

CITY OF ALBUQUERQUE



March 9, 2007

Yolanda O. Padilla, P.E.
Bohannon Huston, Inc.
7500 Jefferson NE – Courtyard 1
Albuquerque, NM 87109

Re: Ventana Highlands Unit 2 & 3, Engineer's Certification Dated 2-14-07
Request for Release of Financial Guarantee, CPN 7494.89 & 6176.88

Dear Ms. Padilla,

Based upon the information provided in your Drainage Certification received on February 14, 2007, the above referenced plans are approved for release of financial guarantee.

If you have any questions, you can contact me at 924-3990.

Sincerely,

Jeremy Hoover, P.E.
Senior Engineer
Hydrology Section
Development and Building Services

cc: file B8/D1E
Marilyn Maldonado

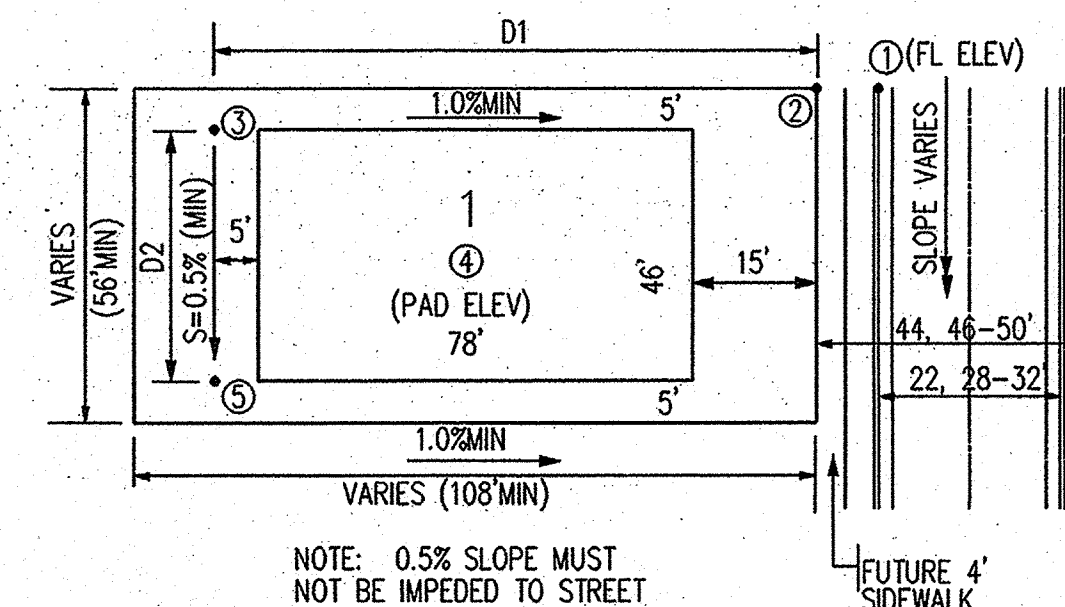
P.O. Box 1293

Albuquerque

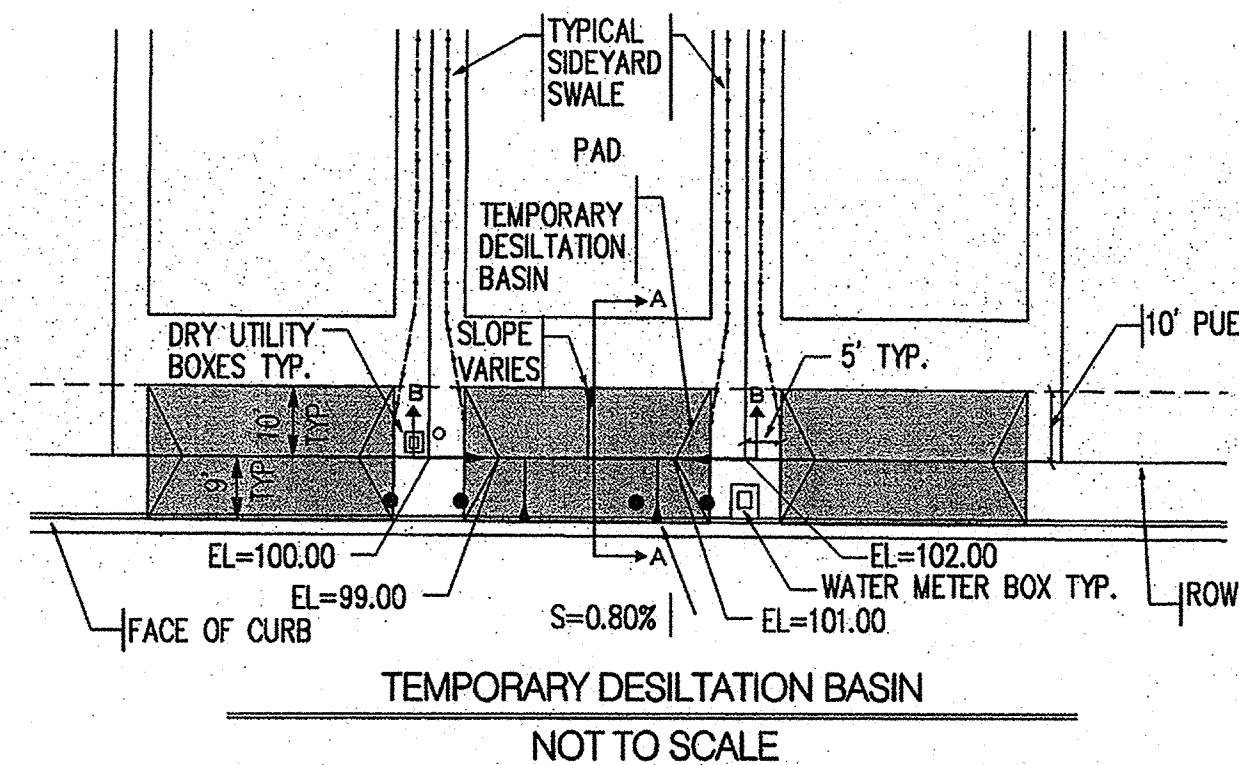
New Mexico 87103

www.cabq.gov

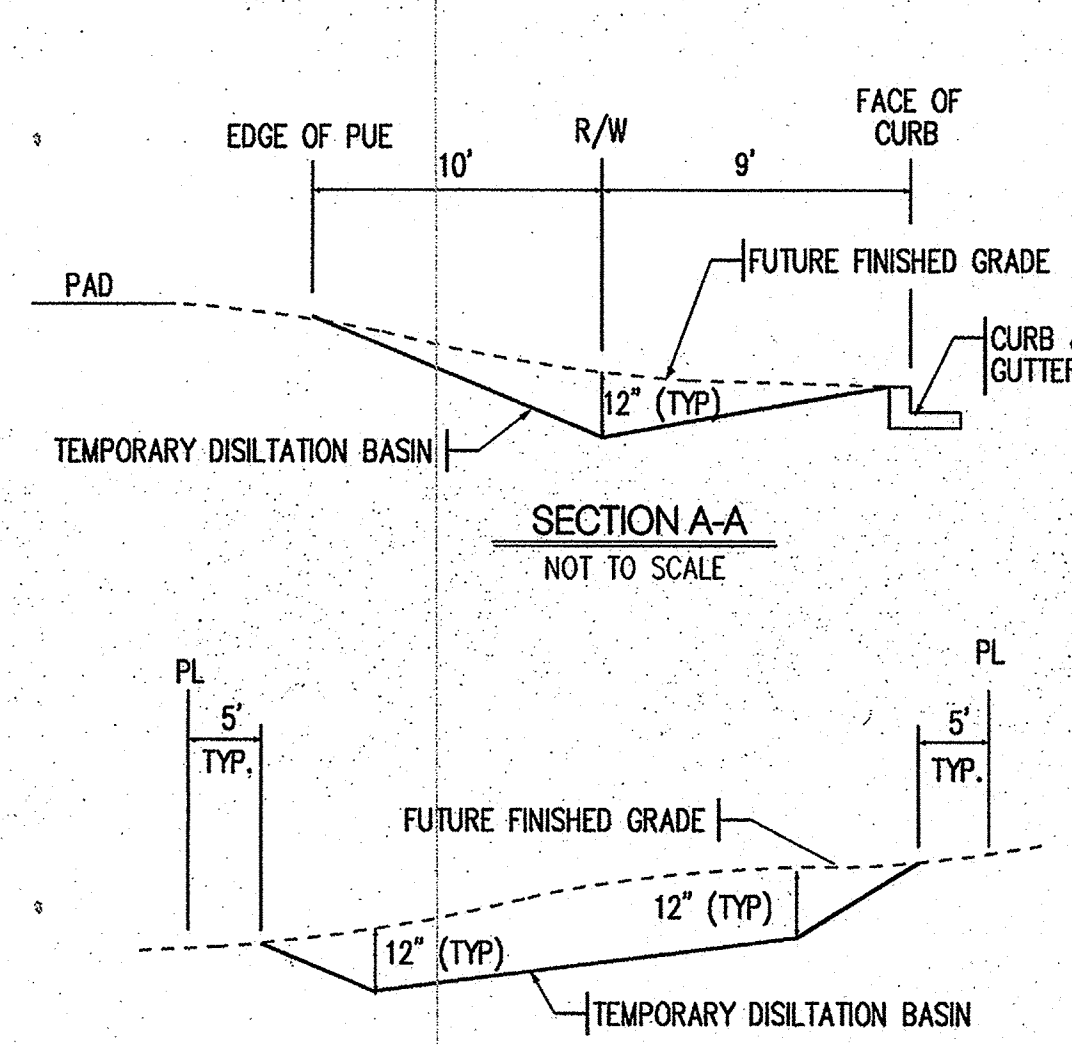
PROPOSED SPOT	● 29.20	FLOW DIRECTION ARROW	
EXISTING SPOT	○	PAD	
TEMP. DESILTATION BASIN		TURNED BLOCK	TB
PROPOSED CONTOUR	— 5910 —	RETAINING WALL	
LIMITS OF GRADING	— — — —	GARDEN WALL	
EXISTING CONTOUR	- - - - -	RIBBON CHANNEL	
HIGH POINT		SWALE	
SLOPE (3:1 MAX)			



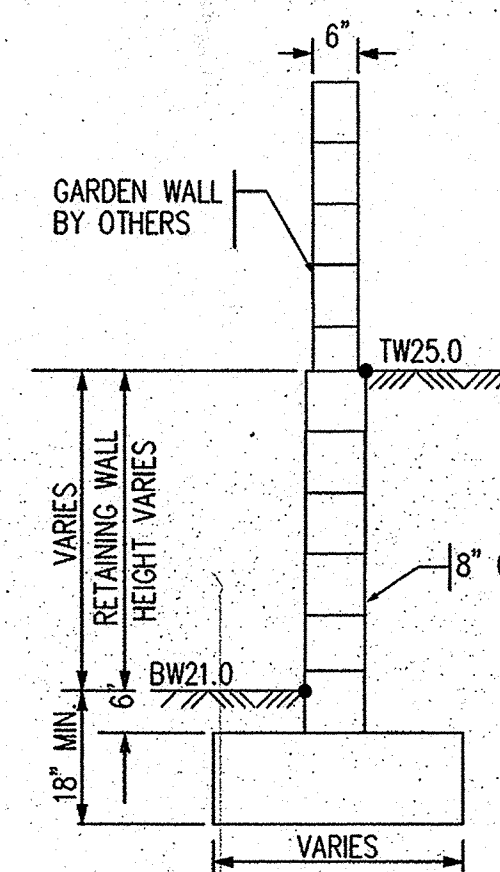
TO SET SPOT ②- ADD 0.85' TO SPOT ①
TO SET SPOT ③- MULTIPLY D1 BY 0.5% AND ADD TO SPOT ②
TO SET SPOT ④- ADD 0.2' TO SPOT ③
TO SET SPOT ⑤- MULTIPLY D2 BY 0.5% AND SUBTRACT FROM SPOT ③



** BOTTOM OF BASIN IS 1' BELOW PROPERTY LINE
ELEVATION SEE GRADING PLANS FOR EXACT
ELEVATIONS



SECTION B-B
NOT TO SCALE

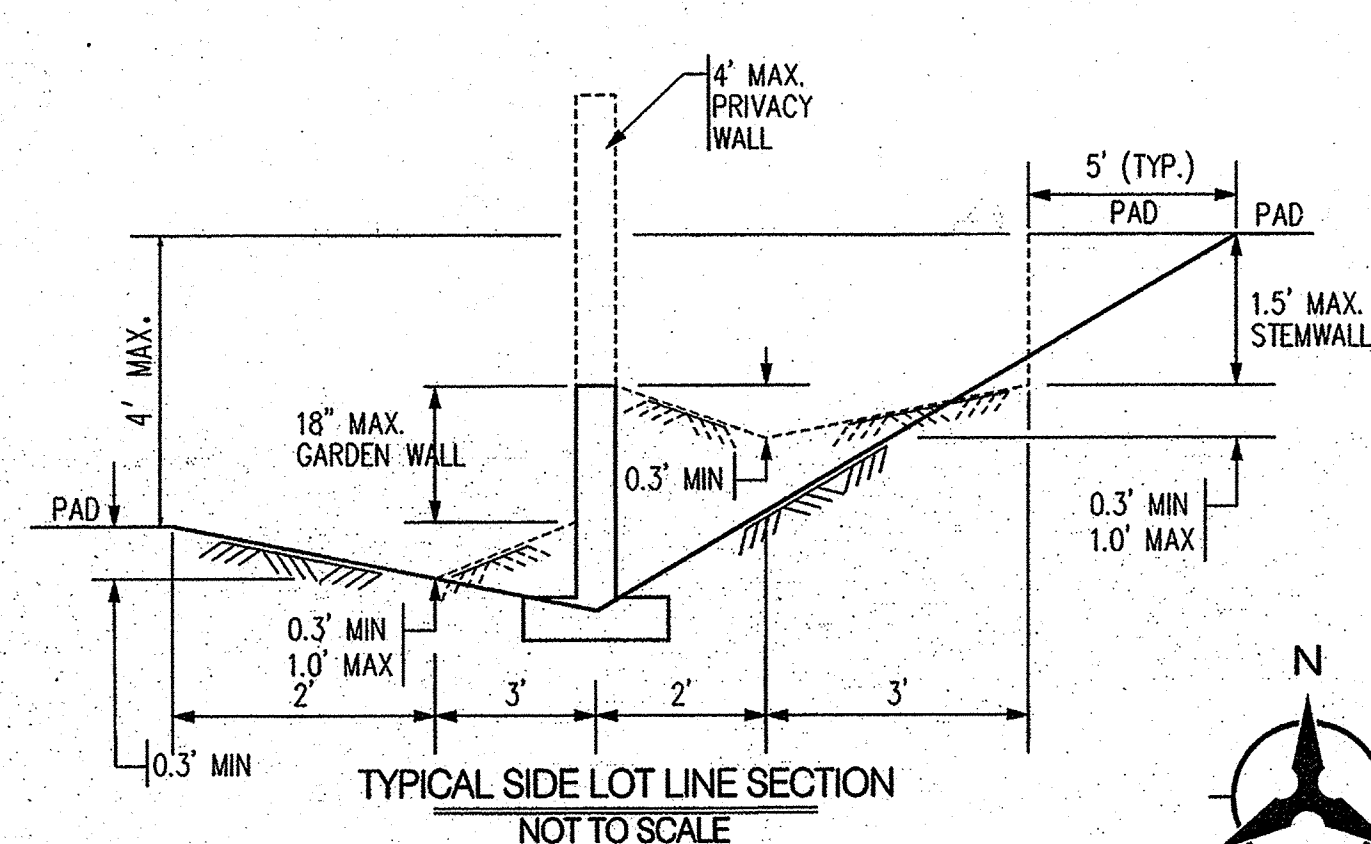


TW=FINISHED GRADE ELEVATION AT TOP OF RETAINING WALL
BW=FINISHED GRADE ELEVATION AT BOTTOM OF RETAINING WALL

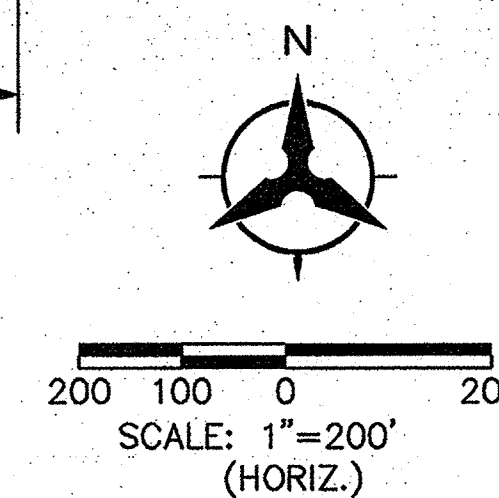
TYPICAL RETAINING WALL NOMENCLATURE

NOT TO SCALE

(RETAINING HEIGHT IS TAKEN TO BE DIFFERENCE IN
FINISHED GRADES ON LEFT AND RIGHT SIDE OF WALL.)



TYPICAL SIDE LOT LINE SECTION
NOT TO SCALE

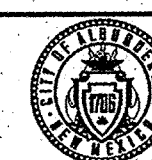


1. EXCEPT AS PROVIDED HEREIN, GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.
2. CONTRACTOR SHALL OBTAIN AND ABIDE BY A PERSONAL DISTURBANCE PERMIT FROM THE CITY OF ALBUQUERQUE ENVIRONMENTAL HEALTH DIVISION, PRIOR TO CONSTRUCTION. THE COST FOR REQUIRED CONSTRUCTION DUST AND EROSION CONTROL MEASURES SHALL BE INCIDENTAL TO THE PROJECT COST. THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE, AND FEDERAL DUST CONTROL MEASURES AND REQUIREMENTS AND WILL BE RESPONSIBLE FOR PREPARING AND OBTAINING ALL NECESSARY APPLICATIONS AND APPROVALS.
3. ALL WORK RELATIVE TO FOUNDATION CONSTRUCTION, SITE PREPARATION, AND PAVEMENT INSTALLATION, AS SHOWN ON THIS PLAN, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE SOILS REPORT PREPARED BY VINYARD & ASSOC. ALL OTHER WORK, UNLESS OTHERWISE STATED OR PROVIDED FOR HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS (FIRST PRIORITY), AND/OR THE CITY OF ALBUQUERQUE (COA) STANDARD SPECIFICATIONS FOR PUBLIC WORKS (SECOND PRIORITY).
4. TWO WORKING DAYS PRIOR TO EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE (765-1264) FOR LOCATION OF EXISTING UTILITIES.
5. PRIOR TO GRADING, ALL VEGETATION DEBRIS, AND NEAR SURFACE ORGANICALLY CONTAMINATED SOIL SHALL BE STRIPPED FROM ALL AREAS TO BE GRADED. VEGETATION AND DEBRIS SHALL BE DISPOSED OF OFF-SITE OR STOCK-PILED FOR USE IN PLANTERS AND NON-STRUCTURAL FILLS.
6. EARTH SLOPES SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL UNLESS SHOWN OTHERWISE.
7. IT IS THE INTENT OF THESE PLANS THAT THIS CONTRACTOR SHALL NOT PERFORM ANY WORK OUTSIDE OF THE PROPERTY BOUNDARIES EXCEPT AS REQUIRED BY THIS PLAN.
8. THE CONTRACTOR IS TO ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO ADJACENT PROPERTY OR PUBLIC RIGHT-OF-WAY. THIS SHOULD BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS AT THE PROPERTY LINES WETTING THE SOIL TO PROTECT IT FROM WIND EROSION.
9. A DISPOSAL SITE FOR ALL EXCESS EXCAVATION AND UNSUITABLE MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE OBSERVER. ALL COSTS INCURRED IN OBTAINING A DISPOSAL SITE AND SHALL THEREAFTER BE CONSIDERED INCIDENTAL TO THE PROJECT, AND NO SEPARATE MEASUREMENT OR PAYMENT SHALL BE MADE.
10. PAVING AND ROADWAY GRADES SHALL BE $\pm 0.1'$ FROM PLAN ELEVATIONS. PAD ELEVATION SHALL BE $\pm 0.05'$ FROM BUILDING PLAN ELEVATIONS.
11. ALL SPOT ELEVATIONS ARE TO TOP OF CURB UNLESS OTHERWISE NOTED. VALLEY GUTTER ELEVATIONS ARE SHOWN AT FLOWLINE ELEVATION.

APPROVED FOR ROUGH GRADING _____ DATE _____

Bohannon ▲ Huston

Courtyard | 7500 Jefferson St. NE Albuquerque, NM 87109-4335
ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES



CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP

VENTANA HIGHLANDS SUBDIVISION OVERALL GRADING PLAN

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	MO./DAY/YR.	MO./DAY/YR.
			
CITY PROJECT NO.	ZONE MAP NO.	SHEET	OF
	R-8	1	12

SEE TABLE
BELOW T9
FOR POINTS
1- 3C

Ventana Highlands at Ventana Ranch West Retaining Wall Table									
Wall	TW	BW	Top of	Wall	Wall	Approx Wall	Average	Average	
Point	Elev	Elev	Footer	Ht	Ht	Length	Wall Height	Wall Type	
1	32.58	31.00	30.38	2.12	2.67	68.67	3.33	2	
2	36.12	32.81	32.19	3.93	4.67	61.33	3.33	2	
3	37.73	36.61	36.01	1.72	2.00				
4	29.85	27.68	27.06	2.79	3.33	16.67	2.67	2	
5	30.04	28.83	28.23	1.81	2.00				
6	44.63	41.98	41.36	3.27	3.33	16.67	3.33	2	
7	44.74	42.33	41.71	3.03	3.33				
8	50.87	49.00	48.38	2.49	3.33	36.67	3.33	2	
9	50.59	48.29	47.67	2.92	3.33	23.33	3.33	2	
10	50.41	48.91	48.29	2.12	2.67				
11	44.18	42.28	41.66	2.52	2.67	42.00	2.67	2	
12	43.84	41.93	41.31	2.53	2.67	15.33	3.33	2	
13	43.09	40.68	40.06	3.03	3.33	41.33	3.33	2	
14	42.75	40.22	39.60	3.15	3.33	15.33	4.00	2	
15	42.03	38.95	38.33	3.70	4.00	43.33	4.00	2	
16	41.71	38.57	37.95	3.76	4.00	12.67	4.67	3	
17	41.06	37.08	36.43	4.63	4.67	54.00	5.33	3	
18	40.70	36.60	35.95	4.75	5.33	0.67	5.33	3	
19	38.39	34.60	33.95	4.44	4.67	53.33	4.67	3	
20	37.91	34.12	33.47	4.44	4.67	8.67	4.00	2	
21	36.00	34.00	33.38	2.62	2.67				
22	30.72	29.22	28.60	2.12	2.67	10.67	4.00	2	
23	30.52	26.95	26.30	4.22	4.67	15.33	4.67	3	
24	31.11	27.35	26.70	4.41	4.67	70.00	3.33	2	
25	30.33	28.91	28.29	2.04	2.00				
26	38.35	36.83	36.04	2.31	2.67	78.76	3.33	5	
27	41.75	38.75	37.96	3.79	4.00	35.33	4.67	6	
28	42.00	38.02	37.23	4.77	4.67	14.67	4.00	5	
29	42.99	41.49	40.70	2.29	2.67				
30	47.30	45.80	45.18	2.12	2.67	44.00	3.33	2	
31	47.94	44.80	44.18	3.76	4.00	54.67	3.33	2	
32	48.76	47.26	46.37	2.39	2.67				
33	63.69	60.91	60.29	3.40	4.00	78.67	4.00	2	
34	64.48	61.69	61.07	3.41	4.00	16.67	4.00	2	
35	64.67	62.39	61.77	2.90	3.33				

36	57.81	54.90	54.28	3.53	4.00	17.33	4.00	2	
37	58.00	55.57	54.95	3.05	3.33				
38	59.22	55.57	54.92	4.30	4.67	14.67	4.67	3	
39	59.03	55.52	54.87	4.16	4.67				
40	59.03	57.02	56.40	2.63	2.67	17.33	2.67	2	
41	58.77	56.85	56.23	2.54	2.67				
42	54.43	52.44	51.82	2.61	2.67	16.00	2.67	2	
43	55.18	53.28	52.66	2.52	2.67				
44	56.68	53.28	52.66	4.02	4.00	22.00	4.00	2	
45	56.59	53.59	52.97	3.62	4.00				
46	65.25	62.73	62.11	3.14	3.33	4.67	3.33	2	
47	65.22	62.60	61.98	3.24	3.33				
48	62.74	60.76	60.14	2.60	2.67	17.33	2.67	2	
49	62.93	61.14	60.52	2.41	2.67				
50	61.96	59.44	58.82	3.14	3.33	16.00	3.33	2	
51	61.13	58.49	57.87	3.26	3.33				
52	53.80	52.93	52.33	1.47	2.00	76.67	3.33	2	
53	54.68	51.44	50.82	3.86	4.00	52.67	4.67	3	
54	54.12	50.54	49.89	4.23	4.67	23.33	4.67	3	
55	54.35	50.69	50.04	4.31	4.67	38.00	5.33	3	
56	55.52	51.00	50.35	5.17	5.33	48.00	4.67	3	
57	54.60	51.59	50.97	3.63	4.00	19.33	4.00	2	
58	54.43	51.74	51.12	3.31	3.33				
59	57.69	56.98	56.38	1.31	1.33	78.67	2.67	2	
60	59.92	57.21	56.59	3.33	3.33	6.67	3.33	2	
61	60.12	58.47	57.85	2.27	2.67	13.33	3.33	2	
62	61.16	58.47	57.85	3.31	3.33	52.67	4.00	2	
63	62.36	58.63	57.98	4.38	4.67	66.67	4.67	3	
64	63.28	59.35	58.70	4.58	4.67	78.00	4.67	3	
65	63.21	59.32	58.67	4.54	4.67	66.67	4.67	3	
66	63.85	60.11	59.46	4.39	4.67	21.33	4.67	3	
67	63.26	60.00	59.38	3.88	4.00	72.67	3.33	2	
68	59.66	58.56	57.96	1.70	2.00				

69	72.27	68.51	67.86	4.41	4.67	54.67	4.67	3	
70	72.51	68.97	68.32	4.19	4.67	20.67	4.67	3	
71	72.89	70.00	69.38	3.51	4.00	34.00	4.00	2	
72	73.12	70.28	69.66	3.46	4.00	32.00	4.00	2	
73	73.59	71.29	70.67	2.92	3.33	22.67	3.33	2	
74	73.77	71.50	70.88	2.89	3.33				
75	92.44	90.94	90.02	2.42	2.67	56.00	4.00	2	
76	91.20	87.50	86.58	4.62	4.67	15.33	4.00	2	
77	90.04	88.02	87.10	2.94	3.33				
78	74.51	72.57	71.65	2.86	3.33	16.00	3.33	2	
79	74.40	72.37	71.45	2.95	3.33				

1	52.03 52.00	50.48	49.86	2.77 3.14	3.33	57.33	4.00	2	
2	51.85 51.00	49.76	49.14	2.74 3.00	3.33	56.00	3.33 4.00	2	
3	51.00 52.00	49.35	48.73	2.27 4.00	2.67	62.00	2.67 4.00	2	
3A	40.00 52.10	48.72	48.12 46.10	1.96 4.00	2.00 4.00	63.33	2.00 4.00	1 2	
3B	40.28 51.00	48.60	48.00 47.95	1.28 3.02	1.33 3.33	22.00	2.00 3.33	1 2	
3C	49.94	48.44	47.82	2.12	2.67				

Bohannon & Huston Courtney I 7500 Jefferson St. NE Albuquerque, NM 87109-4335 ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES		10/05		RETAINING & WALL REVISIONS		10/05		REMARKS		BY	
DESIGN REVIEW COMMITTEE		CITY ENGINEER APPROVAL		LAST DESIGN UPDATE		MO./DAY/YR.		MO./DAY/YR.		DATE	
CITY PROJECT NO.		ZONE MAP NO.		SHEET		OF		1A		12	
B-8											



AS-BUILT INFORMATION				BENCH MARKS				SURVEY INFORMATION				ENGINEER'S SEAL			
CONTRACTOR	DATE	BY	NO.	AS-BUILT TABLE STAMPED "1-A8 1980"	DATE	BY	NO.	DATE	BY	NO.	DATE	DATE	BY	NO.	DATE
STATIONED BY	DATE	BY	NO.	GEOGRAPHIC POSITION (NAD 1983)	DATE	BY	NO.	REMARKS	BY	NO.	DATE	REVISIONS	BY	NO.	DATE
DESIGNED BY	DATE	BY	NO.	N.M. STATE PLANE COORDINATES	DATE	BY	NO.	DESIGN	BY	NO.	DATE	DESIGN	BY	NO.	DATE
DRAWN BY	DATE	BY	NO.	(CENTRAL ZONE)	DATE	BY	NO.	YOP	BY	NO.	DATE	YOP	BY	NO.	DATE
CHECKED BY	DATE	BY	NO.	X=350,152.25 Y=1,531,818.60	DATE	BY	NO.	DLM	BY	NO.	DATE	DLM	BY	NO.	DATE
				GROUND-TO-GRID FACTOR = 0.9996593				YOP	BY	NO.		YOP	BY	NO.	
				MICRO-FILM INFORMATION											
				DELTA ALPHA = -0.001721"											
				NGVD 1929 ELEVATION = 5570.04											

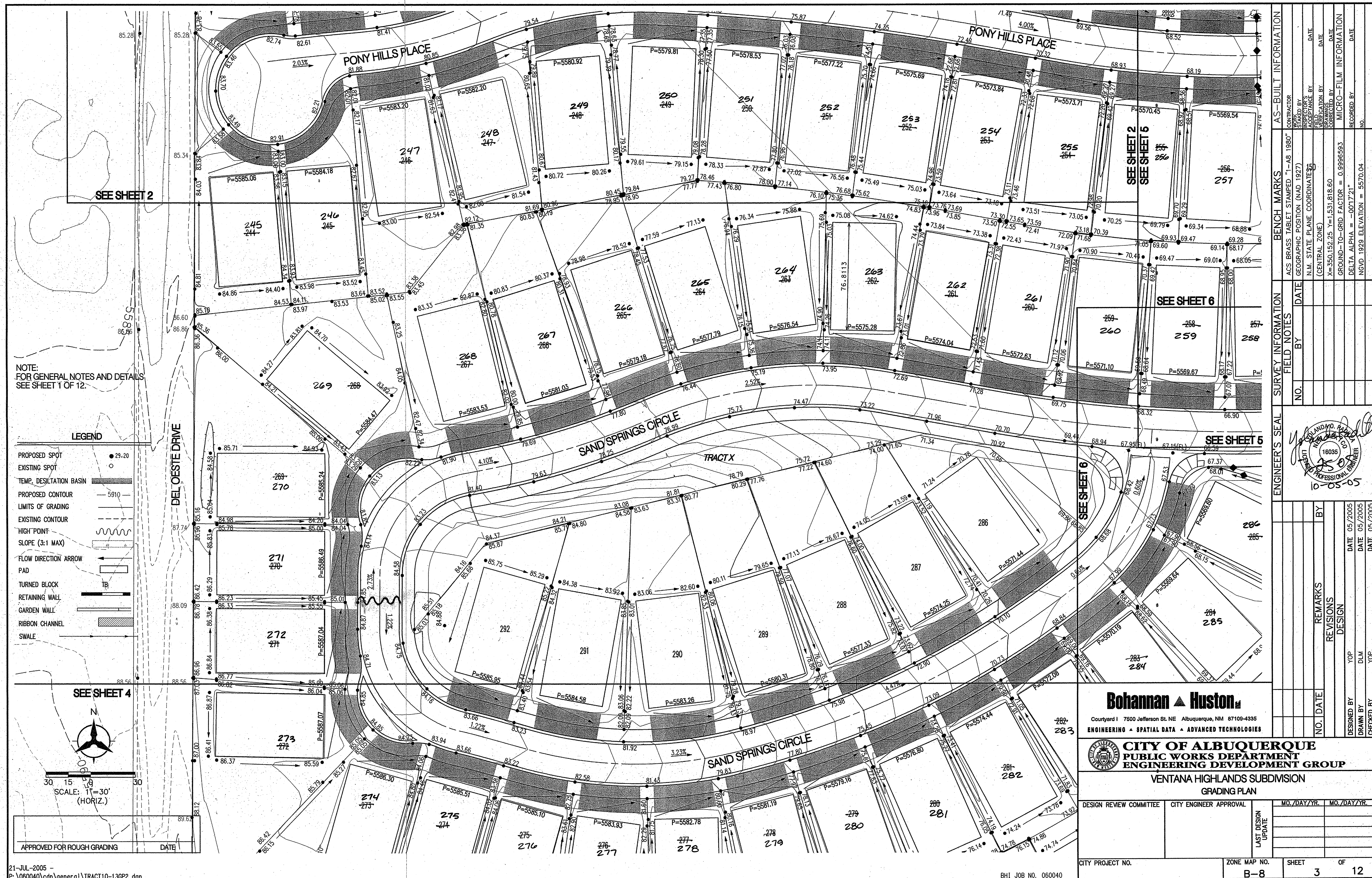
Bohannon & Huston
Courtney I 7500 Jefferson St. NE Albuquerque, NM 87109-4335
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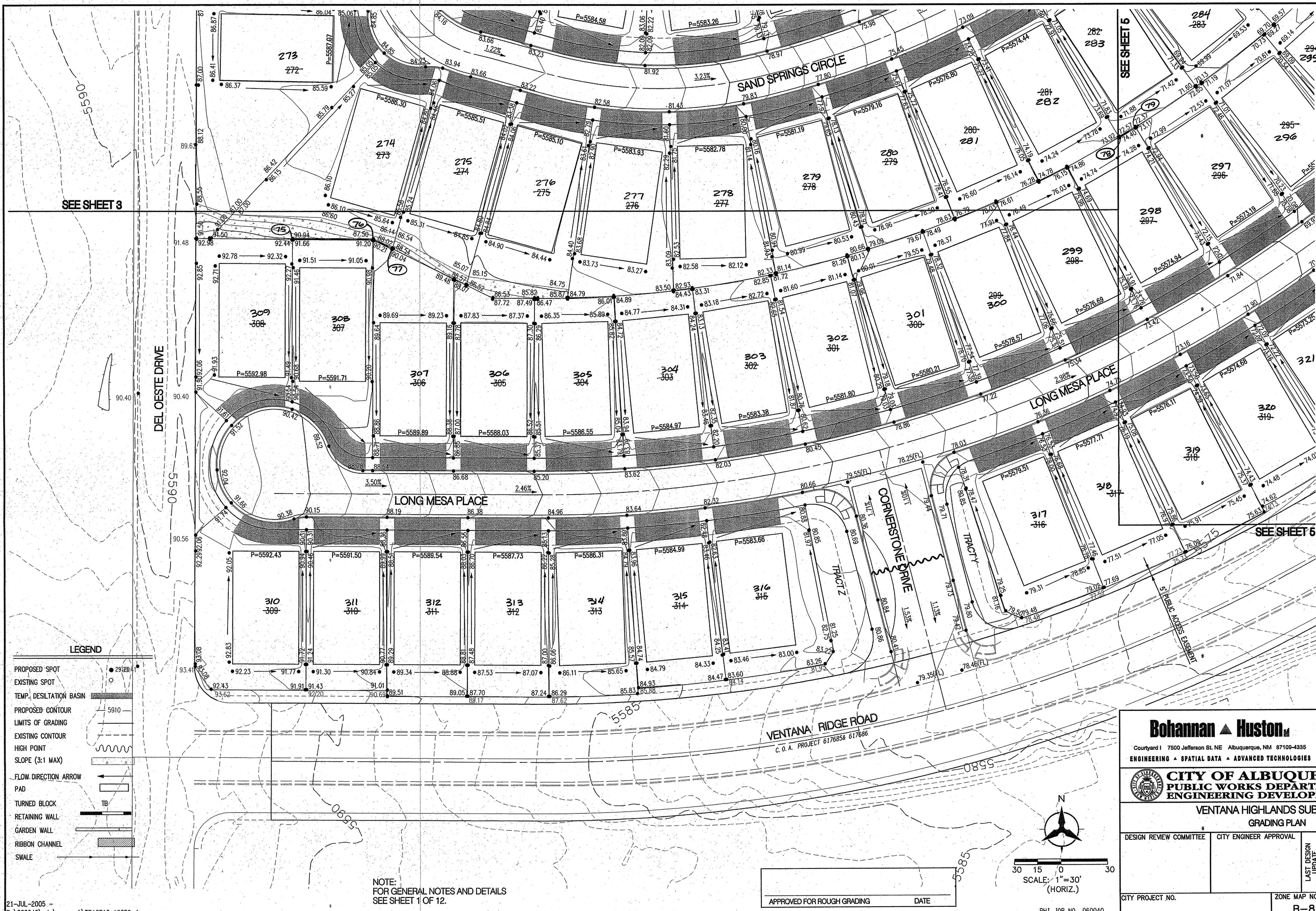
CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP

VENTANA HIGHLANDS SUBDIVISION
GRADING PLAN

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	MO./DAY/YR.	MO./DAY/YR.

CITY PROJECT NO.	ZONE MAP NO.	SHEET	OF
	B-8	2	12

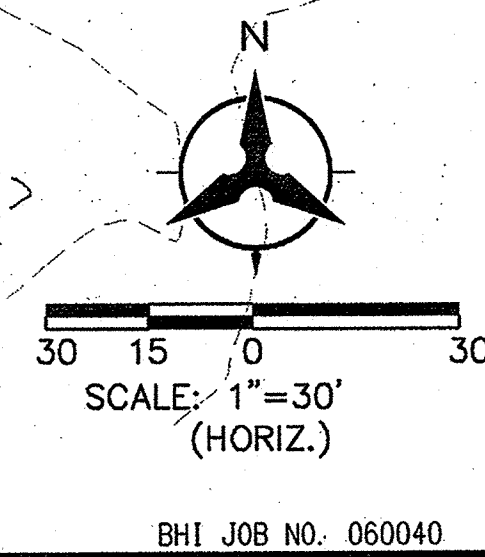




21-JUL-2005 -
P:\060040\cdp\general\TRACT10-136P3.dgn

NOTE:
FOR GENERAL NOTES AND DETAILS
SEE SHEET 1 OF 12.

APPROVED FOR ROUGH GRADING DATE

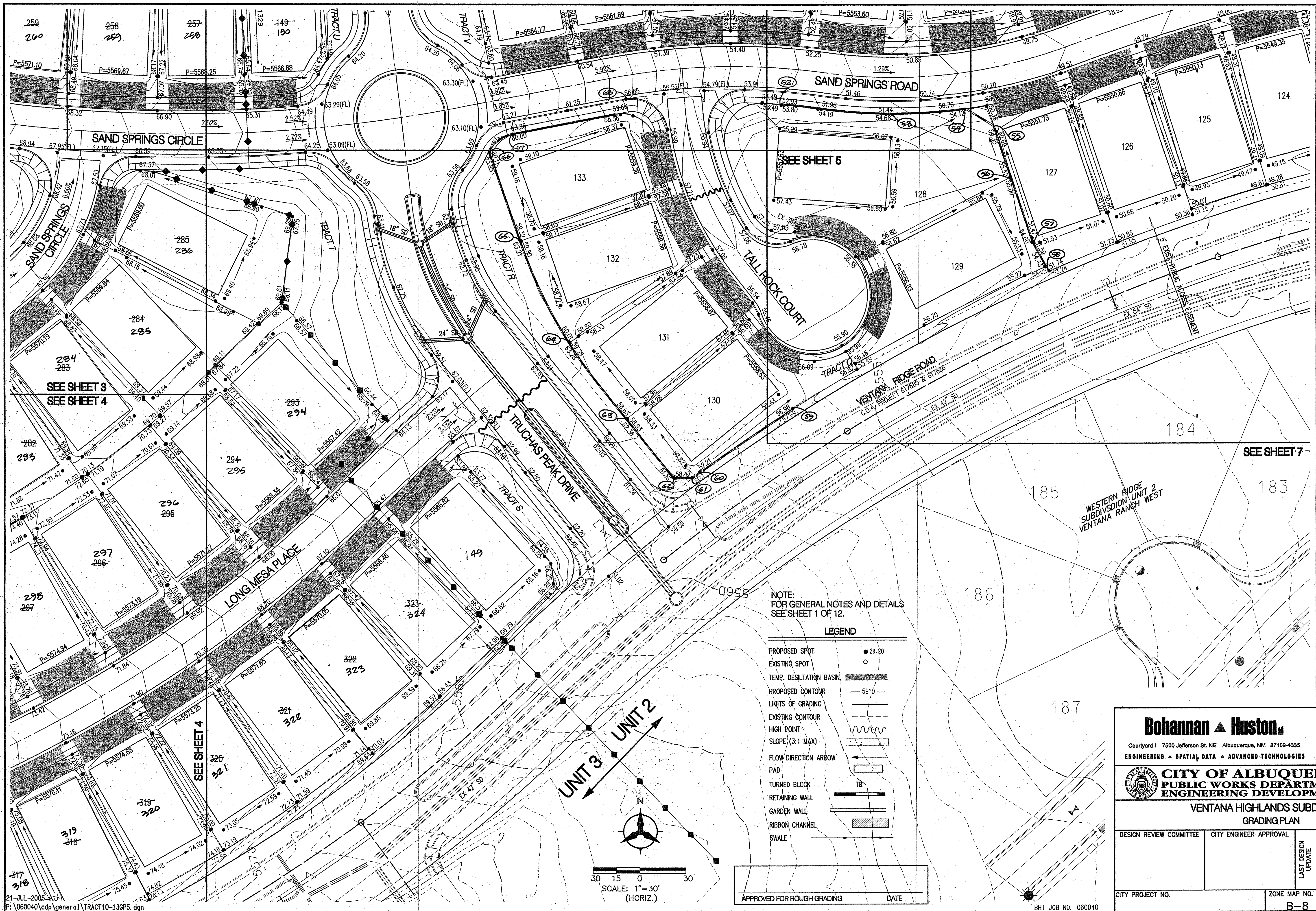


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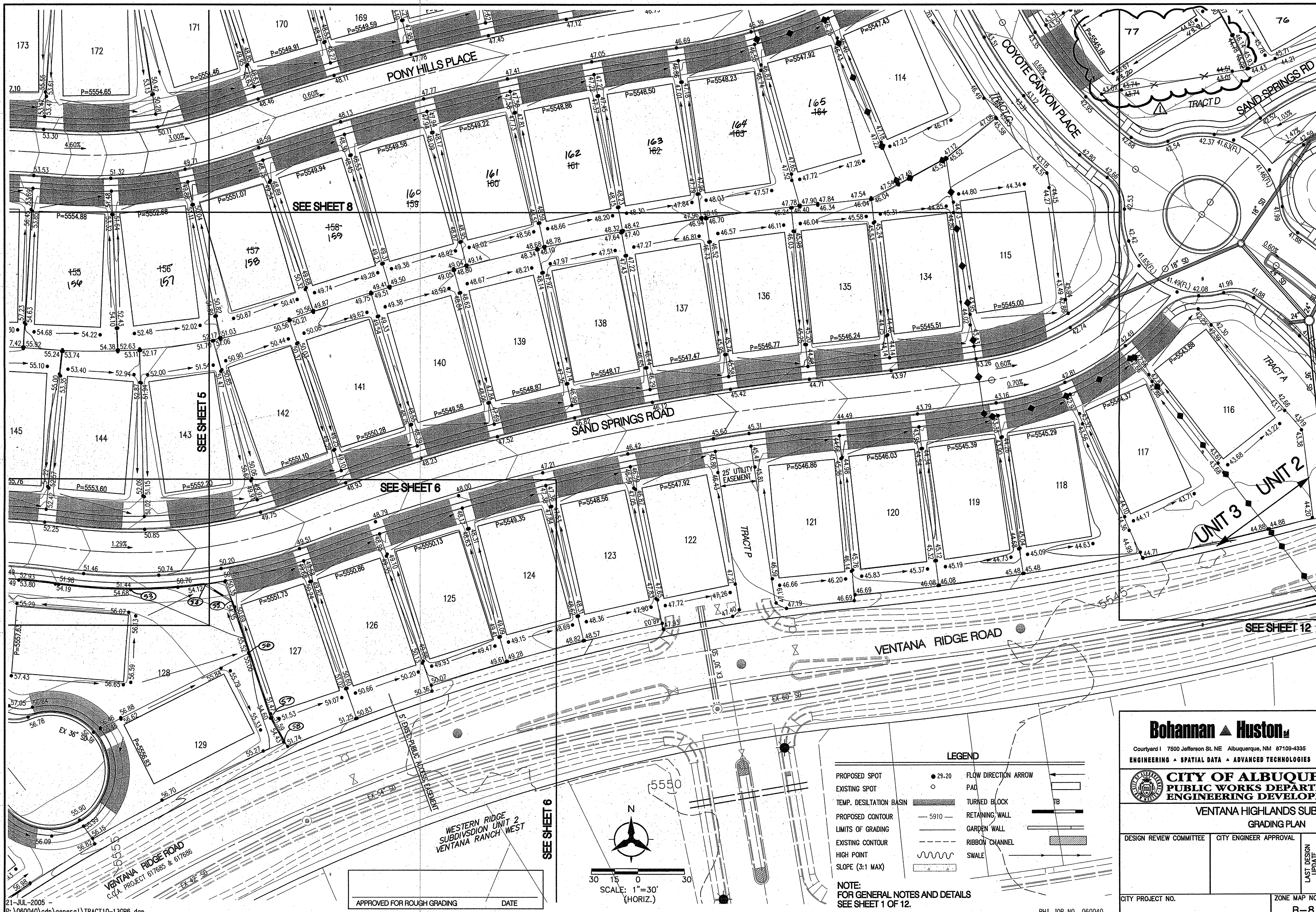
CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING DEVELOPMENT GROUP	
VENTANA HIGHLANDS SUBDIVISION GRADING PLAN	
DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL
CITY PROJECT NO.	ZONE MAP NO.
LAST DESIGN UPDATE	
SHEET 4 OF 12	

ENGINEER'S SEAL		SURVEY INFORMATION		BENCH MARKS		AS-BUILT INFORMATION	
		FIELD NOTES		CONTRACTOR		WORKED BY	
NO.		DATE		DATE		DATE	
REVISIONS		N.M. STATE PLANE COORDINATES		ACCEPTANCE BY		DATE	
BY		(CENTRAL ZONE)		DATE		DATE	
DATE 05/2005		X=350152.25 Y=1531.818.60		DRAWINGS		DATE	
DATE 05/2005		GROUND-TO-GRID FACTOR = 0.9996593		CORRECTED BY		DATE	
DATE 05/2005		DELTA ALPHA = -0017.21"		MICRO-FILM INFORMATION		DATE	
				RECORDED BY		DATE	
				NO.			



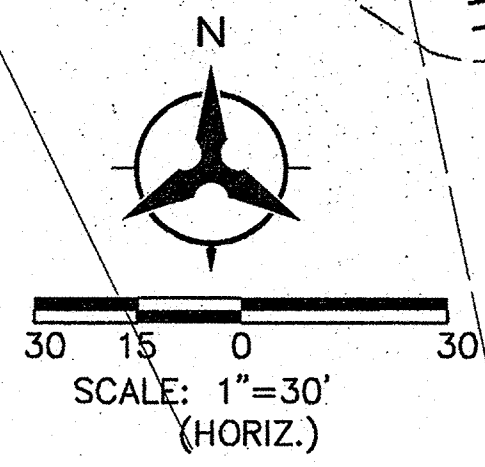


ROQUE MENT GROUP DIVISION										ENGINEER'S SEAL 										SURVEY INFORMATION FIELD NOTES NO. BY DATE									
--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	---	--	--	--	--	--	--	--	--	--



21-JUL-2005 -
P:\060040\cdp\general\TRACT10-13GP6.dgn

APPROVED FOR ROUGH GRADING
DATE



LEGEND	
PROPOSED SPOT	● 29.20
EXISTING SPOT	○
TEMP. DESILTATION BASIN	[Symbol]
PROPOSED CONTOUR	— 5910 —
LIMITS OF GRADING	[Symbol]
EXISTING CONTOUR	[Symbol]
HIGH POINT	[Symbol]
SLOPE (3:1 MAX)	[Symbol]
FLOW DIRECTION ARROW	[Symbol]
PAD	[Symbol]
TURNED BLOCK	[Symbol]
RETAINING WALL	[Symbol]
GARDEN WALL	[Symbol]
RIBBON CHANNEL	[Symbol]
SWALE	[Symbol]

NOTE:
FOR GENERAL NOTES AND DETAILS
SEE SHEET 1 OF 12.

BHI JOB NO. 060040

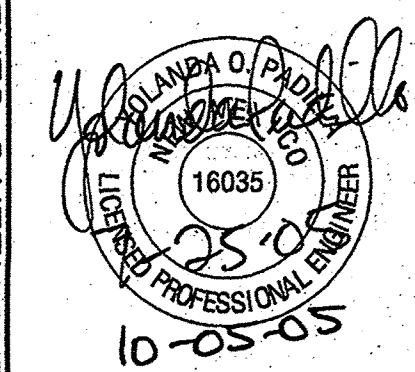
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PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP

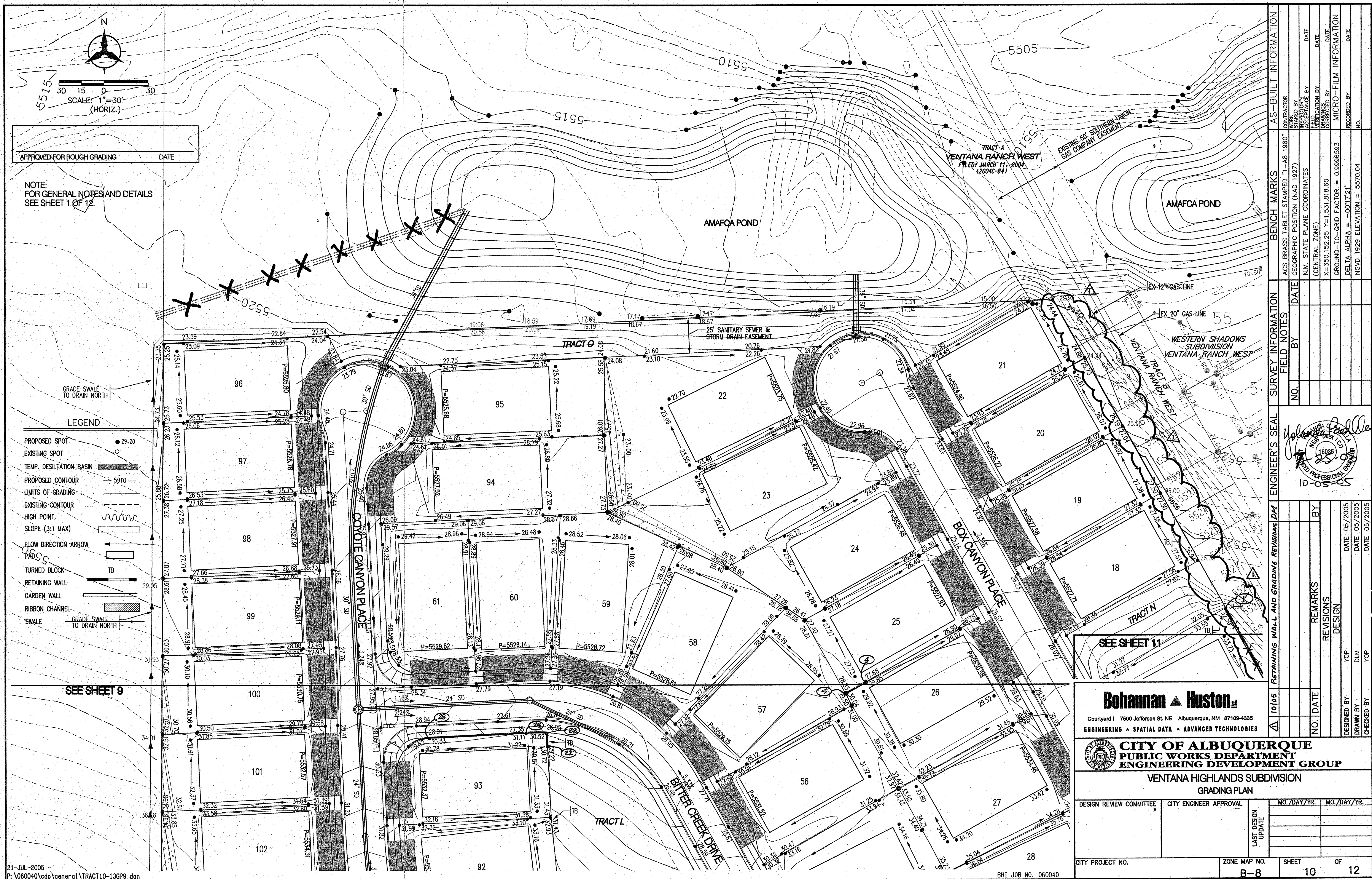
VENTANA HIGHLANDS SUBDIVISION
GRADING PLAN

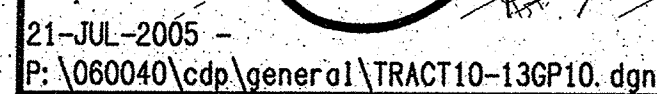
DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	MO./DAY/YR.	MO./DAY/YR.
LAST DESIGN UPDATE			
CITY PROJECT NO.	ZONE MAP NO.	SHEET	OF
	B-8	7	12

SURVEY INFORMATION		BENCH MARKS		AS-BUILT INFORMATION	
NO.	BY	DATE	NO.	DATE	NO.
FIELD NOTES		ACS BRASS TABLE STAMPED "1-A8 1980"		CONTRACTOR	
NO.		BY	DATE	STATED BY	
NO.		BY	DATE	ACCEPTANCE BY	
NO.		BY	DATE	FIELD CATCH BY	
NO.		BY	DATE	DRAWINGS	
NO.		BY	DATE	CORRECTED BY	
NO.		BY	DATE	MICRO-FILM INFORMATION	
NO.		BY	DATE	RECORDED BY	
NO.		BY	DATE	NO.	









APPROVED FOR ROUGH GRADING _____ DATE _____



CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP

VENTANA HIGHLANDS SUBDIVISION

GRADING PLAN

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	LAST DESIGN UPDATE	MO./DAY/YR.	MO./DAY/YR.
CITY PROJECT NO.	9	ZONE MAP NO. B-8	SHEET 11	OF 12

[illegible]

