

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

October 20, 2022

Amanda Herrera, PE
Tierra West, LLC
5571 Midway Park Pl. NE
Albuquerque, NM 87109

Re: Fliz Drinks
Corner of Cottonwood Dr. and Old Airport Rd. NW
Conceptual Traffic Circulation Layout for DRB Approval
Engineer's Stamp 10-19-22 (A14_D049)

Dear Ms. Herrera,

The conceptual TCL submittal received 09-14-2022 is approved for DRB submittal. When submitting this project through the building permit process, please provide a copy of the approved DRB Site plan along with a more detailed site plan for construction purposes through a second Traffic Circulation Layout submittal process. The detailed plan will be compared against the approved DRB site plan to ensure that all previously approved site infrastructure is shown with exact paving layout, dimensioning, and parking capacity. Ultimately, a copy of the approved DRB Site Plan and the more detailed stamped and signed plan will both be needed for each of the building permit plans. Please keep these originals to be used for certification of the site for final C.O. for Transportation.

When the site construction is completed and an inspection for Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification, the TCL, and a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

Ernest Armijo, P.E.
Principal Engineer, Planning Dept.
Development Review Services

C: CO Clerk, File



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: Fiiz Drinks **Building Permit #:** _____ **Hydrology File #:** _____
DRB#: _____ **EPC#:** _____ **Work Order#:** _____
Legal Description: TR MM-1A and MM-1B Seven Bar Ranch
City Address: Old Airport Rd and Cottonwood DR.

Applicant: Tierra West, LLC **Contact:** Amanda Herrera
Address: 5571 Midway Park Place NE Albuquerque NM 87109
Phone#: 505-858-3100 **Fax#:** 505-858-1118 **E-mail:** aherrera@tierrawestllc.com

Other Contact: RSF Land & Cattle Company LLC **Contact:** Casey Allman
Address: 5740 Night Whisper Rd NW #100 Albuquerque, NM 87114
Phone#: 505-803-8187 **Fax#:** _____ **E-mail:** caseyallman@gmail.com

TYPE OF DEVELOPMENT: _____ PLAT (# of lots) _____ RESIDENCE _____ DRB SITE _____ ADMIN SITE

IS THIS A RESUBMITTAL? _____ Yes ☒ No

DEPARTMENT ☒ TRANSPORTATION _____ HYDROLOGY/DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

- ☐ ENGINEER/ARCHITECT CERTIFICATION
- ☐ PAD CERTIFICATION
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE MASTER PLAN
- ☐ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- ☐ ELEVATION CERTIFICATE
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ TRAFFIC IMPACT STUDY (TIS)
- ☐ STREET LIGHT LAYOUT
- ☐ OTHER (SPECIFY) _____
- ☐ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

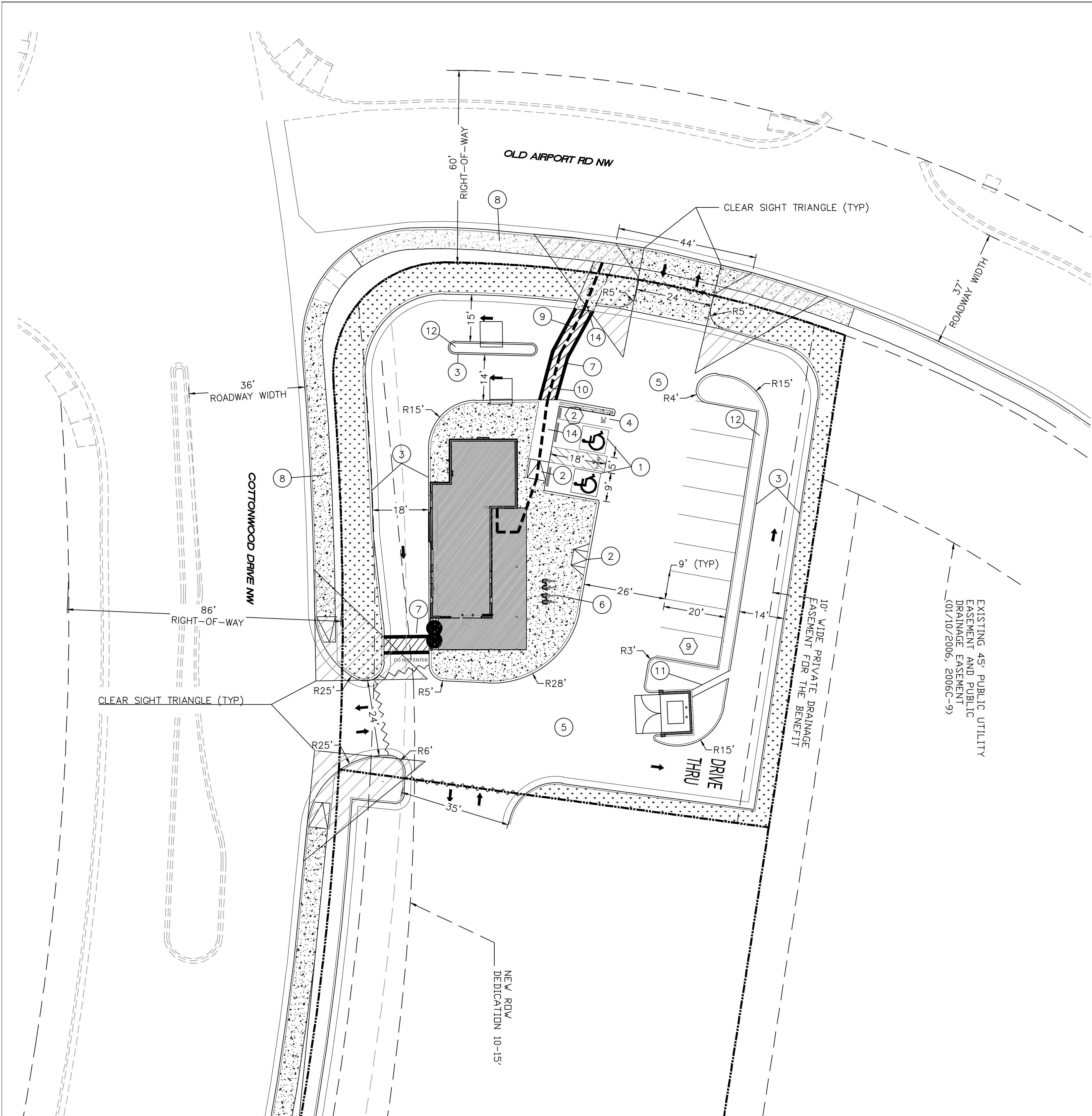
- ☐ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY
- ☒ PRELIMINARY PLAT APPROVAL
- ☐ SITE PLAN FOR SUB'D APPROVAL
- ☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ SO-19 APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ GRADING/ PAD CERTIFICATION
- ☐ WORK ORDER APPROVAL
- ☐ CLOMR/LOMR
- ☐ FLOODPLAIN DEVELOPMENT PERMIT
- ☐ OTHER (SPECIFY) _____

DATE SUBMITTED: 9-8-22 **By:** Amanda Herrera

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____

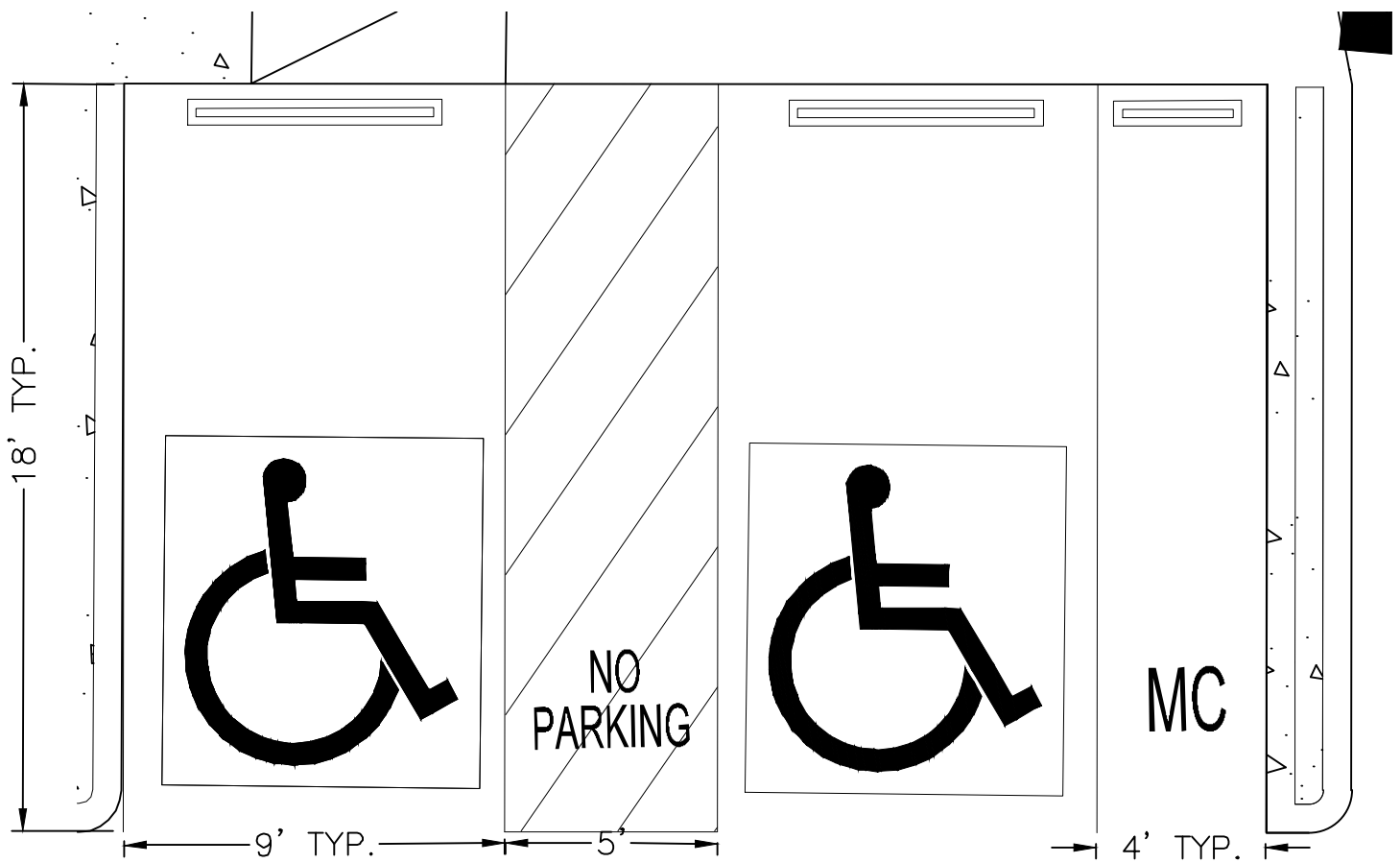


LEGEND

- CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- BUILDING
- PROPOSED SIDEWALK
- EXISTING CURB & GUTTER
- EXISTING BOUNDARY LINE
- PARKING COUNT
- CLEAR SIGHT TRIANGLE

KEYED NOTES

- ACCESSIBLE PARKING W/SIGN PER ADA STANDARDS (1.0% MIN - 2.0% MAX SLOPE) SEE DETAIL SHEET DET-1
- UNIDIRECTIONAL ACCESSIBLE RAMP, SEE DETAIL SHEET DET-1
- STANDARD CURB AND GUTTER (TYP) PER COA STD DWG 2415A, SEE DETAIL SHEET DET-1
- MOTORCYCLE SPACE (4'X8' MIN) W/SIGN
- NEW ASPHALT PAVING SEE DETAIL SHEET DET-1
- BICYCLE RACK, SEE DETAIL SHEET DET-1
- 5' PEDESTRIAN CROSSING, SEE DETAIL SHEET DET-1
- NEW 6' CONCRETE SIDEWALK PER COA STD DWG 2430 SEE DETAIL SHEET DET-1
- ADA PUBLIC ACCESS PATHWAY
- ADA PARKING ACCESSIBLE PATHWAY
- CURB CUT SEE DETAIL SHEET DET-1
- DRIVE-THRU MEDIAN
- ADA ACCESSIBLE RAMP PER COA STD DWG 2426, SEE DET-2
- ZERO-FLUSH CURB, SEE DETAIL SHEET DET-1



TYPICAL HANDICAP AND MOTORCYCLE PARKING
NTS



VICINITY MAP

B14

LEGAL DESCRIPTION:

MM-1-B SEVEN-BAR RANCH (BEING A REPLAT OF TRACT MM-1 SEVEN-BAR RANCH) CONT 0.55 AC

SITE DATA

PROPOSED USAGE	RESTAURANT
LOT AREA	23,958 SF (0.55 ACRES)
ZONING	MX-X

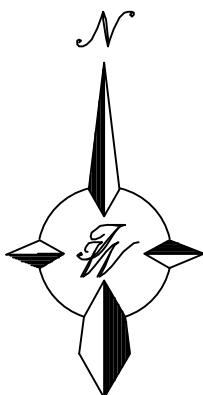
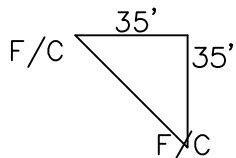
PARKING REQUIRED

8 SPACES/1,000 SQ.FT. GFA= 1,073 SF

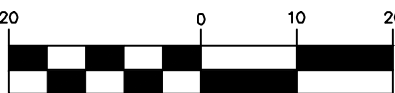
REQUIRED	8.6 SPACES
PARKING PROVIDED	9 SPACES
HC PARKING REQUIRED	1 SPACES
HC PARKING PROVIDED	2 SPACES
MC PARKING REQUIRED	1 SPACES
MC PARKING PROVIDED	1 SPACES
TOTAL	12 SPACES

BICYCLE SPACES REQUIRED	2 SPACES
BICYCLE SPACES PROVIDED	4 SPACES

CLEAR SIGHT TRIANGLE NOTE:
LANDSCAPING, SIGNAGE, WALLS, FENCES, TREES, AND SHRUBBERY BETWEEN 3 FEET AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) ARE NOT ALLOWED WITHIN THE CLEAR SIGHT TRIANGLE.



GRAPHIC SCALE



(IN FEET)
1 inch = 20 ft.

CAUTION

ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

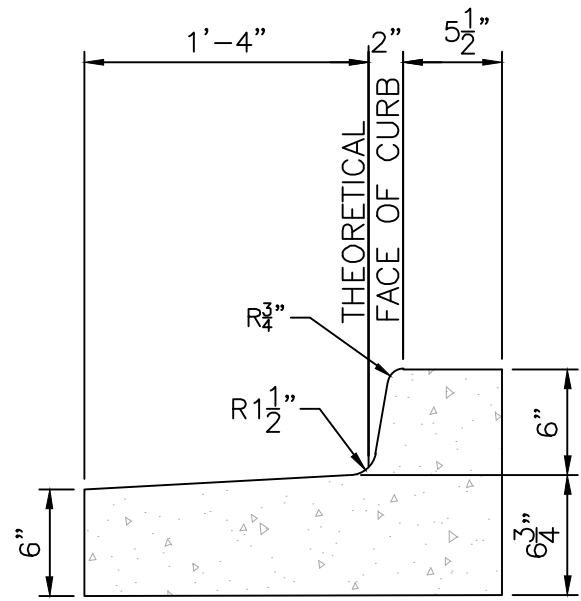
GENERAL NOTES - SITE PLANS:

- THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO COMMENCING THIS WORK. IN CASE OF ANY DISCREPANCIES, THE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY AND WORK SHALL NOT COMMENCE WITHOUT APPROVAL FROM THE ARCHITECT.
- WRITTEN DIMENSIONS OF DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. THE GENERAL CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS AT THE BUILDING SITE, AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO PROCEEDING WITH THE WORK.
- GC AND LIGHTING CONTRACTOR TO ENSURE SITE LIGHTING FIXTURE HEADS HAVE THE CORRECT ORIENTATION. REFER TO PHOTOMETRIC DRAWINGS FOR HEAD PLACEMENT.
- GC TO COORDINATE SITE SECURITY LAYOUT AND CONDUIT SIZE & LOCATION WITH THE OWNER.
- GC TO ENSURE PAVING AT ALL EXITS SHALL NOT EXCEED A 2% MAX SLOPE IN ALL DIRECTIONS.
- PAVING SHALL BE LOWER THAN THE BUILDING SLAB BY THE FOLLOWING AMOUNTS UNO:
 - 1/2" @ ALL EXIT DOORS
 - 1/2" @ ALL SHOWROOM GLAZING LOCATIONS
 - 1 1/2" @ OVERHEAD DOORS
 - 1 1/2" @PRE-FAB METAL WALL PANELS
- PARKING LOT SHALL BE ASPHALT PAVING
- ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH NEW SIDEWALK AND CURB &GUTTER

NOTICE TO CONTRACTORS

- AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
- TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 260-1990 (OR DIAL 811 LOCALLY), FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- BACK FILL COMPACTION SHALL BE ACCORDING TO RESIDENTIAL STREET USE.
- MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.

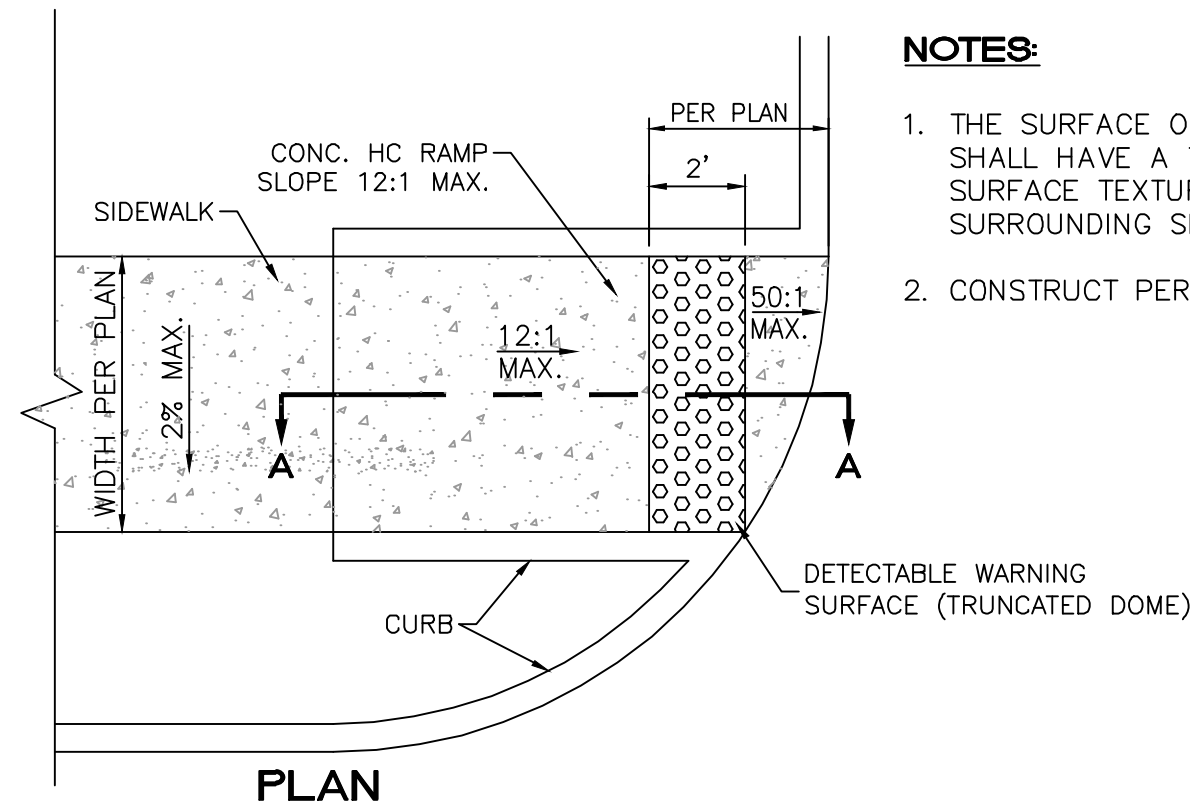
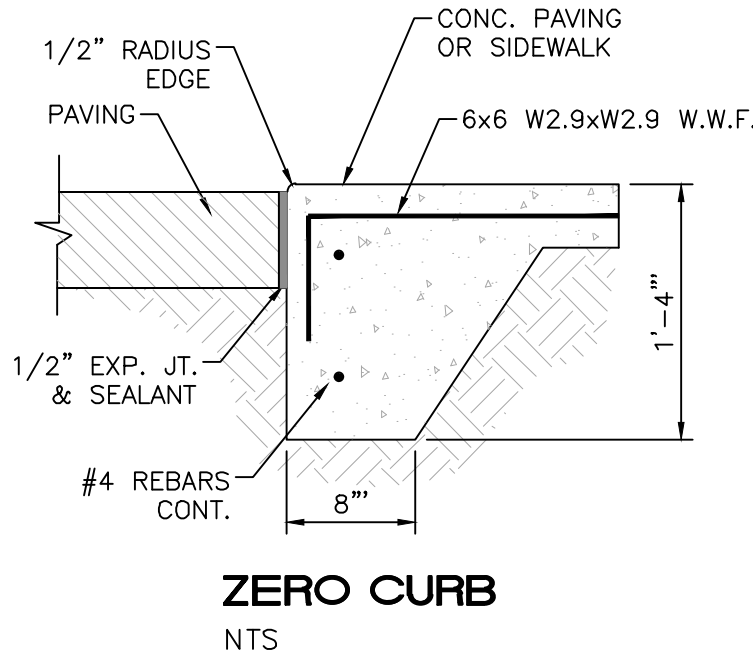
<div>ENGINEER'S SEAL</div> <div>RONALD R. BOHANNAN NEW MEXICO 7868 PROFESSIONAL ENGINEER</div> <div>10/19/2022</div> <div>RONALD R. BOHANNAN P.E. #7868</div>	FIIZ DRINKS ALBUQUERQUE, NM	DRAWN BY JL
	TRAFFIC CONTROL LAYOUT	DATE 7-14-22
	<div>TIERRA WEST, LLC</div> <div>5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com</div>	DRAWING
		SHEET # TCL-1
		JOB # 2022048



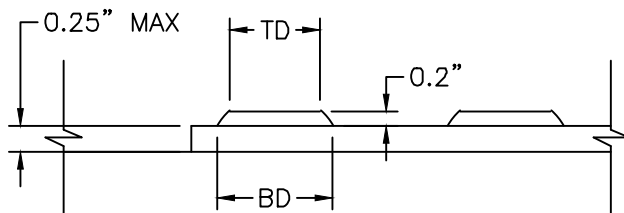
CURB GENERAL NOTES:

1. ALL CURBS TO BE CONSTRUCTED OF PORTLAND CEMENT CONCRETE, PER WAL-MART SPECIFICATIONS.
2. PROVIDE CONTRACTION JTS. 12' MAX., SPACING, 1/2" EXP. JTS. AT CURB RETURNS AND AT A MAX. SPACING OF 120' BETWEEN CURB RETURNS AND EACH SIDE OF SEPARATELY CONSTRUCTED DRIVEWAYS. CONTRACTION JTS., SHALL BE EITHER SAWED OR TOOLED A MINIMUM OF 1" DEEP AT FINISHED FACES.
3. ALL EDGES SHALL BE EDGED WITH A 3/8" RADUIS EDGING TOOL.
4. 1/4" ISOLATION JOINT SHALL BE PROVIDED BETWEEN SIDEWALK AND CURB WHEN CAST ADJACENT TO EACH OTHER.

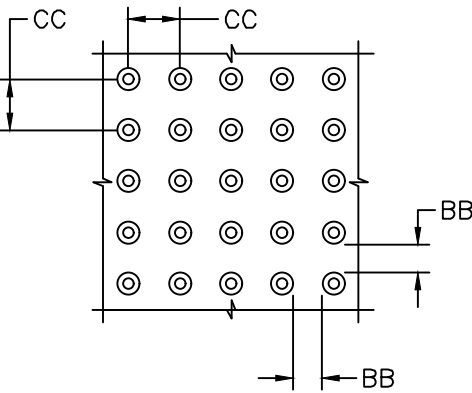
STANDARD CURB / GUTTER
NTS
COA STD DWG 2415A



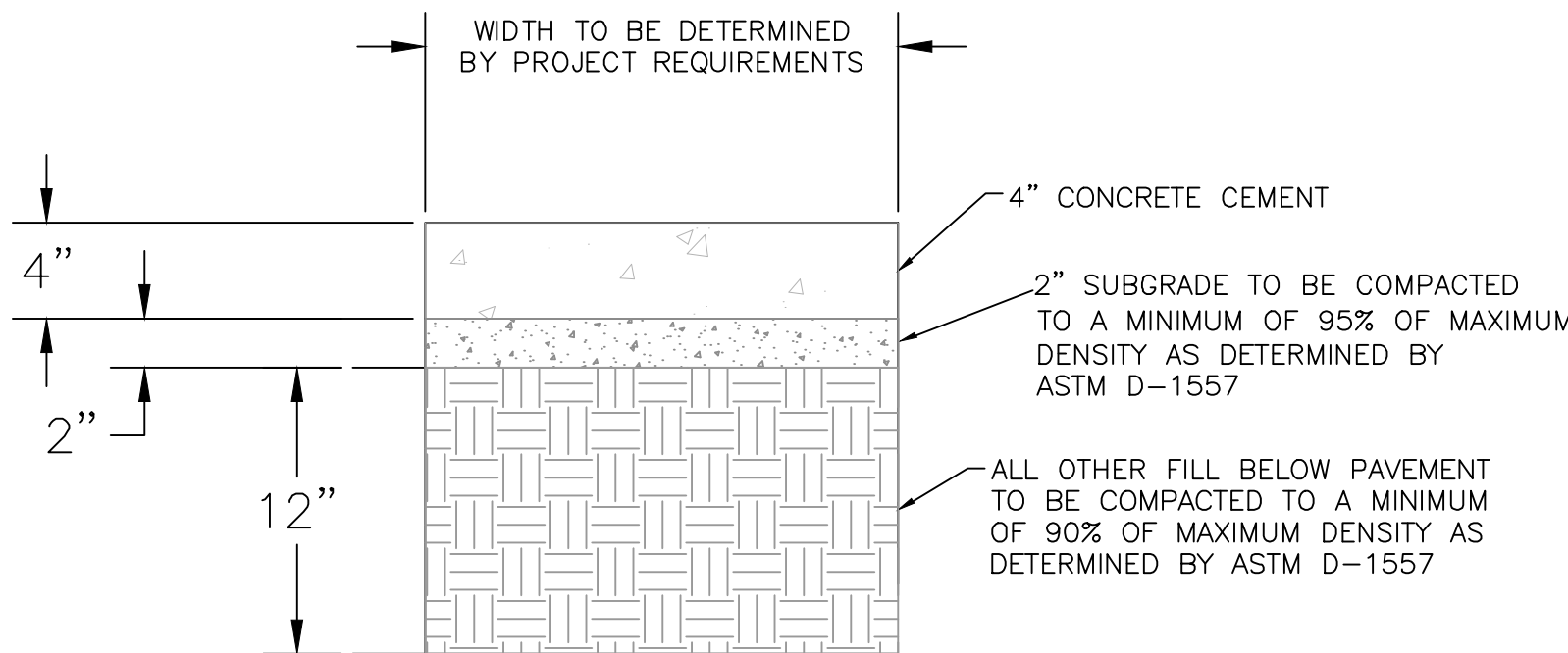
- NOTES:**
1. THE SURFACE OF RAMP AND SIDES SHALL HAVE A TRANSVERSE BROOMED SURFACE TEXTURE ROUGHER THAN THE SURROUNDING SIDEWALK.
 2. CONSTRUCT PER A.D.A. STANDARDS.



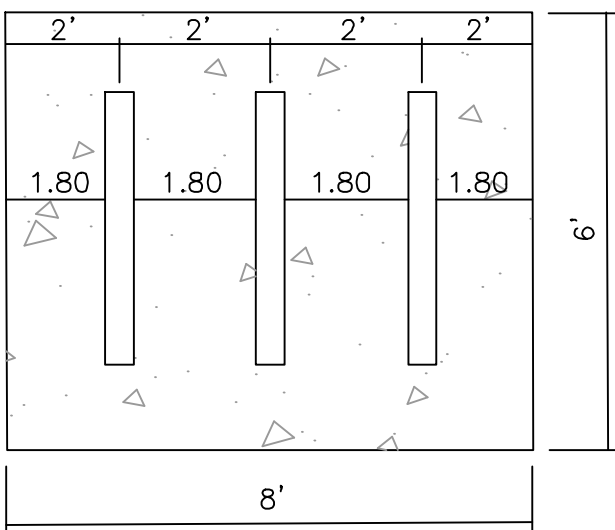
DOME SECTION
BD - BASE DIAMETER 0.9" MIN
TD - TOP DIAMETER 50% OF BD MIN TO 65% OF BD MAX



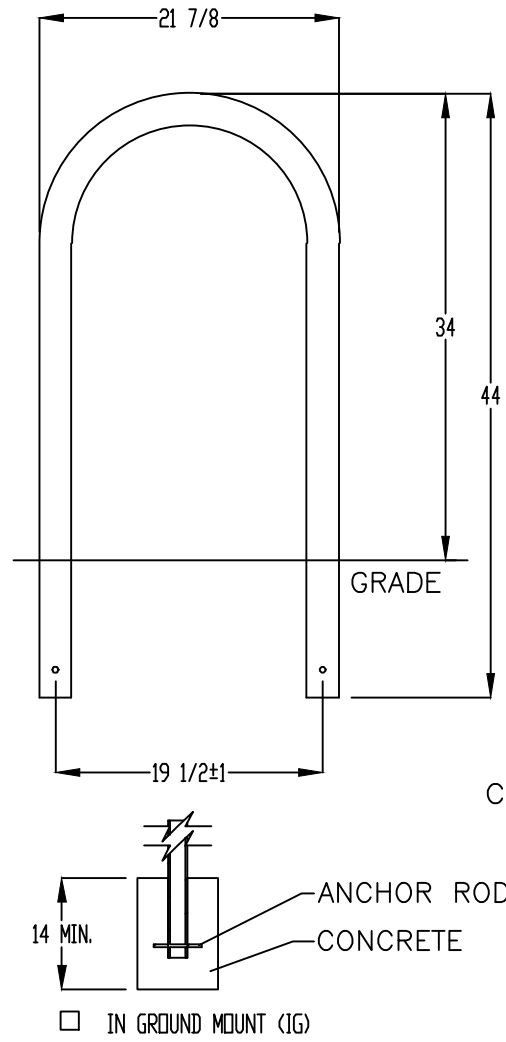
DOME SPACING
CC - CENTER TO CENTER SPACING 2.35"
BB - BASE TO BASE SPACING 1.48" MIN



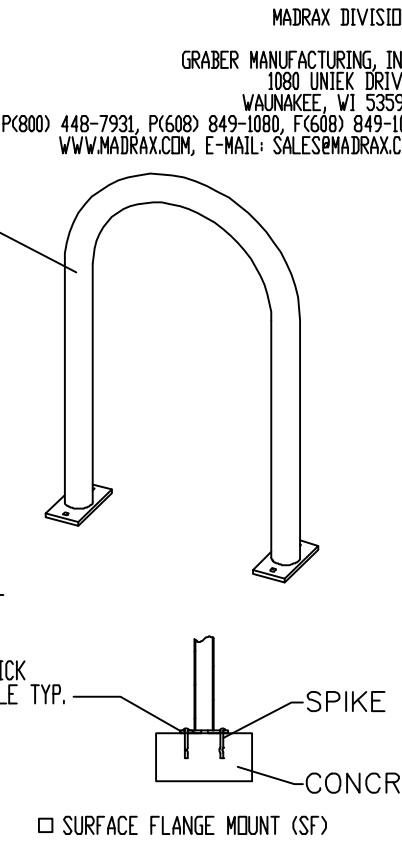
CONCRETE SIDEWALK SECTION
NTS
COA STD DWG 2430



PLAN VIEW



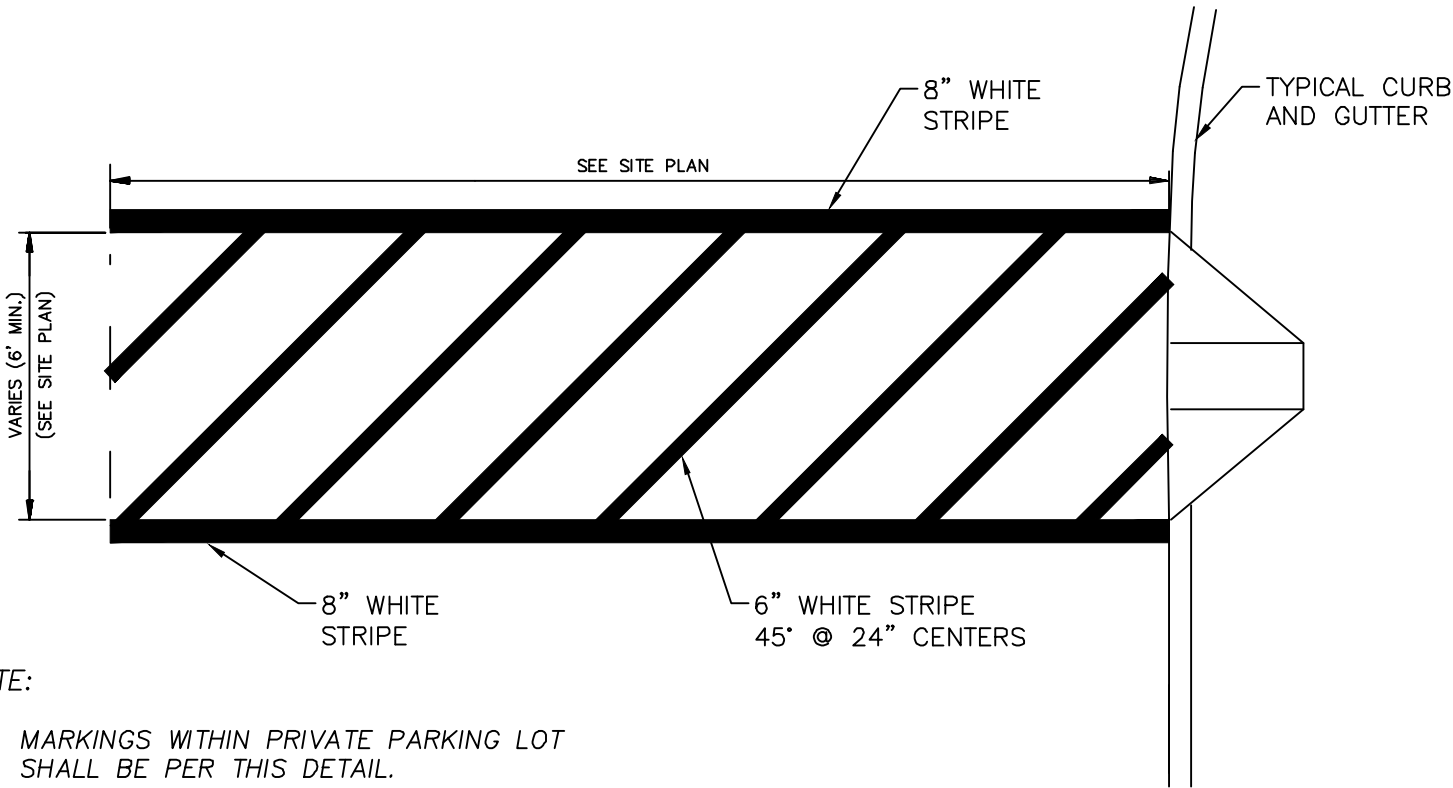
CHECK DESIRED MOUNT



PRODUCT: U238-1G(SF)
DESCRIPTION: 1. BIKE RACK
2. BIKE, SURFACE OR IN GROUND MOUNT
DATE: 10-4-18
END: SNC
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- NOTES:**
1. INSTALL BIKE RACKS ACCORDING TO MANUFACTURER'S SPECIFICATIONS.
 2. CONSULTANT TO SELECT COLOR FINISH. SEE MANUFACTURER'S SPECIFICATIONS.
 3. SEE SITE PLAN FOR LOCATION OR CONSULT OWNER.
 4. BIKE RACK SHALL HAVE A 1-FOOT CLEAR ZONE ALL AROUND.
 5. EACH BIKE RACK SPACE SHALL BE AT LEAST 6 FEET LONG AND 2 FEET WIDE.
 6. A 1-FOOT CLEAR ZONE AROUND THE BICYCLE PARKING TALL SHALL BE PROVIDED.

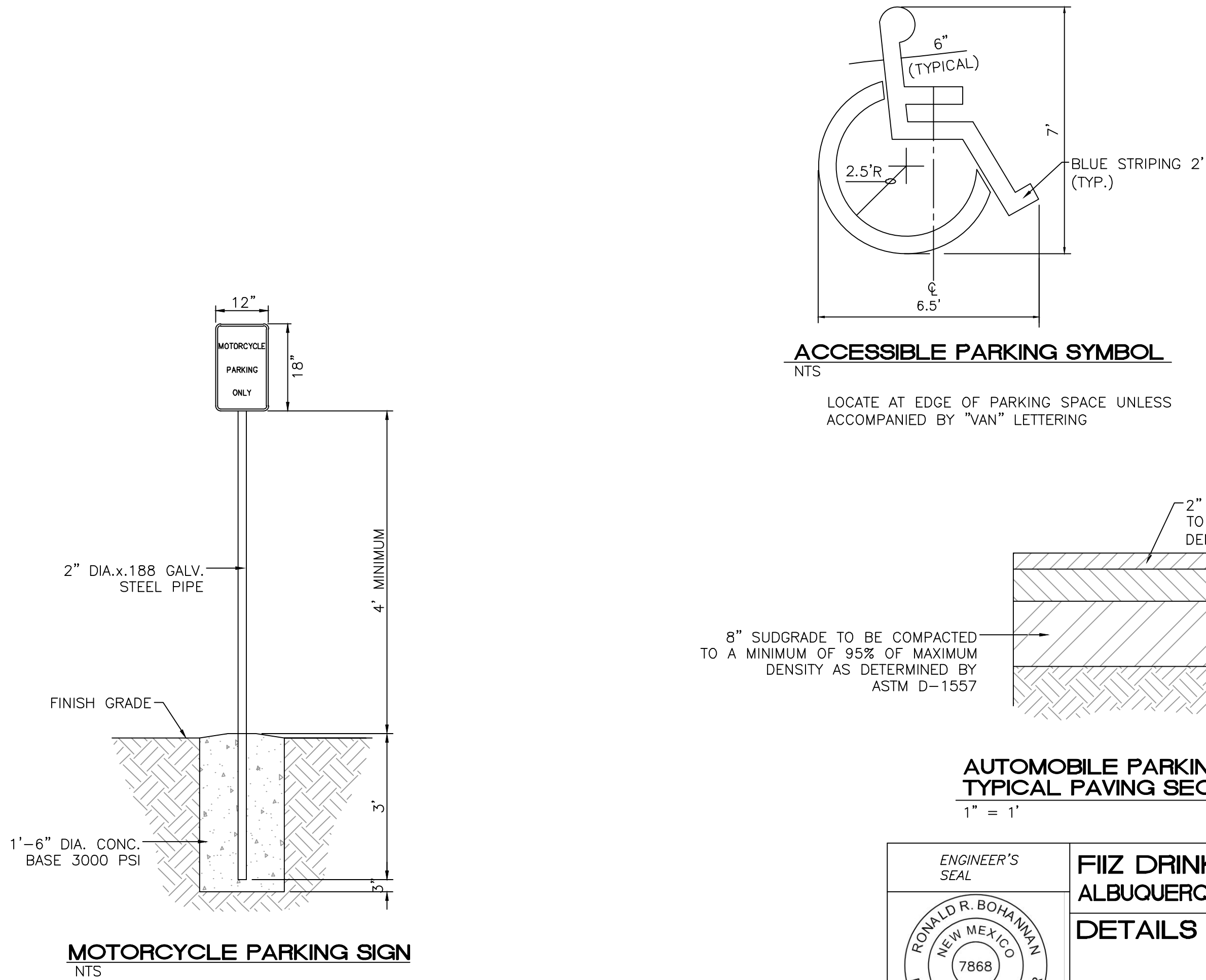
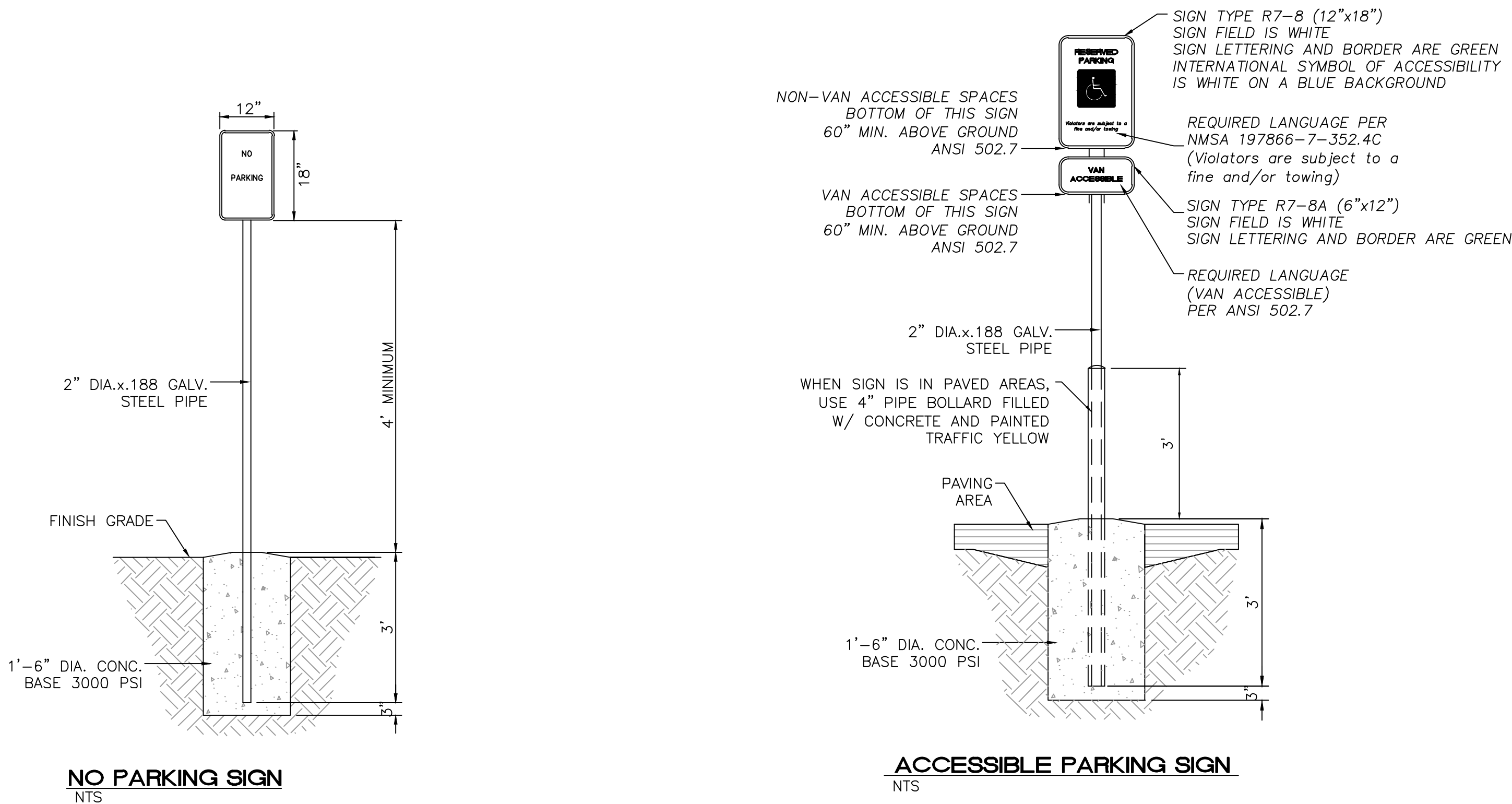
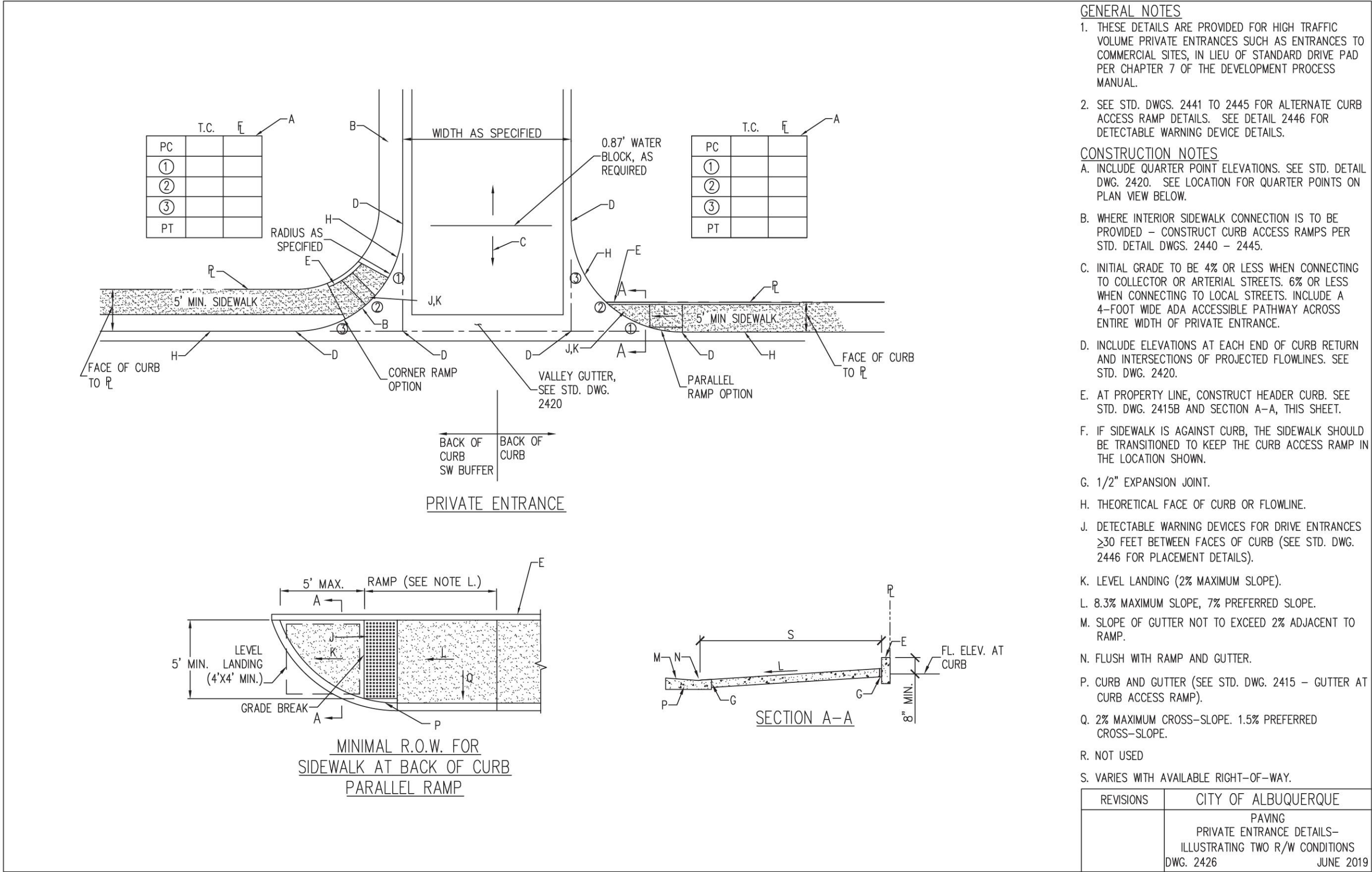
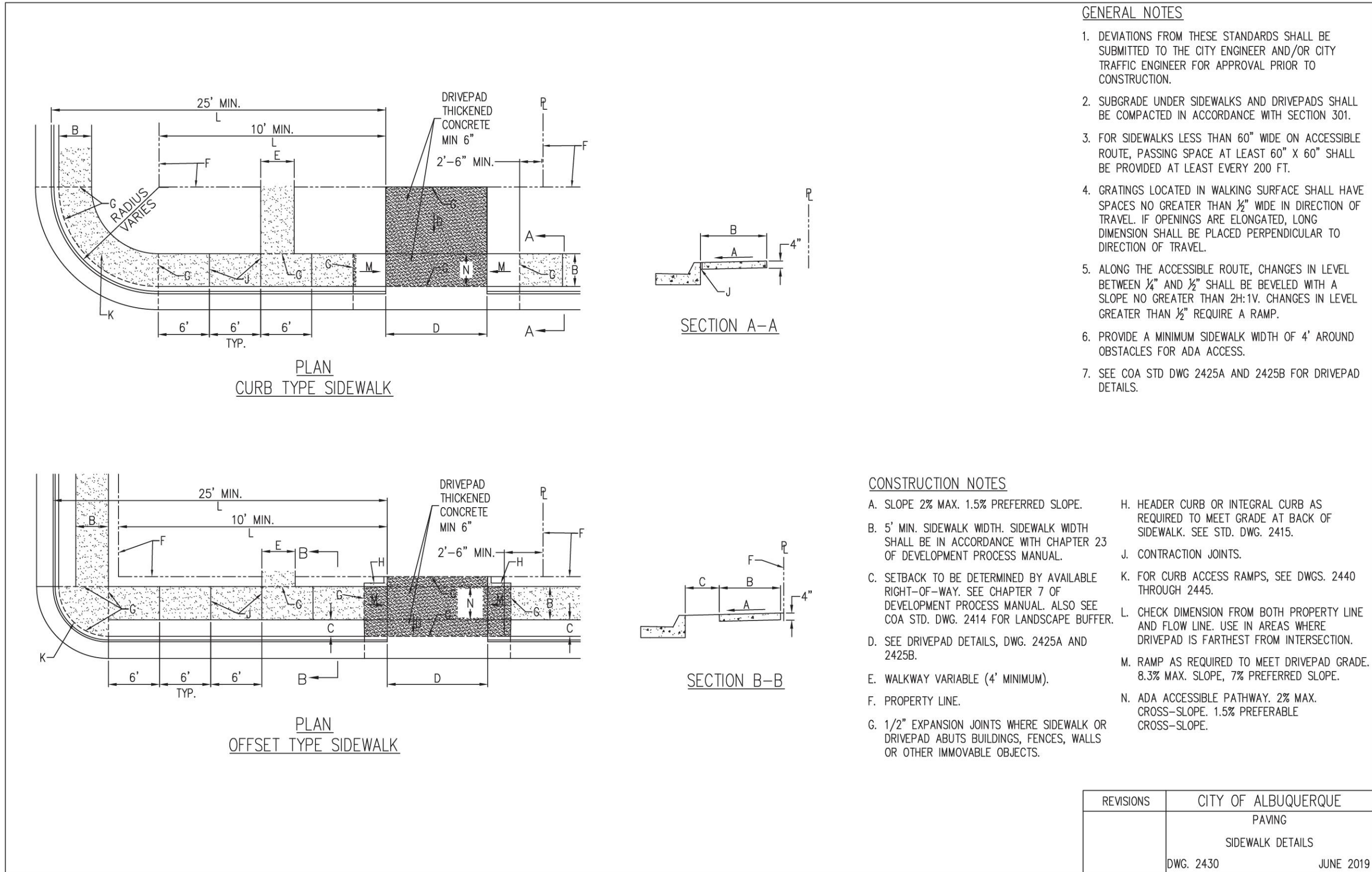
BIKE RACK DETAIL
SCALE: NTS

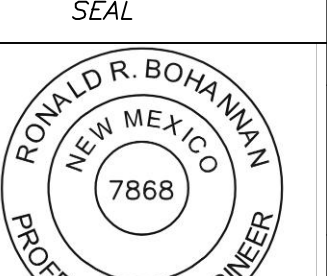



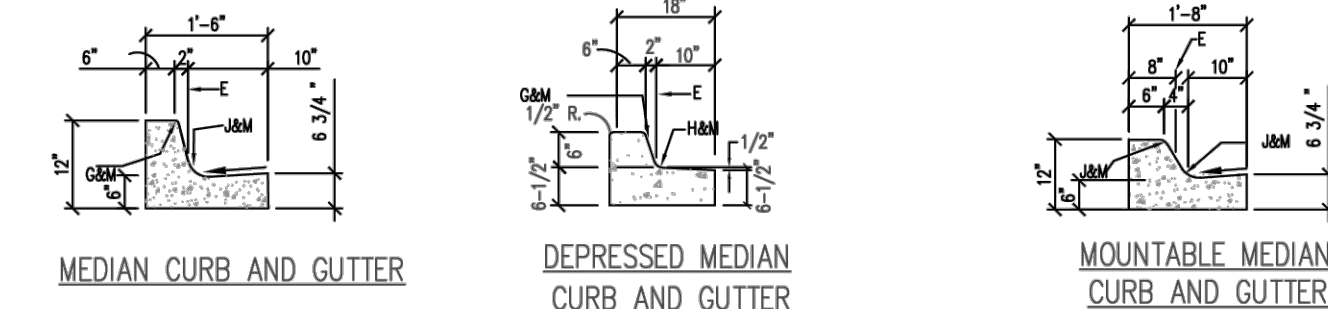
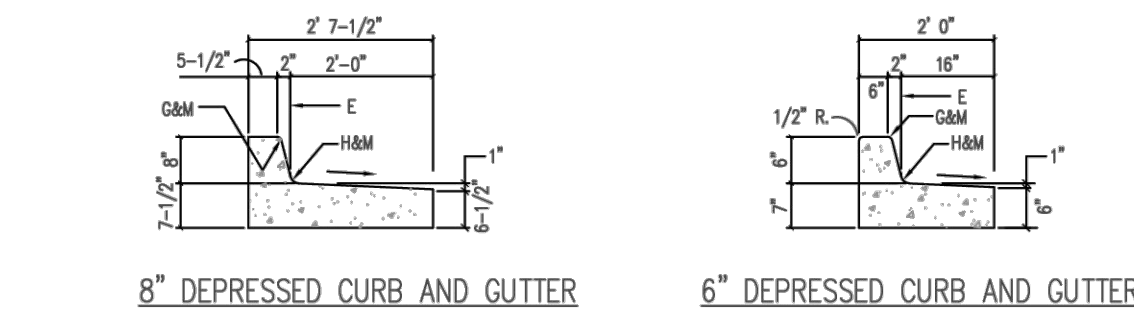
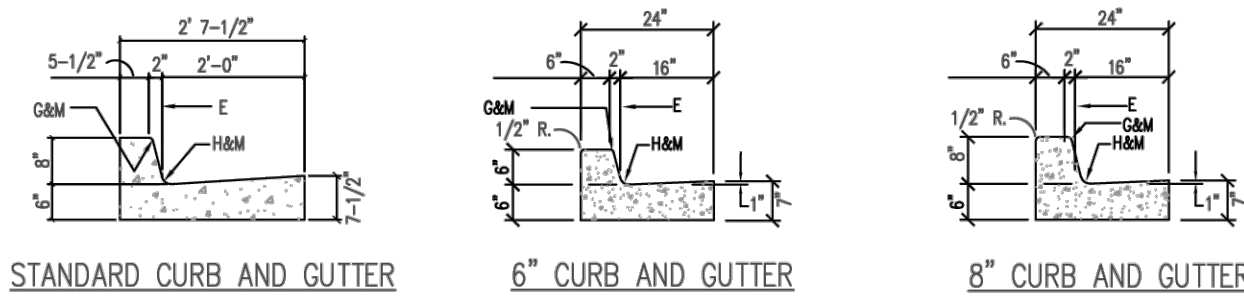
- NOTE:**
1. MARKINGS WITHIN PRIVATE PARKING LOT SHALL BE PER THIS DETAIL.
 2. THESE MARKINGS ARE TO BE PAINTED REFLECTIVE WHITE.

CROSSWALK/PED. CROSSING
NTS

<div>ENGINEER'S SEAL</div> <div>RONALD R. BOHANNAN NEW MEXICO 7868 PROFESSIONAL ENGINEER</div> <div>10/19/2022</div> <div>RONALD R. BOHANNAN P.E. #7868</div>	FIIZ DRINKS ALBUQUERQUE, NM	DRAWN BY JL
	DETAILS	DATE 7-14-22
		DRAWING
	<div>TIERRA WEST, LLC</div> <div>5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com</div>	SHEET # DET-1 JOB # 2022048



<div>ENGINEER'S SEAL</div> <div></div> <div>RONALD R. BOHANNAN P.E. #7868</div>	FIIZ DRINKS ALBUQUERQUE, NM DETAILS	DRAWN BY JL
		DATE 7-14-22
		DRAWING
	<div> TIERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com</div>	SHEET # DET-2
		JOB # 2022048



GENERAL NOTES

1. CURB, GUTTER AND CUT-OFF WALL SHALL BE CONSTRUCTED OF PORTLAND CEMENT CONCRETE (PCC).
2. FOR STANDARD AND MEDIAN C & G ADJACENT TO ASPHALT CONCRETE (AC) PAVEMENT, PROVIDE CONTRACTION JOINTS AT 12' MAX SPACING. CONTRACTION JOINTS SHALL BE EITHER SAWS OR TOOLED A MINIMUM OF 1" DEEP AT FINISHED FACES. 1/2" EXPANSION JOINTS TO BE INSTALLED AT CURB RETURNS AND AT A MAXIMUM SPACING OF 200' BETWEEN CURB RETURNS AND SEPARATELY CONSTRUCTED DRIVEWAYS.
3. FOR ALL OTHER C & G AND CUT-OFF WALL PROVIDE CONTRACTION JOINTS AT 10' MAX SPACING, 1/2" EXPANSION JOINTS AT CURB RETURNS & AT A MAXIMUM SPACING OF 100' BETWEEN CURB RETURNS & EACH SIDE OF SEPARATELY CONSTRUCTED DRIVEWAYS. CONTRACTION JOINTS SHALL BE EITHER SAWS OR TOOLED A MINIMUM OF 1" DEEP AT ALL FINISHED FACES. REINFORCEMENT SHALL NOT BE USED IN CUT-OFF WALLS.
4. FOR C & G CONSTRUCTED WITH PCC PAVEMENT, CONTRACTION JOINTS AND EXPANSION JOINTS SHALL BE THE SAME AS THE PAVEMENT JOINTS.
5. ALL EDGES SHALL BE EDGED WITH A 3/8" RADIUS EDGING TOOL.
6. REMOVE & REPLACE PAVEMENT 1' WIDE ADJACENT TO 1/2" OF CUTTER WHEN CONSTRUCTING C & G ADJACENT TO EXISTING AC PAVEMENT.
7. 1/4" ISOLATION JOINT SHALL BE PLACED BETWEEN SIDEWALK AND C & G WHEN CAST ADJACENT TO EACH OTHER.
8. ADA = AMERICANS WITH DISABILITY ACT.

CONSTRUCTION NOTES

SEE COA DRAWING 2415B

REVISIONS	CITY OF ALBUQUERQUE
	PAVING
	CURB AND GUTTER AND CURB CUT DETAILS
DWG. 2415A	FEBRUARY 2021

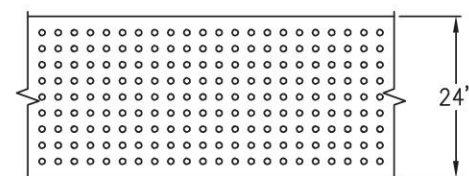
GENERAL NOTES

1. RUNNING SLOPE OF A CURB RAMP SHALL NOT REQUIRE THE RAMP LENGTH TO EXCEED 15 FEET TO AVOID CHASING THE SLOPE INDEFINITELY WHEN CONNECTING TO STEEP GRADES. WHEN APPLYING THE 15-FOOT MAXIMUM LENGTH, THE RUNNING SLOPE OF THE CURB RAMP SHALL BE EXTENDED AS FLAT AS THE MAXIMUM EXTENT AS FEASIBLE.
2. SEE COA STD. DWG. 2446 FOR DETECTABLE WARNING DEVICE DETAILS.

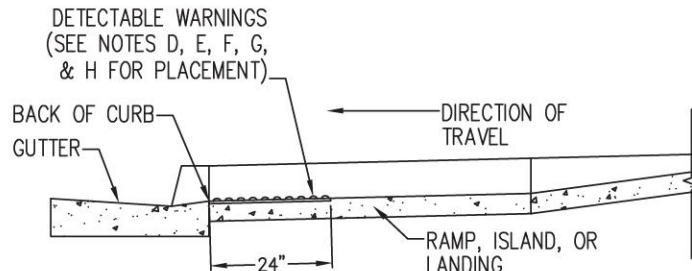
CONSTRUCTION NOTES

- A. TURNING SPACE SHALL HAVE MAXIMUM CROSS SLOPE AND LONGITUDINAL SLOPE OF 2.0% (PREFERRED SLOPE OF 1.5%). TURNING SPACE SHALL BE 5.0 FT BY 5.0 FT AT THE TOP OF THE CURB RAMP.
- B. 8.3% MAX. SLOPE OF RAMP, 7% PREFERABLE SLOPE OF RAMP.
- C. GRADE BREAKS AT THE TOP AND BOTTOM OF CURB RAMP RUNS SHALL BE PERPENDICULAR TO THE DIRECTION OF THE RAMP RUN. GRADE BREAKS SHALL NOT BE PERMITTED ON THE SURFACE OF RAMP RUNS AND TURNING SPACE. SURFACE SLOPES THAT MEET AT GRADE BREAKS SHALL BE FLUSH.
- D. COUNTER SLOPE OF THE GUTTER OR STREET AT THE FOOT OF A CURB RAMP, RUN OR TURNING SPACE SHALL BE .5% MAX.
- E. FLARED SIDES ARE TO HAVE A SLOPE OF 10% MAX, MEASURED PARALLEL TO THE BACK OF THE CURB.
- F. 2% MAXIMUM CROSS-SLOPE. 1.5% PREFERRED CROSS-SLOPE.
- G. FILLET SHARP CURVES EXPOSED TO TRAFFIC TO 6" MINIMUM RADIUS.

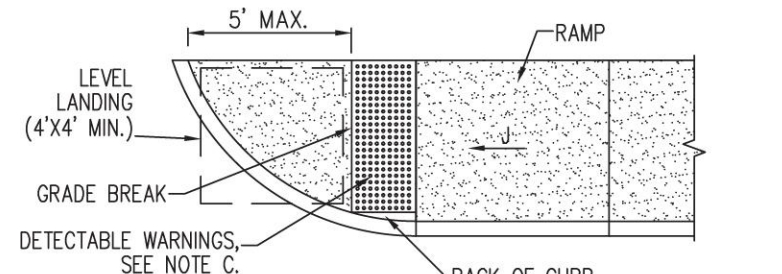
REVISIONS	CITY OF ALBUQUERQUE
	PAVING
	PARALLEL AND DIAGONAL CURB RAMPS
DWG. 2443	JUNE 2019



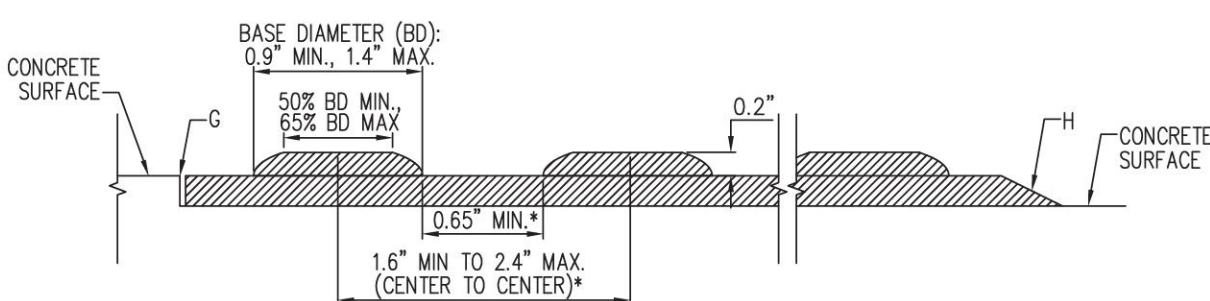
PLAN VIEW



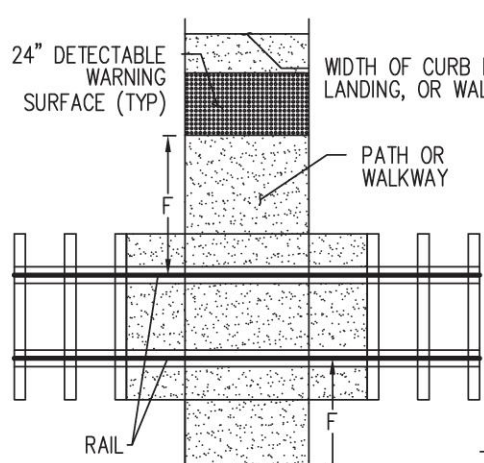
PLACEMENT- PROFILE



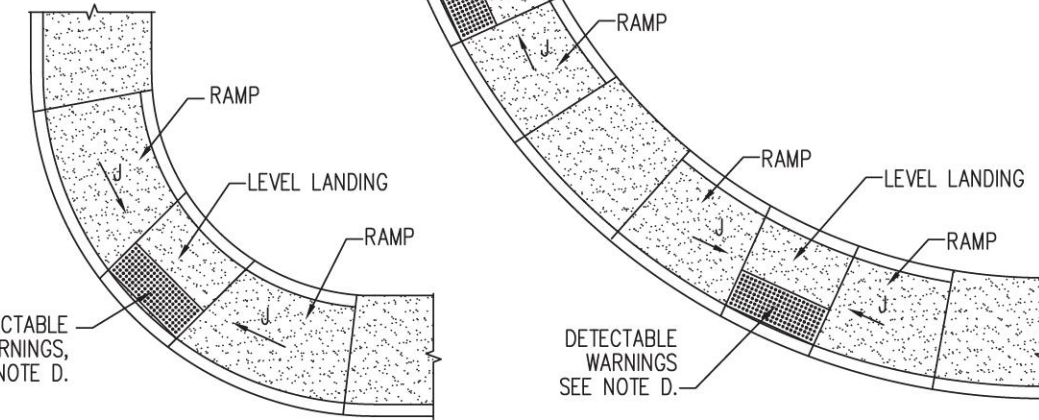
PLACEMENT ON PARALLEL CURB RAMPS



DOMES SIZE AND SPACING



PEDESTRIAN AT-GRADE RAIL CROSSINGS

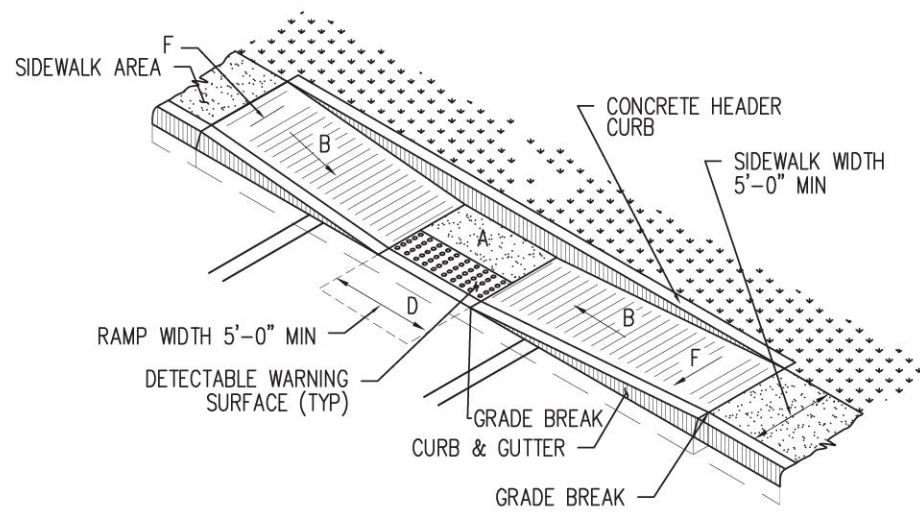


PLACEMENT ON PERPENDICULAR CURB RAMPS

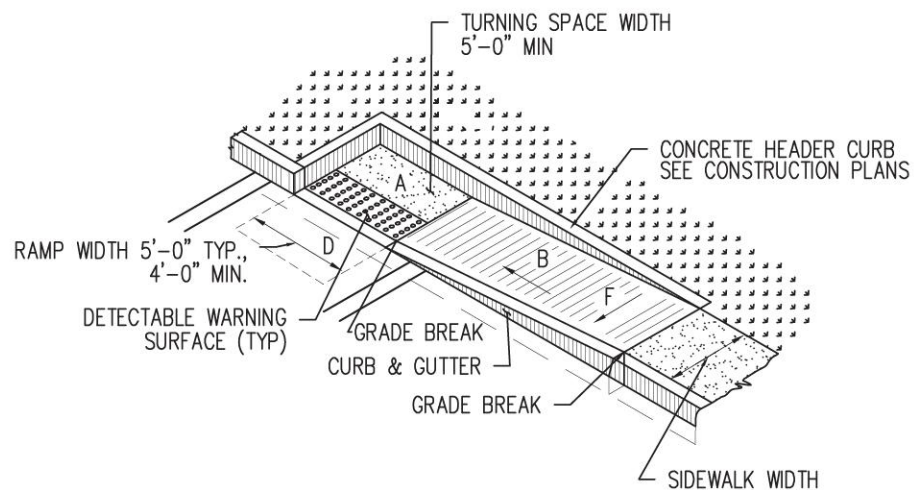
GENERAL NOTES

1. PROVIDE DETECTABLE WARNINGS ON ANY CURB RAMP OR LANDING WHERE THE ACCESSIBLE ROUTE CROSSES A PUBLIC STREET. DETECTABLE WARNINGS ARE NOT REQUIRED AT DRIVEWAYS UNLESS THE DRIVEWAY IS PROVIDED WITH TRAFFIC CONTROL DEVICES OR IS PERMITTED TO OPERATE LIKE A PUBLIC STREET AS DETERMINED BY THE CITY ENGINEER.
 2. SELECT A DETECTABLE WARNING SURFACE THAT CONTRASTS VISUALLY (LIGHT-ON-DARK OR DARK-ON-LIGHT) WITH ADJACENT SURFACES.
 3. IN NEW CONSTRUCTION, INSTALL CAST-IN-PLACE REPLACEABLE DETECTABLE WARNING PLATES, PANELS, TILES, OR PAVES. IN RETROFITS, INSTALL SURFACE-APPLIED DETECTABLE WARNING PANELS WITH BEVELED EDGES. SURFACE APPLIED PANELS SHALL BE MECHANICALLY ANCHORED.
- #### CONSTRUCTION NOTES
- A. INSTALL DETECTABLE WARNING SURFACE SO THAT IT EXTENDS 24" IN THE DIRECTION OF TRAVEL FOR THE FULL WIDTH (NOT INCLUDING SIDE FLARES) OF THE RAMP OR LANDING.
 - B. PLACE DETECTABLE WARNINGS SO THAT THE ROWS OF TRUNCATED DOMES ARE ALIGNED PERPENDICULAR TO THE GRADE BREAK BETWEEN THE RAMP OR LANDING AND THE ROADWAY.
 - C. ON PARALLEL CURB RAMPS, PLACE DETECTABLE WARNINGS ON THE RAMP SURFACE AT THE GRADE BREAK IF THE GRADE BREAK IS WITHIN 5' FROM BACK OF CURB. IF THE GRADE BREAK IS GREATER THAN 5' FROM BACK OF CURB, PLACE DETECTABLE WARNINGS AT A DIAGONAL USING A MAXIMUM DISTANCE OF 5' FROM FACE OF CURB.
 - D. ON PERPENDICULAR CURB RAMPS, PLACE DETECTABLE WARNINGS AT THE BACK OF CURB.
 - E. ON CUT-THROUGH ISLANDS, PLACE DETECTABLE WARNINGS IN LINE WITH THE BACK OF CURB IF DETECTABLE WARNING SURFACES ON THE ENTRANCE AND EXIT SIDES OF THE ISLAND CAN BE SEPARATED BY 2' MIN. OF WALKWAY. IF NECESSARY TO ACHIEVE 2' MIN. SEPARATION, PLACE DETECTABLE WARNINGS IN LINE WITH THE FACE OF CURB. IF THE ISLAND HAS NO CURB, PLACE DETECTABLE WARNINGS AT THE EDGE OF ROADWAY. SEE COA STD. DWG. 2446.
 - F. PLACE DETECTABLE WARNINGS AT RAIL CROSSINGS SO THAT THE EDGE NEAREST THE RAIL IS 6' TO 15' FROM THE CENTERLINE OF THE NEAREST RAIL. ALIGN ROWS OF TRUNCATED DOMES PARALLEL TO THE DIRECTION OF TRAVEL.
 - G. RECESS OR CAST-IN DETECTABLE WARNINGS SO THAT THE SURFACE TO WHICH THE TRUNCATED DOMES ARE ATTACHED IS FLUSH WITH THE ADJACENT CONCRETE.
 - H. IN RETROFITS, DETECTABLE WARNING MAT MAY BE MECHANICALLY ANCHORED TO THE SURFACE OF THE CONCRETE IF THE MAT EDGE IS BEVELED WITH A MAXIMUM SLOPE OF 2H:1V.
 - J. 8.3% MAX. SLOPE, 7% PREFERRED SLOPE.
 - K. SIDE FLARED SLOPES.

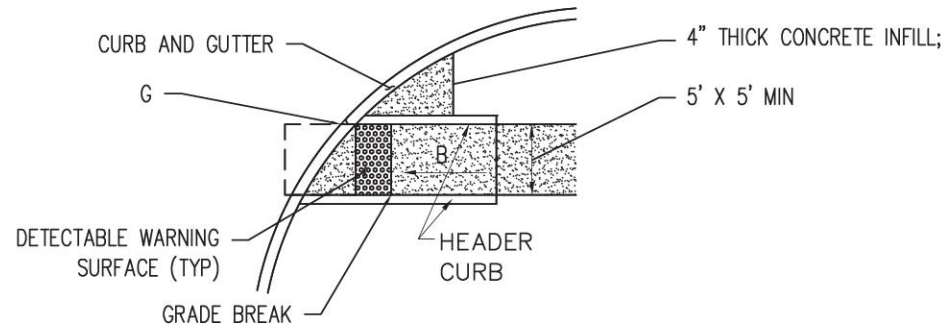
REVISIONS	CITY OF ALBUQUERQUE
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	DETECTABLE WARNINGS
DWG. 2446	JUNE 2019



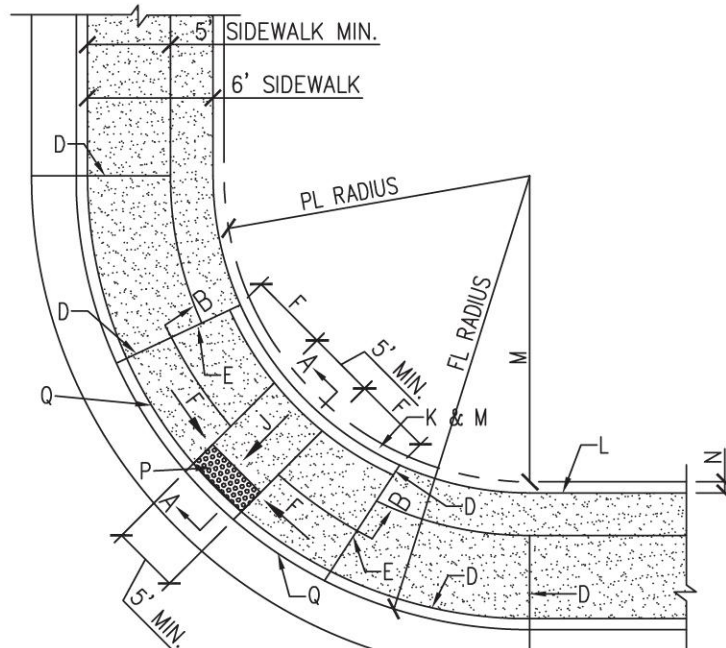
DETAIL A-PARALLEL CURB RAMP



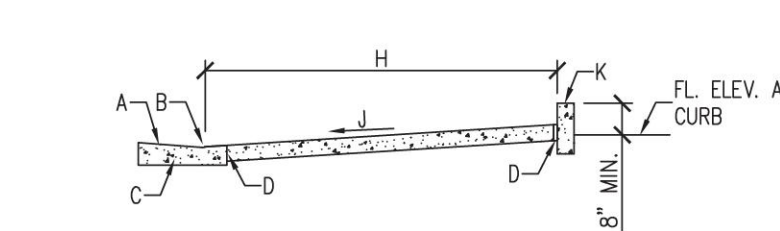
DETAIL B-PARALLEL CURB RAMP



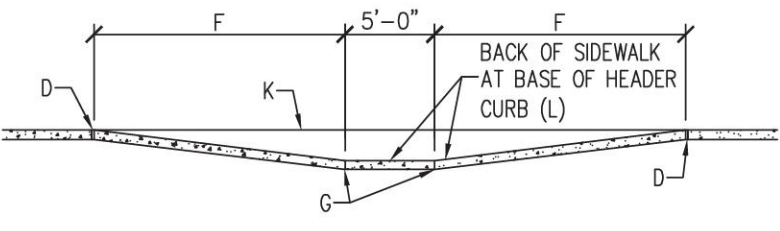
DETAIL C-PARALLEL CURB RAMP



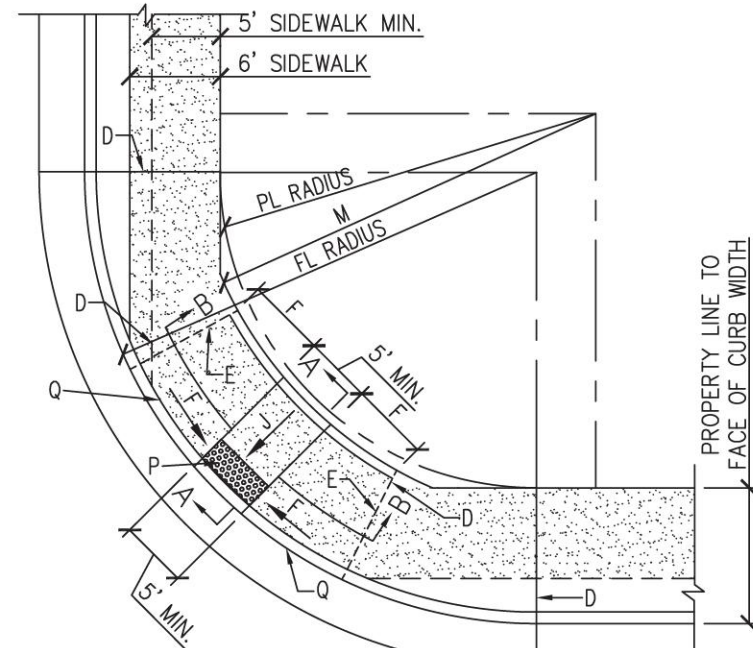
DETAIL A MINIMAL R.O.W. FOR SIDEWALK AT BACK OF CURB PERPENDICULAR RAMP



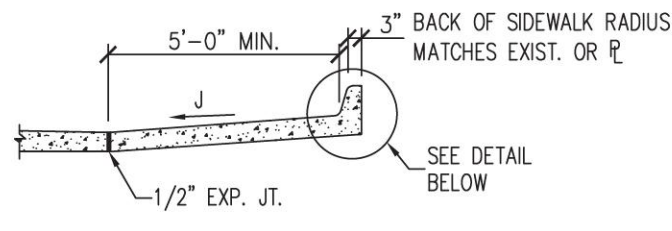
SECTION A-A



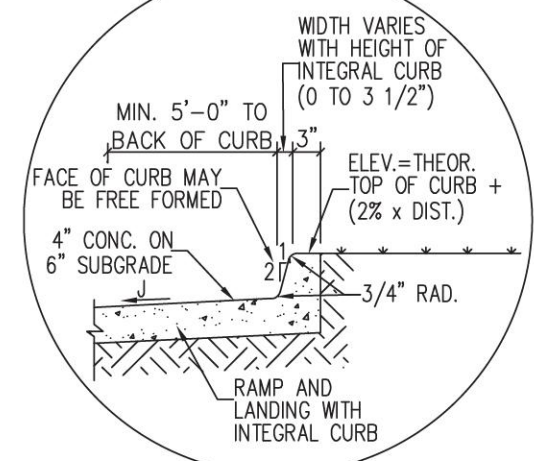
SECTION B-B



DETAIL B ADEQUATE R.O.W. FOR SETBACK SIDEWALK ADJACENT TO P PERPENDICULAR RAMP



ALTERNATE SECTION A-A



GENERAL NOTES

1. CURB ACCESS RAMPS ARE NORMALLY TO BE LOCATED AT THE CENTER OF THE RETURN OR AS DIRECTED BY THE CITY TRAFFIC ENGINEER.
2. WHEN MODIFYING ONE QUADRANT OF AN INTERSECTION TO IMPROVE ACCESSIBILITY, MODIFY THE REMAINING QUADRANTS SO THAT ALL QUADRANTS OF THE INTERSECTION COMPLY WITH ADA (PROWAG) REGULATIONS AS SHOWN ON PLANS.
3. SURFACE TEXTURE OF CURB ACCESS RAMPS SHALL BE OBTAINED BY HEAVY BROOMING (TEXTURE DEPTH .0625"), TRANSVERSE TO THE SLOPE OF THE RAMP.
4. GUTTER FLOW-LINE PROFILE SHALL BE MAINTAINED THROUGH THE AREA OF THE RAMP. DRAINAGE CATCH BASIN STRUCTURES SHALL NOT BE PLACED IN LINE WITH RAMPS.
5. WIDTH OF SIDEWALK AND RAMP MUST BE MAINTAINED AT A MINIMUM OF 5'-0" THROUGH ENTIRE RAMP LENGTH.

CONSTRUCTION NOTES

- A. SLOPE OF GUTTER NOT TO EXCEED 2% ADJACENT TO RAMP. 1.5 % PREFERRED.
- B. FLUSH WITH RAMP AND GUTTER.
- C. CURB AND GUTTER (SEE STD. DWG. 2415 - GUTTER AT CURB ACCESS RAMP).
- D. 1/2" EXPANSION JOINT.
- E. RADIAL LINES - TOP AND BOTTOM OF RAMP.
- F. 8.3% MAX. SLOPE OF RAMP, 7% PREFERABLE SLOPE OF RAMP.
- G. CONTRACTION JOINT.
- H. VARIES WITH AVAILABLE R.O.W.
- J. 2% MAXIMUM CROSS-SLOPE. 1.5% PREFERRED CROSS-SLOPE.
- K. HEADER CURB, SEE DWG. 2415C.
- L. BACK OF SIDEWALK.
- M. BACK OF SIDEWALK RADIUS TO BE ESTABLISHED SO AS TO MAINTAIN A 5'-0" RAMP WIDTH (MINIMUM) THROUGHOUT. SEE STD. DWG. 2440 (NOTE 6) IF LESS THAN 5'-0" IS AVAILABLE DUE TO UNRESOLVABLE CONSTRAINTS.
- N. 4-1/2" MAX.
- P. DETECTABLE WARNINGS (SEE STD. DWG. 2446).
- Q. CURB TO MATCH SLOPE OF SIDEWALK.

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	CORNER ACCESS RAMP
DWG. 2441	JUNE 2019

<div>ENGINEER'S SEAL</div> <div>RONALD R. BOHANNAN NEW MEXICO 7868 PROFESSIONAL ENGINEER</div> <div>10/19/2022</div> <div>RONALD R. BOHANNAN P.E. #7868</div>	FIIZ DRINKS ALBUQUERQUE, NM DETAILS	DRAWN BY JL
		DATE 7-14-22
		DRAWING
	<div>TIERRA WEST, LLC</div> <div>5571 MIDWAY PARK PL. NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com</div>	SHEET # DET-3
		JOB # 2022048