



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

February 12, 2002

Kevin Patton, P.E.
Bohannon Huston, Inc.
7500 Jefferson NE
Albuquerque, New Mexico 87109

RE: **VISTA DE ARENAL SUBD @ VENTANA RANCH (B-9/D5A)**
Engineers Certification For Release of Financial Guaranty
Engineers Stamp dated 3/29/2001 Rev. 4/23/2001
Engineer's Certification dated 2/7/2002

Dear Mr. Patton:

Based upon the information provided in your submittal dated 2/7/2002, the above referenced plan is adequate to satisfy the Grading and Drainage Certification requirements for release of financial guaranty for the above referenced project.

If you have any questions, please call me at 924-3981.

Sincerely,

Teresa A. Martin
Hydrology Plan Checker
Public Works Department

BLB

C: Arlene Portillo, PWD - #664381

File

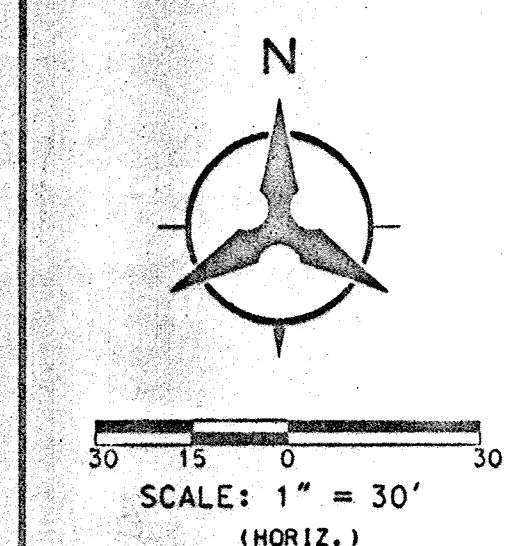
DRAINAGE CERTIFICATION

I, **KEVIN G. PATTON**, OF BOHANNAN HUSTON, N.M.P.E. # 13685, HEREBY CERTIFY THAT THE AS-BUILT DRAINAGE CONDITIONS OF THE SITE ARE IN SUBSTANTIAL COMPLIANCE WITH THE APPROVED GRADING AND DRAINAGE PLAN, TO THE BEST OF MY KNOWLEDGE AND BELIEF. AS-BUILT ELEVATIONS ARE SHOWN ON THE PLAN IN HAND-WRITTEN FORM. AS-BUILT ELEVATIONS WERE VERIFIED BY **ROBERT C. MILLER**, L.S. # 3794. THIS STATEMENT DOES NOT REPRESENT CERTIFICATION OF CONTRACTORS' METHODS OR MATERIALS.

Kevin G. Patton
NAME
2/7/02
DATE

KEVIN G. PATTON
NEW MEXICO
13685
REGISTERED PROFESSIONAL ENGINEER

NOTE: THIS DRAINAGE CERTIFICATION INCLUDES SHEETS 6, 7, 8, 9 & 10.



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I, Robert C. Miller, a duly qualified Professional Surveyor under the laws of the State of New Mexico, do hereby certify that:
i) the "as-built" information shown on these drawings was obtained from actual field surveys performed by me or under my direct supervision;
ii) the "as-built" information shown on these drawings was added by me or under my direct supervision, and is true and correct to the best of my knowledge and belief; and
iii) I am not responsible for any of the design, calculation, engineering, or intent of the record drawings.

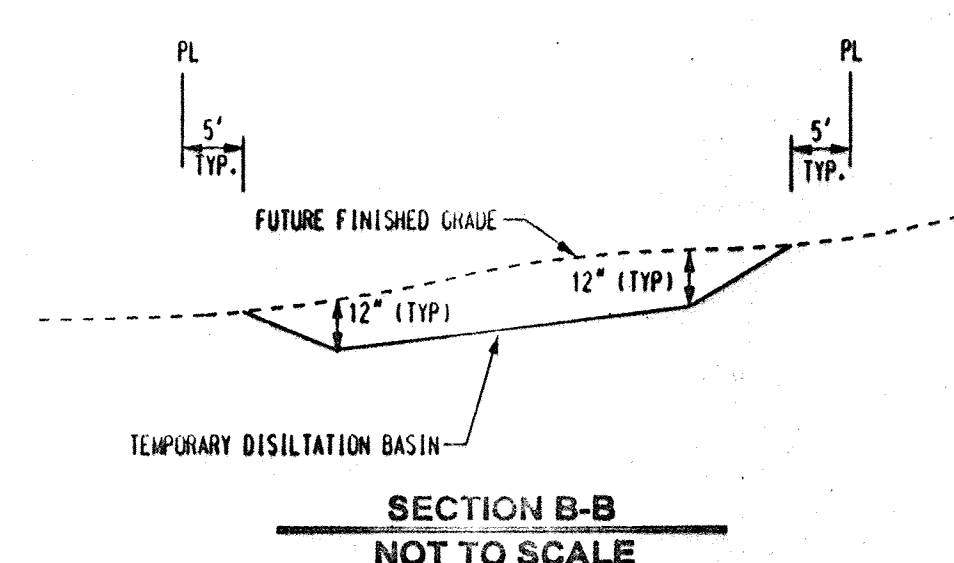
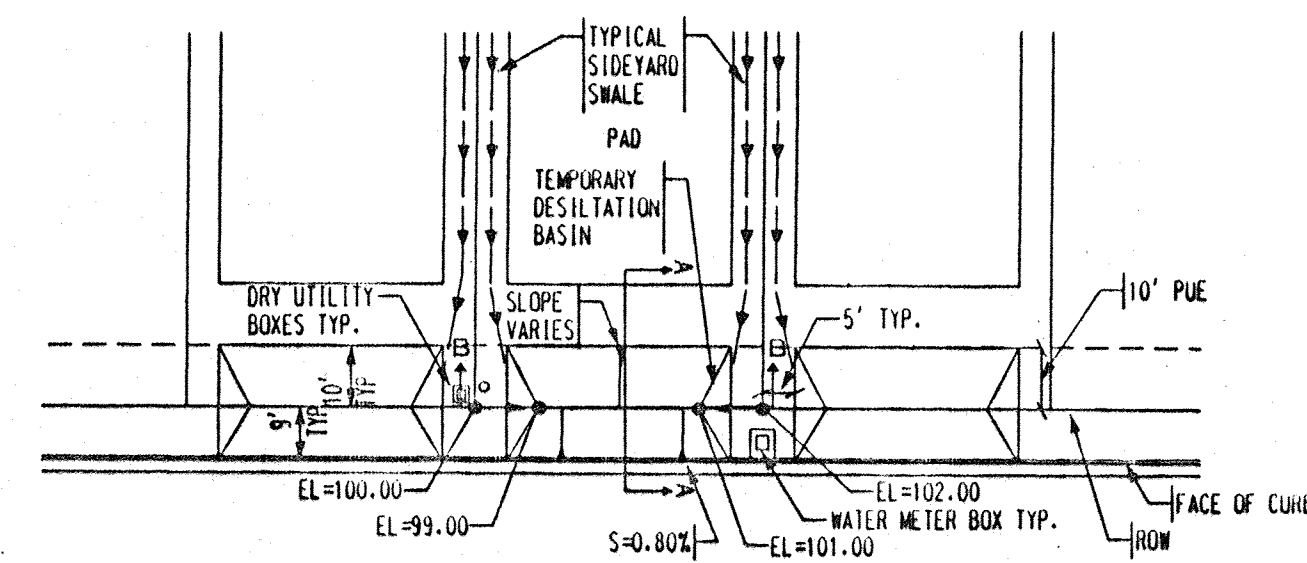
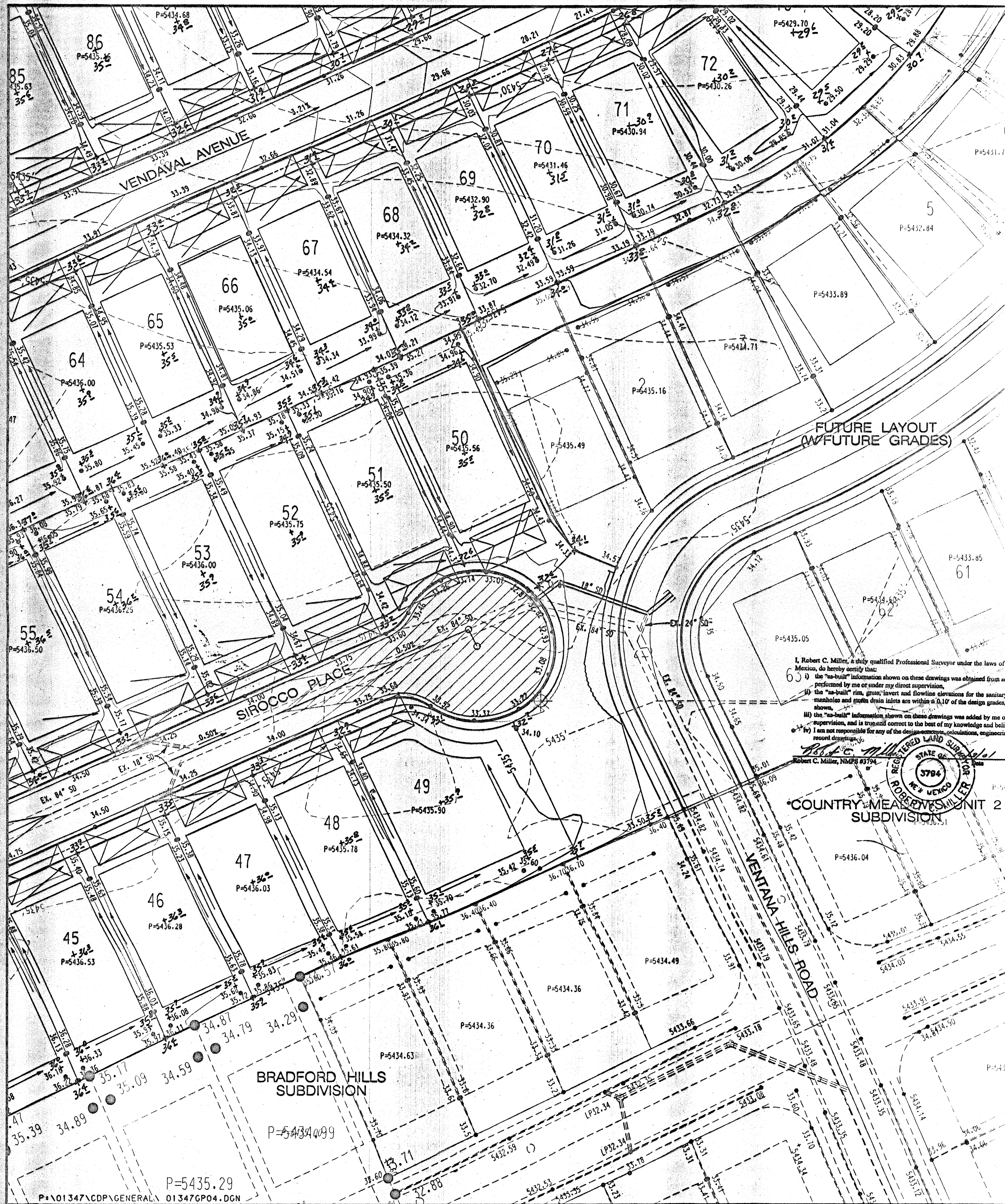
Robert C. Miller
Robert C. Miller, N.M.P.S. #3794
BRADFORD SUBDIVISION
STATE OF NEW MEXICO
PROFESSIONAL LAND SURVEYOR
DATE

Bohannon & Huston
Courtney One 7500 JEFFERSON NE Albuquerque NEW MEXICO 87109
ENGINEERS PLANNERS PHOTOGRAMMETRISTS SURVEYORS SOFTWARE DEVELOPERS

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP
VISTA DE ARENAL SUBDIVISION
GRADING PLAN

DESIGN REVIEW COMMITTEE CITY ENGINEER APPROVAL
MAY 25 2001
LAST DESIGN UPDATE
CITY PROJECT NO. 664381 ZONE MAP NO. B-9 SHEET 6 OF 26
MO./DAY/YR. MO./DAY/YR.

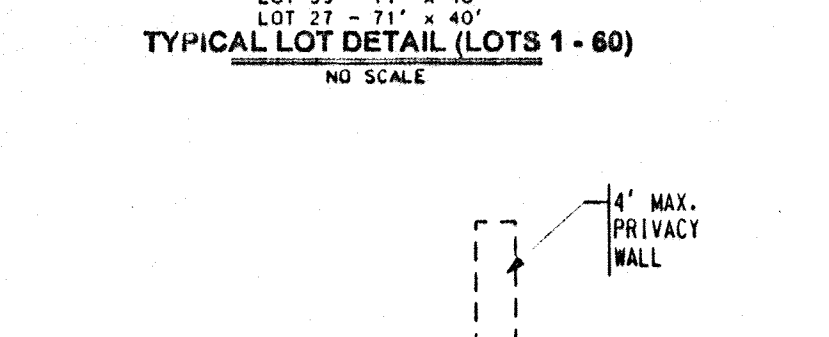
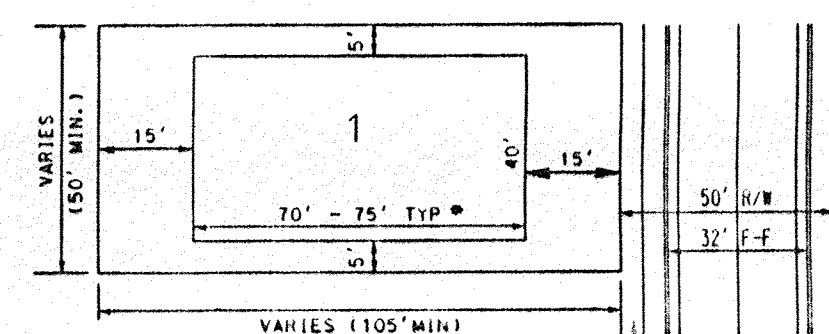
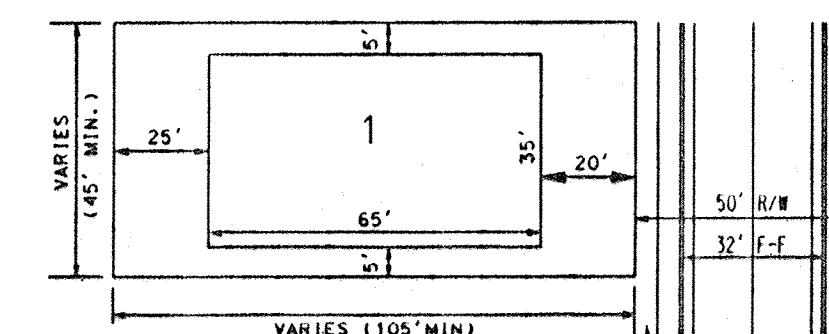
AS-BUILT INFORMATION			
CONTRACTOR	DATE	BY	DATE
Bohannon & Huston	4/23/01	Robert C. Miller	4/23/01
BENCH MARKS			
ACS BRASS TABLE STAMPED "1-89 1980"	DATE	BY	DATE
GEOGRAPHIC POSITION (NAD 1971)	DATE	BY	DATE
N.M. STATE PLANE COORDINATES	DATE	BY	DATE
(CENTRAL ZONE) X=355,077.00	DATE	BY	DATE
Y=1,529,056.93	DATE	BY	DATE
FIELD NOTES			
NO. AS-BUILT INFORMATION	DATE	BY	DATE
AND VERTICAL POSITION ONLY	DATE	BY	DATE
NO. AS-BUILT INFORMATION	DATE	BY	DATE
AND VERTICAL POSITION ONLY	DATE	BY	DATE
ENGINEER'S SEAL			
NO. AS-BUILT INFORMATION	DATE	BY	DATE
AND VERTICAL POSITION ONLY	DATE	BY	DATE
NO. AS-BUILT INFORMATION	DATE	BY	DATE
AND VERTICAL POSITION ONLY	DATE	BY	DATE
REVISIONS			
NO. DATE	BY	REVISIONS	DATE
1 03/2001	YP	DESIGN	03/2001
2 03/2001	YP	DESIGN	03/2001
3 03/2001	KP	DESIGN	03/2001



TEMPORARY DESILTATION BASIN

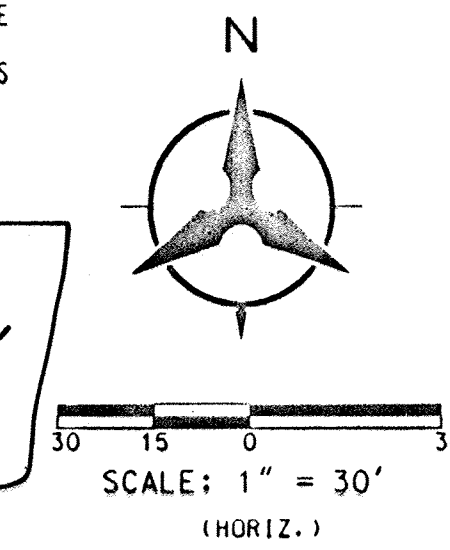
NOT TO SCALE

** BOTTOM OF BASIN IS 1' BELOW PROPERTY LINE ELEVATION SEE GRADING PLANS FOR EXACT ELEVATIONS



NOTE: DASHED LINES IN TYP. SIDE LOT LINE SECTIONS REPRESENT THE FINAL CONDITION AFTER THE GARDEN, STEM, AND PRIVACY WALLS HAVE BEEN CONSTRUCTED. THE INTERIM CONDITION, WHICH IS TO BE CONSTRUCTED BY THE GRADING CONTRACTOR AND CERTIFIED BY THE ENGINEER, IS REPRESENTED BY THE SOLID LINES. RETAINING WALLS WILL BE CONSTRUCTED PRIOR TO GRADING CERTIFICATION.

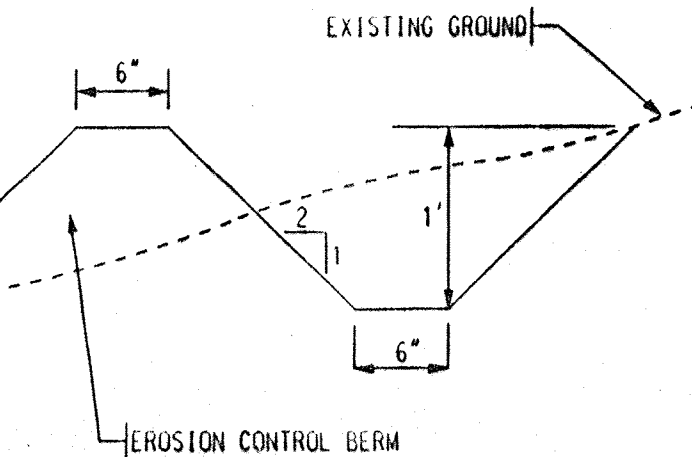
Note: Handwritten elevations shown are "As-built" shots from an actual field survey.



EROSION CONTROL PLAN

NOT TO SCALE

A BERM WITH THE DIMENSIONS SHOWN SHALL BE MAINTAINED DURING CONSTRUCTION UNTIL COMPLETION OF INDIVIDUAL HOMES WITHIN THE PROJECT



LEGEND

- PROPOSED SPOT
- EXISTING SPOT
- TEMP. DESILTATION BASIN (SEE DETAIL THIS SHEET)
- LIMITS OF GRADING
- EXISTING CONTOUR
- FLOW DIRECTION ARROW
- PAD
- TURNED BLOCK
- RETAINING WALL

Bohannon & Huston

Courtyard One 7500 JEFFERSON NE ALBUQUERQUE NEW MEXICO 87109

ENGINEERS PLANNERS PHOTOGRAMMETRISTS SURVEYORS SOFTWARE DEVELOPERS

CITY OF ALBUQUERQUE

PUBLIC WORKS DEPARTMENT

ENGINEERING DEVELOPMENT GROUP

VISTA DE ARENAL SUBDIVISION

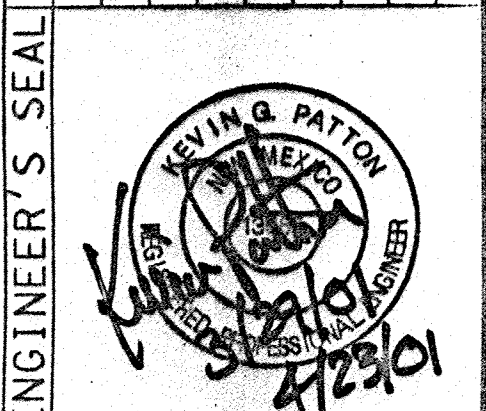
GRADING PLAN

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	MO./DAY/YR.	MO./DAY/YR.
APPROVE			
MAY 25 2001			
DESIGN REVIEW COMMITTEE			

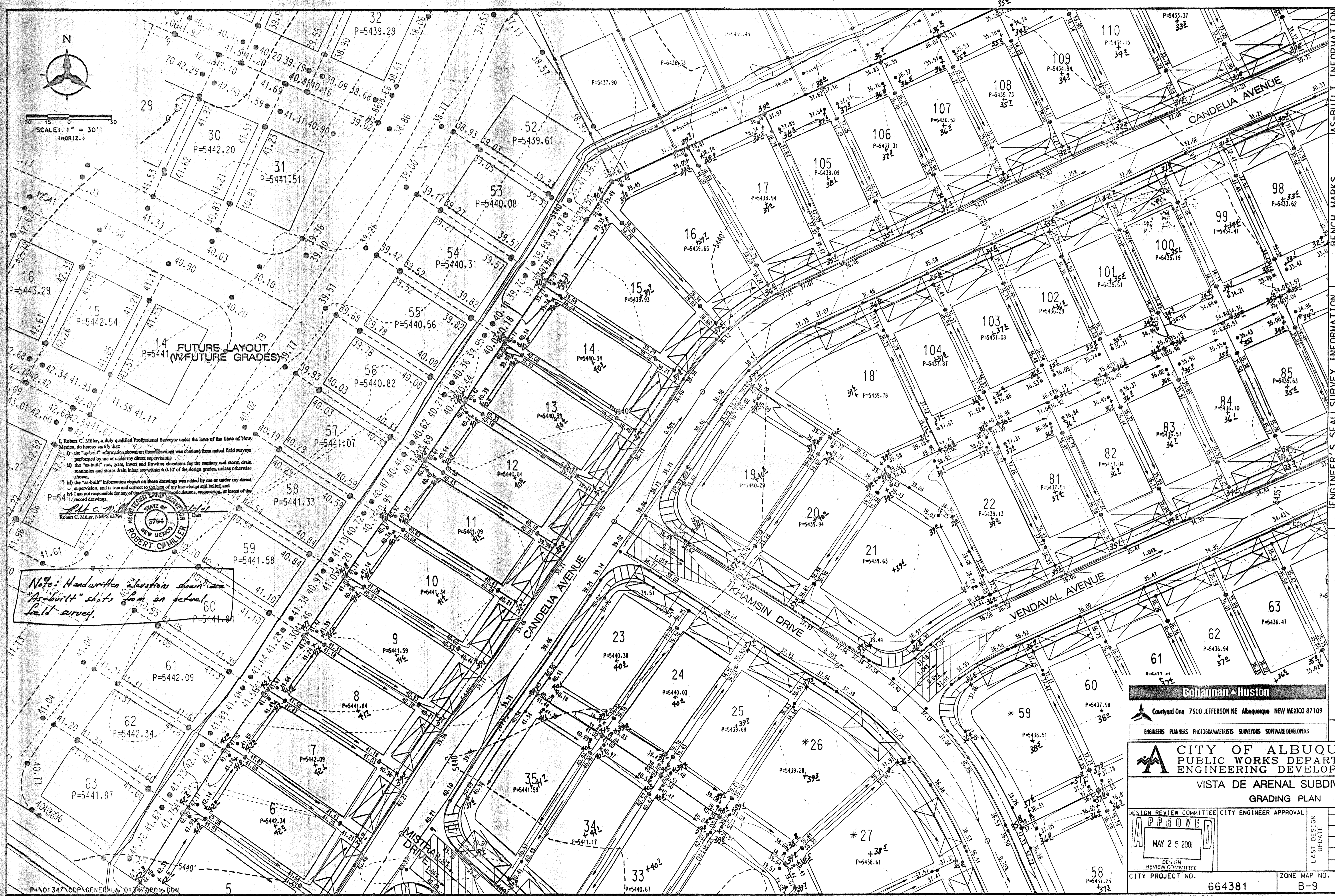
CITY PROJECT NO. 664381 ZONE MAP NO. B-9 SHEET 7 OF 26

BHI JOB NO. 010347001 COPYRIGHT BOHANNAN HUSTON 2001

AS-BUILT INFORMATION			
CONTRACTOR	DATE	BY	DATE
BOHANNAN & HUSTON	11-19-01	WALTER SAWYER	11-19-01
BENCH MARKS			
ACS BRASS TABLE STAMPED "1-B9 1980"	DATE	BY	DATE
GEOGRAPHIC POSITION (NAD 1927)	11-19-01	WALTER SAWYER	11-19-01
FIELD NOTES			
N.M. STATE PLANE COORDINATES (CENTRAL ZONE) X=355,077.00 Y=1,529,056.93	DATE	BY	DATE
GROUND-TO-GRID FACTOR = .99966334	11-19-01	WALTER SAWYER	11-19-01
DELTA ALPHA = 00°16'47"	DATE	BY	DATE
NOV 1929 ELEVATION = 5450.51	11-19-01	WALTER SAWYER	11-19-01



NO.	DATE	REVISIONS	BY
1	03/2001	DESIGN	YP
2	03/2001	REVISION	KP



Note: Handwritten elevations shown are "As-built" shots from an actual field survey.

I, Robert C. Miller, a duly qualified Professional Surveyor under the laws of the State of New Mexico, do hereby certify that:
1) the "as-built" information shown on these drawings was obtained from actual field surveys performed by me or under my direct supervision;
2) the "as-built" run, gone, invert and flowline elevations for the sanitary and storm drain manholes and storm drain inside any within a 0.10' of the design grades, unless otherwise shown;
3) the "as-built" information shown on these drawings was added by me or under my direct supervision, and is true and correct to the best of my knowledge and belief, and I am not responsible for any of the calculations, engineering, or design of the record drawings.

Robert C. Miller, NMPS #3794

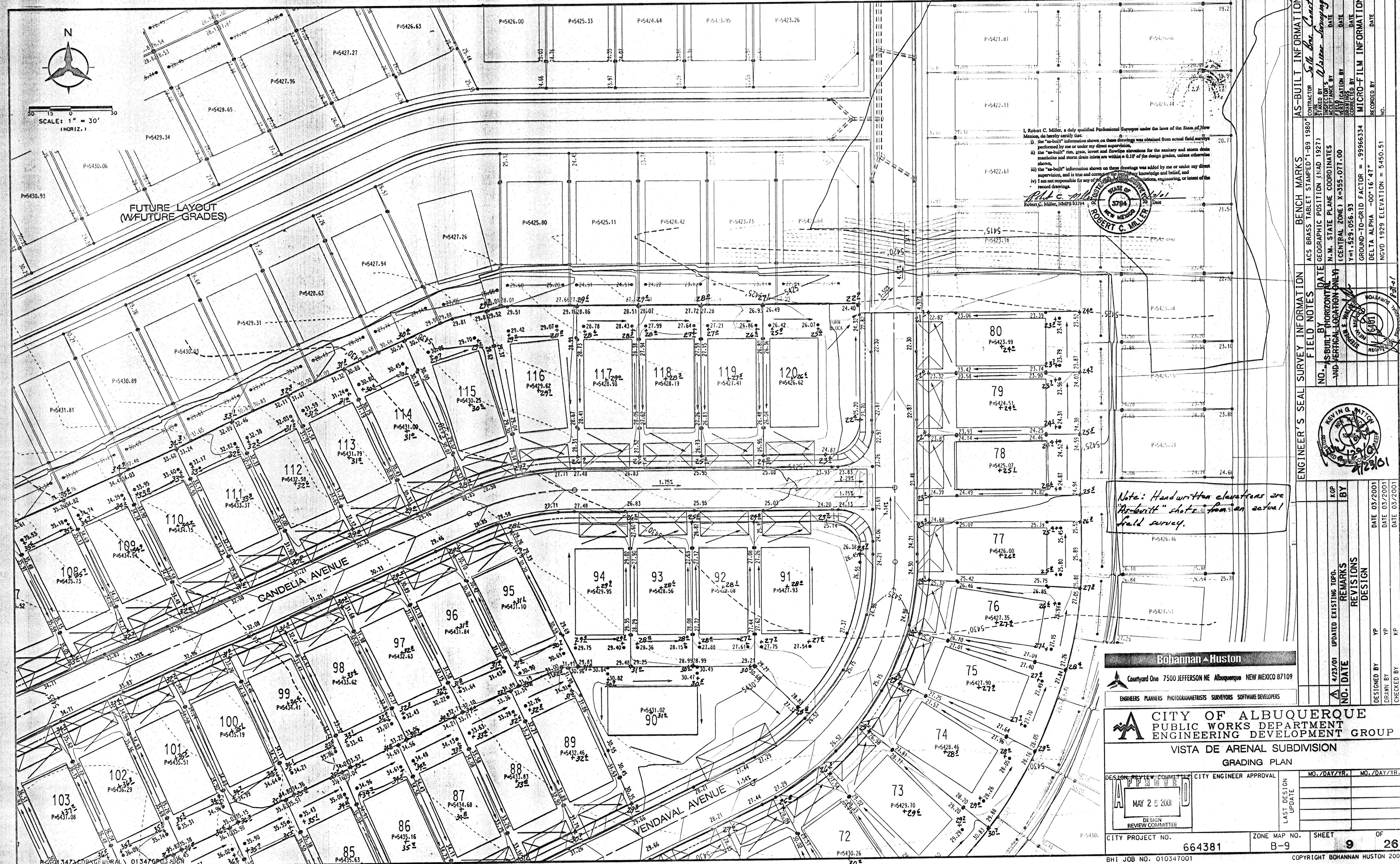
Bohannon & Huston
Countywide One 7500 JEFFERSON NE Albuquerque NEW MEXICO 87109
ENGINEERS PLANNERS PHOTOGRAMMETRISTS SURVEYORS SOFTWARE DEVELOPERS

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP

VISTA DE ARENAL SUBDIVISION
GRADING PLAN

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	MO./DAY/YR.	MO./DAY/YR.
APPROVE			
MAY 25 2001			
DESIGN REVIEW COMMITTEE			
CITY PROJECT NO. 664381	ZONE MAP NO. B-9	SHEET 8	OF 26

ENGINEER'S SEAL		SURVEY INFORMATION		BENCH MARKS		AS-BUILT INFORMATION	
NO.	DATE	DATE	DATE	DATE	DATE	DATE	DATE
1	1/1/01	1/1/01	1/1/01	1/1/01	1/1/01	1/1/01	1/1/01
CONTRACTOR		INSPECTOR		CONTRACTOR		INSPECTOR	
SILT BROOKS CORP.		SILT BROOKS CORP.		SILT BROOKS CORP.		SILT BROOKS CORP.	
GEOGRAPHIC POSITION (NAD 1927)		N.M. STATE PLANE COORDINATES		GEOGRAPHIC POSITION (NAD 1927)		N.M. STATE PLANE COORDINATES	
EASTING		NORTHING		EASTING		NORTHING	
1111111		1111111		1111111		1111111	
CENTRAL ZONE		CENTRAL ZONE		CENTRAL ZONE		CENTRAL ZONE	
X=555,077.00		Y=1,529,056.93		X=555,077.00		Y=1,529,056.93	
GROUND-TO-GRID FACTOR = .99966334		DELTA ALPHA = 00°16'47"		GROUND-TO-GRID FACTOR = .99966334		DELTA ALPHA = 00°16'47"	
NGVD 1929 ELEVATION = 5450.51		RECORDED BY		NGVD 1929 ELEVATION = 5450.51		RECORDED BY	
NO.		NO.		NO.		NO.	
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DATE		DATE		DATE		DATE	
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DESIGNED BY		DESIGNED BY		DESIGNED BY		DESIGNED BY	
Y.P.		Y.P.		Y.P.		Y.P.	
DRAWN BY		DRAWN BY		DRAWN BY		DRAWN BY	
K.P.		K.P.		K.P.		K.P.	
CHECKED BY		CHECKED BY		CHECKED BY		CHECKED BY	
K.P.		K.P.		K.P.		K.P.	
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DESIGN		DESIGN		DESIGN		DESIGN	
REVISIONS		REVISIONS		REVISIONS		REVISIONS	
NO. DATE		NO. DATE		NO. DATE		NO. DATE	
1 4/23/01		1 4/23/01		1 4/23/01		1 4/23/01	



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d) the "as-built" information shown on these drawings was obtained from actual field surveys performed by me or under my direct supervision;
e) the "as-built" information shown on these drawings was obtained from actual field surveys performed by me or under my direct supervision;
f) the "as-built" information shown on these drawings was obtained from actual field surveys performed by me or under my direct supervision;
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h) the "as-built" information shown on these drawings was obtained from actual field surveys performed by me or under my direct supervision;
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j) the "as-built" information shown on these drawings was obtained from actual field surveys performed by me or under my direct supervision;
k) the "as-built" information shown on these drawings was obtained from actual field surveys performed by me or under my direct supervision;
l) the "as-built" information shown on these drawings was obtained from actual field surveys performed by me or under my direct supervision;
m) the "as-built" information shown on these drawings was obtained from actual field surveys performed by me or under my direct supervision;
n) the "as-built" information shown on these drawings was obtained from actual field surveys performed by me or under my direct supervision;
o) the "as-built" information shown on these drawings was obtained from actual field surveys performed by me or under my direct supervision;
p) the "as-built" information shown on these drawings was obtained from actual field surveys performed by me or under my direct supervision;
q) the "as-built" information shown on these drawings was obtained from actual field surveys performed by me or under my direct supervision;
r) the "as-built" information shown on these drawings was obtained from actual field surveys performed by me or under my direct supervision;
s) the "as-built" information shown on these drawings was obtained from actual field surveys performed by me or under my direct supervision;
t) the "as-built" information shown on these drawings was obtained from actual field surveys performed by me or under my direct supervision;
u) the "as-built" information shown on these drawings was obtained from actual field surveys performed by me or under my direct supervision;
v) the "as-built" information shown on these drawings was obtained from actual field surveys performed by me or under my direct supervision;
w) the "as-built" information shown on these drawings was obtained from actual field surveys performed by me or under my direct supervision;
x) the "as-built" information shown on these drawings was obtained from actual field surveys performed by me or under my direct supervision;
y) the "as-built" information shown on these drawings was obtained from actual field surveys performed by me or under my direct supervision;
z) the "as-built" information shown on these drawings was obtained from actual field surveys performed by me or under my direct supervision;



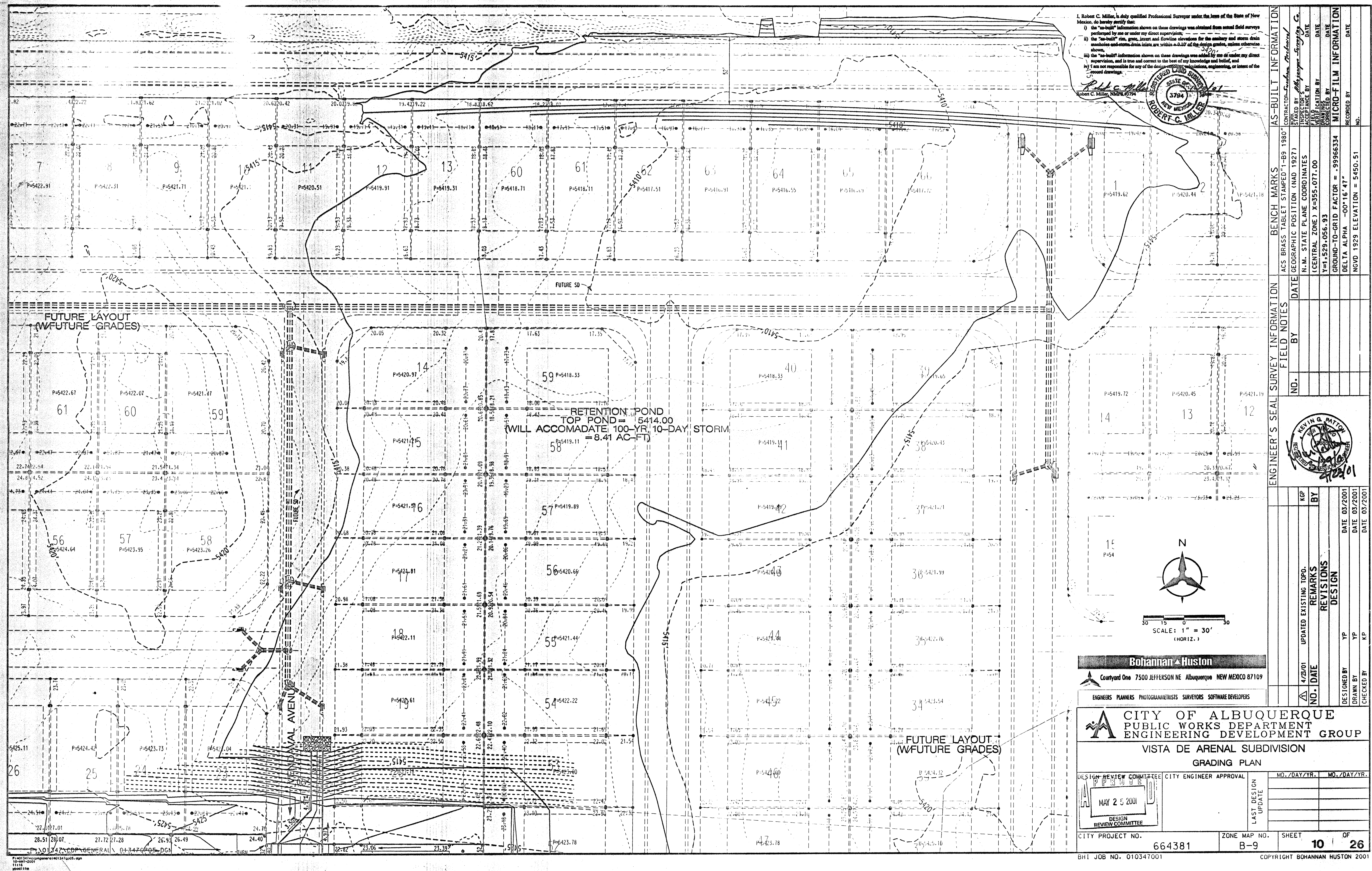
Note: Handwritten elevations are "As-built" shots from actual field survey.

Bohannon & Huston
County One 7500 JEFFERSON NE Albuquerque NEW MEXICO 87109
ENGINEERS PLANNERS PHOTOGRAMMETRISTS SURVEYORS SOFTWARE DEVELOPERS

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
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VISTA DE ARENAL SUBDIVISION
GRADING PLAN

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	MO./DAY/YR.	MO./DAY/YR.
APPROVED			
MAY 25 2001			
DESIGN REVIEW COMMITTEE			
CITY PROJECT NO.	664381	ZONE MAP NO.	B-9
		SHEET	9 OF 26
BHI JOB NO. 010347001			

QUERQUE		DIVISION		GROUP		DIVISION		SHEET		9		OF		26		MO./DAY/YR.		MO./DAY/YR.		UPDATE	
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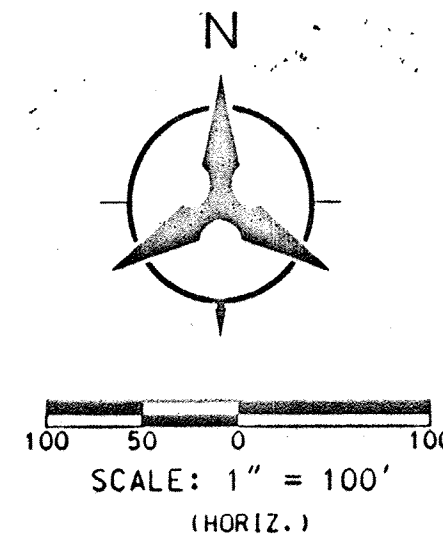
Drainage Certification

I, **KEVIN G. PATTON**, OF BOHANNAN HUSTON, N.M.P.E. # 13685, HEREBY CERTIFY THAT THE AS-BUILT DRAINAGE CONDITIONS OF THE SITE ARE IN SUBSTANTIAL COMPLIANCE WITH THE APPROVED GRADING AND DRAINAGE PLAN, TO THE BEST OF MY KNOWLEDGE AND BELIEF. AS-BUILT ELEVATIONS ARE SHOWN ON THE PLAN IN HAND-WRITTEN FORM. AS-BUILT ELEVATIONS WERE VERIFIED BY **ROBERT C. MILLER**, L.S. # 3794. THIS STATEMENT DOES NOT REPRESENT CERTIFICATION OF CONTRACTOR'S METHODS OR MATERIALS.

NAME: **Kevin G. Patton**
DATE: **2/7/02**



NOTE: THIS DRAINAGE CERTIFICATION INCLUDES SHEETS 6, 7, 8, 9 & 10.



GENERAL NOTES:

- EXCEPT AS PROVIDED HEREIN, GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.
- CONTRACTOR SHALL OBTAIN AND ABIDE BY A TOPSOIL DISTURBANCE PERMIT FROM THE CITY OF ALBUQUERQUE ENVIRONMENTAL HEALTH DIVISION. PRIOR TO CONSTRUCTION, THE COST FOR REQUIRED CONSTRUCTION DUST AND EROSION CONTROL MEASURES SHALL BE INCIDENTAL TO THE PROJECT COST. THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE, AND FEDERAL DUST CONTROL MEASURES AND REQUIREMENTS AND WILL BE RESPONSIBLE FOR PREPARING AND OBTAINING ALL NECESSARY APPLICATIONS AND APPROVALS.
- ALL WORK RELATIVE TO FOUNDATION CONSTRUCTION, SITE PREPARATION, AND PAVEMENT INSTALLATION, AS SHOWN ON THIS PLAN, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE SOILS REPORT PREPARED BY VINIARD & ASSOC. ALL OTHER WORK, UNLESS OTHERWISE STATED OR PROVIDED FOR HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS (IF FIRST PRIORITY), AND/OR THE CITY OF ALBUQUERQUE (COA) STANDARD SPECIFICATIONS FOR PUBLIC WORKS (SECOND PRIORITY).
- TWO WORKING DAYS PRIOR TO EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE (765-1264) FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO GRADING, ALL VEGETATION DEBRIS, AND NEAR SURFACE ORGANICALLY CONTAMINATED SOIL SHALL BE STRIPPED FROM ALL AREAS TO BE GRADED. VEGETATION AND DEBRIS SHALL BE DISPOSED OF OFF-SITE OR STOCK-PILED FOR USE IN PLANTERS AND NON-STRUCTURAL FILLS.
- EARTH SLOPES SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL UNLESS SHOWN OTHERWISE.
- IT IS THE INTENT OF THESE PLANS THAT THIS CONTRACTOR SHALL NOT PERFORM ANY WORK OUTSIDE OF THE PROPERTY BOUNDARIES EXCEPT AS REQUIRED BY THIS PLAN.
- THE CONTRACTOR IS TO ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO ADJACENT PROPERTY OR PUBLIC RIGHT-OF-WAY. THIS SHOULD BE ACHIEVED BY CONSTRUCTING TEMPORARY BERM AT THE PROPERTY LINES SETTING THE SOIL TO PROTECT IT FROM WIND EROSION.
- A DISPOSAL SITE FOR ALL EXCESS EXCAVATION AND UNSUITABLE MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE OBSERVER. ALL COSTS INCURRED IN OBTAINING A DISPOSAL SITE AND HAUL THERE TO SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT, AND NO SEPARATE MEASUREMENT OR PAYMENT SHALL BE MADE.
- PAVING AND ROADWAY GRADES SHALL BE +/- 0.1" FROM PLAN ELEVATIONS. PAD ELEVATIONS SHALL BE +/- 0.05" FROM BUILDING PLAN ELEVATIONS.
- ALL SPOT ELEVATIONS ARE TO FLOWLINE UNLESS OTHERWISE NOTED. VALLEY GUTTER ELEVATIONS ARE SHOWN AT FLOWLINE ELEVATION.

I, Robert C. Miller, a duly qualified Professional Surveyor under the laws of the State of New Mexico, do hereby certify that:
 (i) the "as-built" information shown on these drawings was obtained from actual field surveys performed by me or under my direct supervision;
 (ii) the "as-built" rim, grade, invert and flowline elevations for the sanitary and storm drain manholes and storm drain inlets are within ± 0.10' of the design grades, unless otherwise shown;
 (iii) the "as-built" information shown on these drawings was added by me or under my direct supervision, and is true and correct to the best of my knowledge and belief; and
 (iv) I am not responsible for any of the calculations, engineering, or intent of the record drawings.

Robert C. Miller, N.M.P.S. #3794

Bohannon Huston

Courtyard One 7500 JEFFERSON NE Albuquerque NEW MEXICO 87109

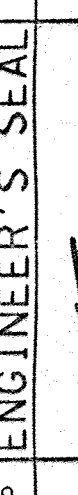
ENGINEERS PLANNERS PHOTOGRAMMETRISTS SURVEYORS SOFTWARE DEVELOPERS

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP

VISTA DE ARENAL SUBDIVISION
OVERALL GRADING PLAN

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	MO./DAY/YR.	MO./DAY/YR.
MAY 2 2001			
DESIGN REVIEW COMMITTEE			

CITY PROJECT NO. **664381** ZONE MAP NO. **B-9** SHEET **5** OF **26**

ENGINEER'S SEAL		SURVEY INFORMATION		BENCH MARKS		AS-BUILT INFORMATION		
		FIELD NOTES		ACCS BRASS TABLET STAMPED "1-B9 1980"		CONTRACTOR'S SIGNATURE: <i>Sanford Mather</i>		
		NO.	BY	DATE	GEOGRAPHIC POSITION (NAD 1927)		INSPECTOR'S SIGNATURE	
					N.M. STATE PLANE COORDINATES		DATE	
					(CENTRAL ZONE) X=355,077.00		DATE	
NO. DATE	REMARKS	BY			Y=1,529,056.93	DATE	DATE	
REVIEWS					GROUP TO-GRID FACTOR = .99966334	MICRO-FILM INFORMATION		
DESIGN					DELTA ALPHA -00°16'47"	RECORDED BY		
DESIGNED BY	YOP	DATE	03/2001		NGVD 1929 ELEVATION = 5450.51	DATE		
DRAWN BY	YOP	DATE	03/2001					
CHECKED BY	YOP	DATE	03/2001			NO.		

FEB 07 2002
PWD/DESIGN REVIEW