. Keller

February 6, 2023

Ronald Bohannon, P.E.  
Tierra West, LLC  
5571 Midway Park Place NE  
Albuquerque, NM 87109

**RE: Dutch Brothers - 528  
3615 Hwy 528 NW  
30-day Temporary C.O. - Accepted  
Engineer's Certification Date: 02/01/23  
Engineer's Stamp Date: 01/31/22  
Hydrology File: A14D019**

Dear Mr. Bohannon:

PO Box 1293

Based **solely** on the Certification received 02/01/2023, this letter serves as a “green tag” from Hydrology Section for a **30-day** Temporary Certificate of Occupancy to be issued by the Building and Safety Division.

Albuquerque

**PRIOR TO PERMANENT CERTIFICATE OF OCCUPANCY:**

NM 87103

1. Please Resubmit to [PLNDRS@cabq.gov](mailto:PLNDRS@cabq.gov) when ready.
2. Please provide the executed paper Drainage Covenant (latest revision) printed on one-side only with Exhibit A and a check for **\$25.00** made out to “**Bernalillo County**” for the stormwater quality ponds per Article 6-15(C) of the DPM to Hydrology for review at Plaza de Sol.
3. Please provide a private Drainage Easement for the stormwater quality pond. Please submit the original copies along with the **\$25.00** made out to “**Bernalillo County**” to Hydrology for review at Plaza de Sol.

[www.cabq.gov](http://www.cabq.gov)

If you have any questions, please contact me at 924-3995 or [rbrissette@cabq.gov](mailto:rbrissette@cabq.gov).

Sincerely,

Renée C. Brissette, P.E. CFM  
Senior Engineer, Hydrology  
Planning Department



# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET

**Project Title:** Dutch Bros. Coffee **Building Permit #** \_\_\_\_\_ **Hydrology File #** \_\_\_\_\_

**DRB#** \_\_\_\_\_ **EPC#** \_\_\_\_\_

**Legal Description:** TRACT C-4-A PLAT OF TRACTS C3A C3B C3C AND C4A SEVEN BAR RANCH **City Address OR Parcel** 3615 Hwy 528 NW Albuquerque, NM 87114  
CONT 1.9900 AC M/L OR 86,684 SQ FT M/L

**Applicant/Agent:** TIERRA WEST LLC **Contact:** Luis Noriega

**Address:** 5571 Midway Park Place NE Albuquerque, NM 87109 **Phone:** 505-858-3100

**Email:** LNORIEGA@TIERRAWESTLLC.COM

**Applicant/Owner:** Westernhills Investements LLC **Contact:** Julian Garza

**Address:** \_\_\_\_\_ **Phone:** \_\_\_\_\_

**Email:** \_\_\_\_\_

**TYPE OF DEVELOPMENT:** PLAT (#of lots) RESIDENCE DRB SITE ☒ ADMIN SITE: \_\_\_\_\_  
**RE-SUBMITTAL:** YES ☒ NO

**DEPARTMENT:** TRANSPORTATION ☒ HYDROLOGY/DRAINAGE

Check all that apply:

### TYPE OF SUBMITTAL:

- ☒ ENGINEER/ARCHITECT CERTIFICATION
- ☐ PAD CERTIFICATION
- ☐ CONCEPTUAL G&D PLAN
- ☐ GRADING PLAN
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE MASTER PLAN
- ☐ FLOOD PLAN DEVELOPMENT PERMIT APP.
- ☐ ELEVATION CERTIFICATE
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ADMINISTRATIVE
- ☐ TRAFFIC CIRCULATION LAYOUT FOR DRB APPROVAL
- ☐ TRAFFIC IMPACT STUDY (TIS)
- ☐ STREET LIGHT LAYOUT
- ☐ OTHER (SPECIFY) \_\_\_\_\_
- ☐ PRE-DESIGN MEETING?

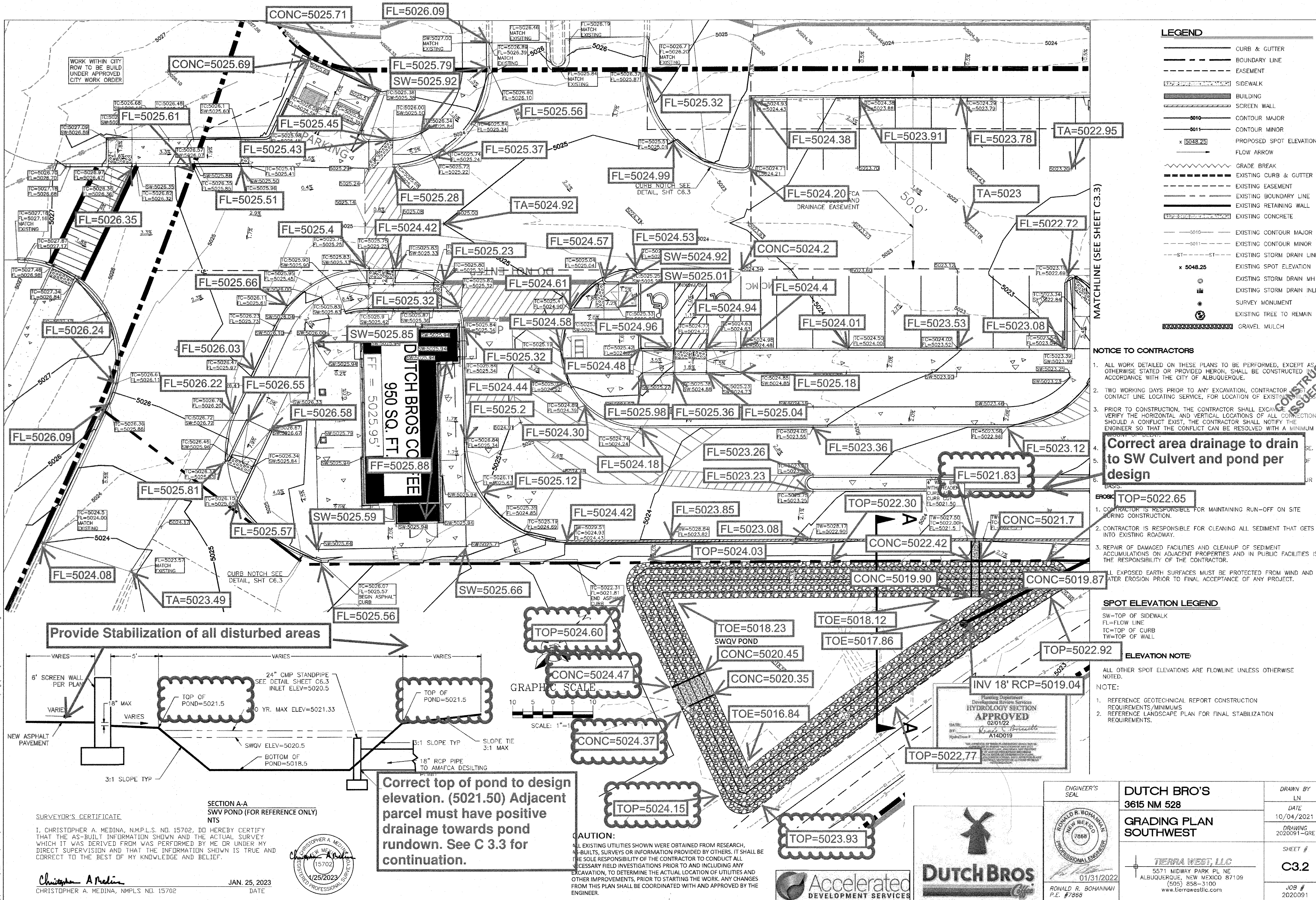
### TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ BUILDING PERMIT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY Temporary
- ☐ CONCEPTUAL TCL DRB APPROVAL
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ SITE PLAN FOR SUB'D APPROVAL
- ☐ SITE PLAN FOR BLDG PERMIT APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ SIA/RELEASE OF FINANCIAL GUARANTEE
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ SO-19 APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ GRADING PAD CERTIFICATION
- ☐ WORK ORDER APPROVAL
- ☐ CLOMR/LOMR
- ☐ FLOOD PLAN DEVELOPMENT PERMIT
- ☐ OTHER (SPECIFY) \_\_\_\_\_

**DATE SUBMITTED:** 02.01.2023



\\TNWAS2\Drive\2020\2020081 Dutch Bros NMD105 Alameda & Elihu\dwg\DRB\2020091-GRE.dwg Jan 31, 2022 - 9:06am

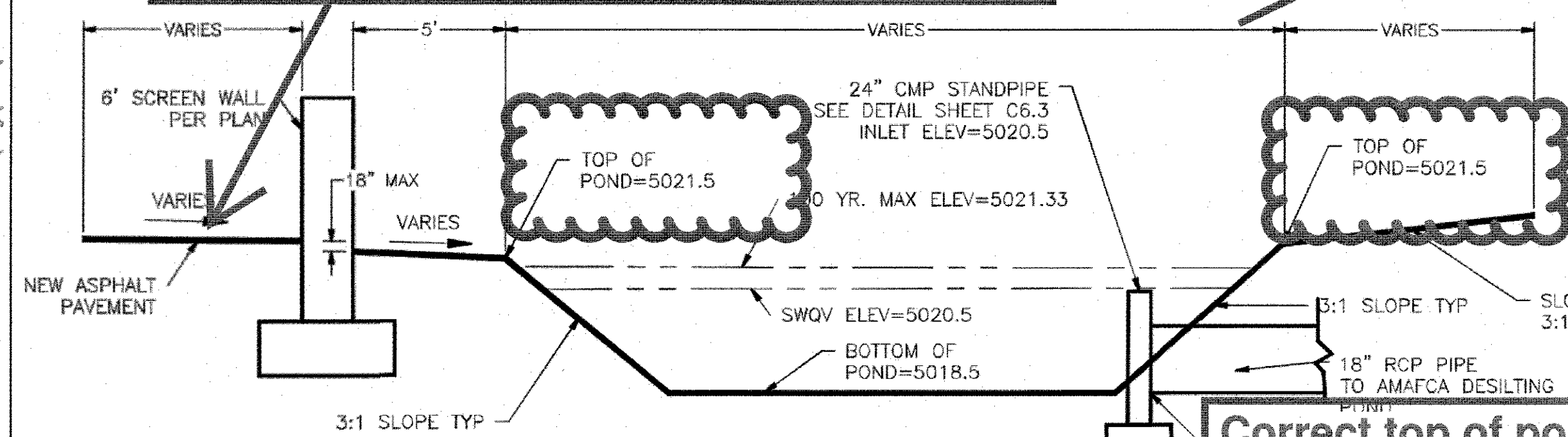


- LEGEND**
- CURB & GUTTER
  - BOUNDARY LINE
  - EASEMENT
  - SIDEWALK
  - BUILDING
  - SCREEN WALL
  - 5010 — CONTOUR MAJOR
  - 5011 — CONTOUR MINOR
  - × 5048.25 — PROPOSED SPOT ELEVATION
  - FLOW ARROW
  - GRADE BREAK
  - EXISTING CURB & GUTTER
  - EXISTING EASEMENT
  - EXISTING BOUNDARY LINE
  - EXISTING RETAINING WALL
  - EXISTING CONCRETE
  - 5010 — EXISTING CONTOUR MAJOR
  - 5011 — EXISTING CONTOUR MINOR
  - ST — EXISTING STORM DRAIN LINE
  - × 5048.25 — EXISTING SPOT ELEVATION
  - ⊙ — EXISTING STORM DRAIN WH
  - ⊙ — EXISTING STORM DRAIN INLET
  - ⊙ — SURVEY MONUMENT
  - ⊙ — EXISTING TREE TO REMAIN
  - GRAVEL MULCH

- NOTICE TO CONTRACTORS**
- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED ACCORDANCE WITH THE CITY OF ALBUQUERQUE.
  - TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR SHALL CONTACT LINE LOCATING SERVICE, FOR LOCATION OF EXISTING UTILITIES.
  - PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCHANGE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONNECTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
  - Correct area drainage to drain to SW Culvert and pond per design**
  - 
  -

- SPOT ELEVATION LEGEND**
- SW=TOP OF SIDEWALK  
FL=FLOW LINE  
TC=TOP OF CURB  
TW=TOP OF WALL
- ELEVATION NOTE:**
- ALL OTHER SPOT ELEVATIONS ARE FLOWLINE UNLESS OTHERWISE NOTED.
- NOTE:**
- REFERENCE GEOTECHNICAL REPORT CONSTRUCTION REQUIREMENTS/MINIMUMS
  - REFERENCE LANDSCAPE PLAN FOR FINAL STABILIZATION REQUIREMENTS.

**Provide Stabilization of all disturbed areas**



**Correct top of pond to design elevation. (5021.50) Adjacent parcel must have positive drainage towards pond rundown. See C 3.3 for continuation.**

**SURVEYOR'S CERTIFICATE**

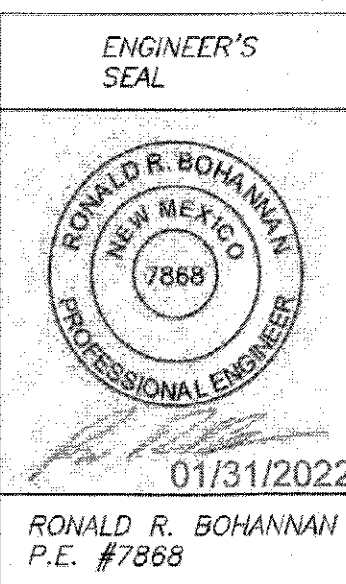
I, CHRISTOPHER A. MEDINA, N.M.P.L.S. NO. 15702, DO HEREBY CERTIFY THAT THE AS-BUILT INFORMATION SHOWN AND THE ACTUAL SURVEY WHICH IT WAS DERIVED FROM WAS PERFORMED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT THE INFORMATION SHOWN IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

Christopher A. Medina  
CHRISTOPHER A. MEDINA, N.M.P.L.S. NO. 15702  
JAN. 25, 2023  
DATE



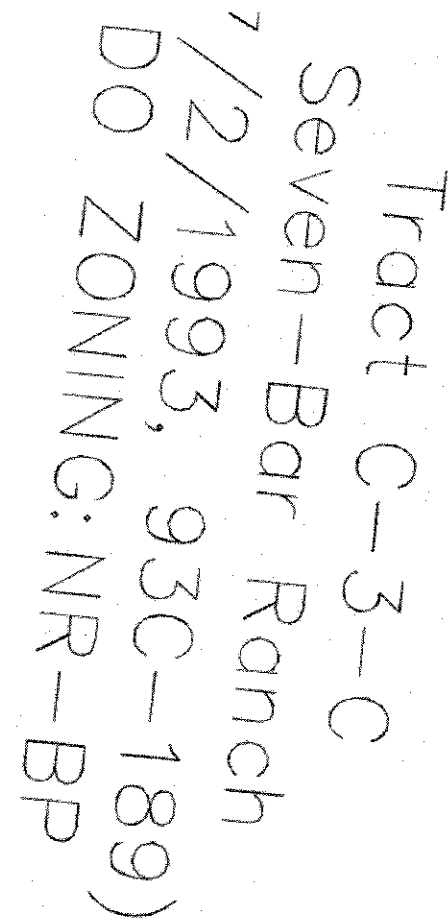
**CAUTION:**

ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS. PRIOR TO STARTING THE WORK, ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.



|   |                        |
|---|------------------------|
| <b>DUTCH BRO'S</b><br>3615 NM 528   | DRAWN BY<br>LN         |
| <b>GRADING PLAN</b><br>SOUTHWEST  | DATE<br>10/04/2021     |
| <b>TIERRA WEST, LLC</b><br>5571 MIDWAY PARK PL NE<br>ALBUQUERQUE, NEW MEXICO 87109<br>(505) 858-3100<br>www.tierrawestllc.com | DRAWING<br>2020091-GRE |
|   | SHEET #<br>C3.2        |
|   | JOB #<br>2020091       |





**Provide Stabilization of all disturbed areas**

## Grout fill CMU Rundown Walls

Correct area drainage to flow to  
SW Culvert and pond per  
design. See C 3.2 for  
continuation

**DISCHARGE CERTIFICATION WITH SURVEY WORK DONE BY PROFESSIONAL SURVEYOR**

I, **WALTER D. BOHANNAN**, NMP# **7288**, OF THE FIRM, **TIERRA WEST LLC**, HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE ORIGINAL INTENT OF THE APPROVED PLANDRAWN **1/31/2022**. THE RECORD INFORMATION EDITED INTO THE ORIGINAL INTENT OF THE APPROVED PLANDRAWN HAS BEEN OBTAINED BY **BRUNN MARTINEZ**, NMP# **81374**, OF THE FIRM **BRUNN MARTINEZ SURVEYS INC.**

I, FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON **2/1/23** AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

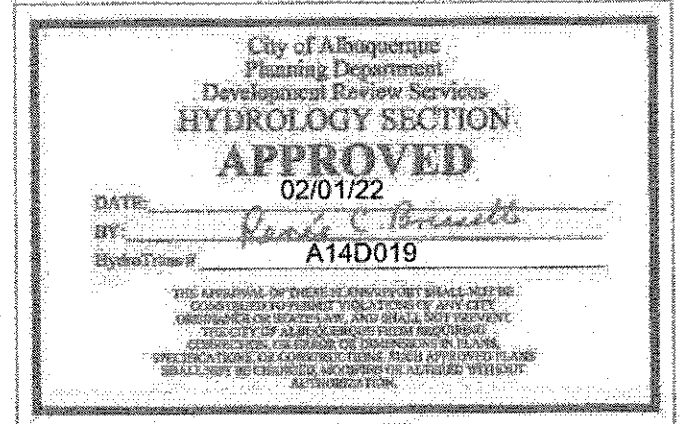
THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR **TEMPORARY CERTIFICATE OF OCCUPANCY**.

**EXCEPTIONS:**

- Correct top of pond elevations and provide positive drainage of adjacent parcel
- Correct area drainage at NE corner of drive through access
- Install headwall at 18" RCP Discharge within AMAFCA Drainage Pond
- Scrub fill concrete turnaround walls
- Stabilize all area disturbed by construction activities

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE. SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

**CAUTION:**  
ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.



- ### AMAFCA GENERAL NOTES:
1. AMAFCA FIELD ENGINEER SHALL BE NOTIFIED 48 HOURS PRIOR TO ANY WORK WITHIN THE AMAFCA R/W. TELEPHONE (505)884-2215.
  2. NO WORK SHALL BE PERFORMED IN THE AMAFCA R/W BETWEEN MAY 15 AND OCTOBER 15 WITHOUT WRITTEN PERMISSION FROM AMAFCA.
  3. ALL SUB-GRADE, BACKFILL, AND EMBANKMENT SHALL BE COMPACTED TO 95% ( $\pm$  2% OF OPTIMUM MOISTURE PER ASTM D-1557) WITHIN THE AMAFCA R/W. TESTING REPORTS SHALL BE PROVIDED TO AMAFCA FIELD ENGINEER.
  4. AMAFCA FIELD ENGINEER SHALL BE NOTIFIED 48 HOURS PRIOR TO FINAL INSPECTION OF ANY FACILITIES WITHIN THE AMAFCA R/W.
  5. ALL DISTURBED GROUND AREAS SHALL BE REVEGETATED IN ACCORDANCE WITH CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, SECTION 1012 NATIVE GRASS SEEDING, AS CURRENTLY UPDATED.
  6. ANY MONUMENTS DISTURBED OR DESTROYED SHALL BE REPLACED BY A NM LICENSED SURVEYOR AT THE CONTRACTOR'S EXPENSE. AMAFCA SHALL BE NOTIFIED 48 HOURS PRIOR TO ANY MONUMENT PLACEMENT.
  7. THE MAXIMUM WHEEL LOAD ALLOWED IN AMAFCA CHANNELS IS 12,000 POUNDS.
  8. NO TRACKED VEHICLES ARE ALLOWED IN AMAFCA CHANNELS REGARDLESS OF LOCATION WITHOUT WRITTEN PERMISSION FROM AMAFCA.
  9. CRANES OPERATING IN AMAFCA CHANNELS WITH OUTRIGGERS SHALL LIMIT THE OUTRIGGER FOOTPRINT LOAD AREA TO LESS THAN 12,000 POUNDS.
  10. ALL CULVERT PIPE PLACED UNDER THE CHANNEL LINING OR WITHIN AMAFCA RIGHT-OF-WAY SHALL BE RCP CLASS III MIN.

NOTICE TO CONTRACTORS

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3. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONNECTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
4. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
5. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
6. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

EROSION CONTROL NOTES:

1. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
2. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING ROADWAY.
3. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
4. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.

### SPOT ELEVATION LEGEND

SW=TOP OF SIDEWALK  
FL=FLOW LINE  
TC=TOP OF CURB  
TW=TOP OF WALL

**SPOT ELEVATION NOTE:**

ALL OTHER SPOT ELEVATIONS ARE FLOWLINE UNLESS OTHERWISE NOTED.

NOTE:

1. REFERENCE GEOTECHNICAL REPORT CONSTRUCTION REQUIREMENTS/MINIMUMS
2. REFERENCE LANDSCAPE PLAN FOR FINAL STABILIZATION REQUIREMENTS.

|   |   |  |
|---|---|--|
| ENGINEER'S<br>SEAL  | DUTCH BRO'S<br>3615 NM 528  | DRAWN BY<br>LN   |
|  | GRADING PLAN<br>NORTHEAST   | DATE<br>10/04/2021                                       |
| 01/31/2022<br><br>RONALD R. BOHANNAN<br>P.E. #7868                                    |  TERRA WEST, LLC<br>5571 MIDWAY PARK PL. NE<br>ALBUQUERQUE, NEW MEXICO 87109<br>(505) 858-3100<br>www.terrawestllc.com | DRAWING<br>2020091-GRE<br><br>SHEET #<br><br><b>C3.3</b> |
|   |   | JOB #<br>2020091   |