

City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

January 15, 2004

Pamela L. Thies, PE
Bohannon Huston, Inc
7500 Jefferson NE
Albuquerque, NM 87109

**Re: Vista de Arenal Subdivision Unit II Grading Certification
Engineer's Stamp dated 12-23-03 (B9/D5B)**

Dear Ms. Thies,

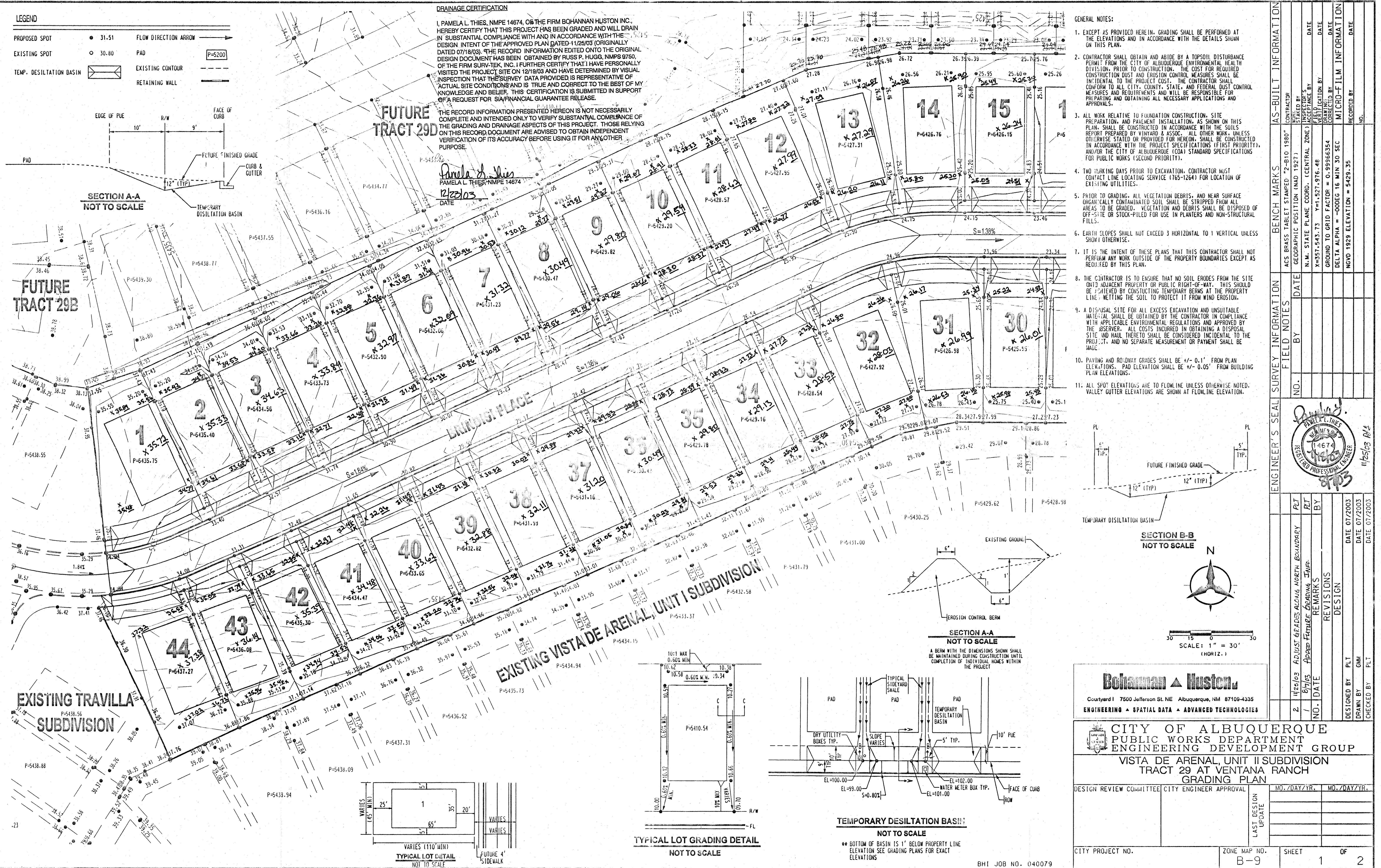
Based upon the information provided in your submittal dated 12-23-03, the above referenced certification is approved for Release of SIA and Financial Guarantee.

If you have any questions, you can contact me at 924-3986.

Sincerely,

Bradley L. Bingham, PE
Sr. Engineer, Planning Dept.
Building and Development Services

C: Arlene Portillo, CPN 664382
file



LEGEND

PROPOSED SPOT	● 31.51	FLOW DIRECTION ARROW	→
EXISTING SPOT	○ 30.80	PAD	P=5200
TEMP. DESILTATION BASIN		EXISTING CONTOUR	- - -
		RETAINING WALL	

EDGE OF PUE 10' R/W FACE OF CURB 9'

PAD FUTURE FINISHED GRADE CURB & GUTTER

TEMPORARY DESILTATION BASIN

SECTION A-A NOT TO SCALE

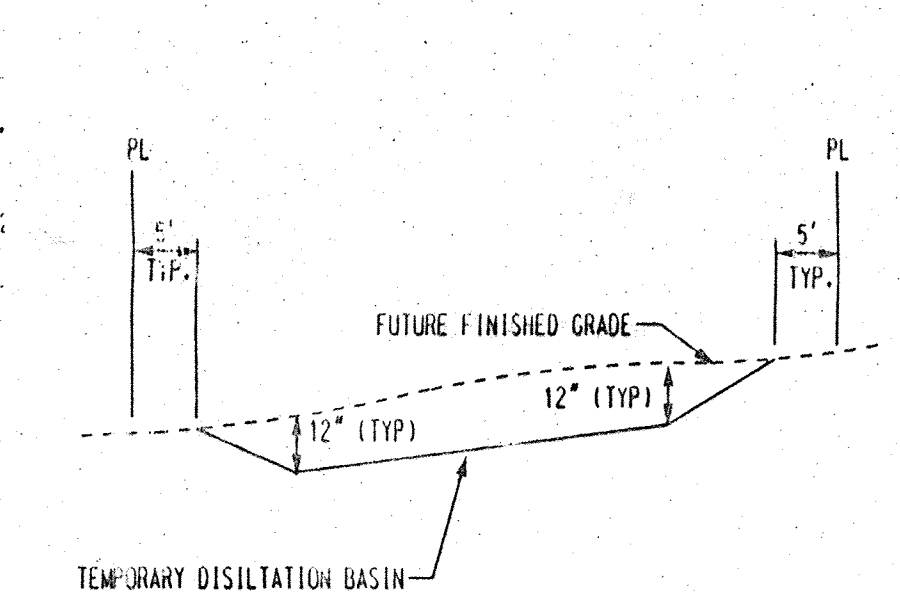
DRAINAGE CERTIFICATION

I, PAMELA L. THIES, NMPE 14674, OF THE FIRM BOHANNAN HUSTON INC., HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 11/25/03 (ORIGINALLY DATED 07/18/03). THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY RUSS P. HUGG, NMPS 9750, OF THE FIRM SURV-TEK, INC. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 12/18/03 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR A FINANCIAL GUARANTEE RELEASE.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

Pamela L. Thies
PAMELA L. THIES, NMPE 14674
12/28/03
DATE

- GENERAL NOTES:**
- EXCEPT AS PROVIDED HEREIN, GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.
 - CONTRACTOR SHALL OBTAIN AND ABIDE BY A TOPSOIL DISTURBANCE PERMIT FROM THE CITY OF ALBUQUERQUE ENVIRONMENTAL HEALTH DIVISION PRIOR TO CONSTRUCTION. THE COST FOR REQUIRED CONSTRUCTION DUST AND EROSION CONTROL MEASURES SHALL BE INCIDENTAL TO THE PROJECT COST. THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE, AND FEDERAL DISTRICT CONTROL MEASURES AND REQUIREMENTS AND WILL BE RESPONSIBLE FOR PREPARING AND OBTAINING ALL NECESSARY APPLICATIONS AND APPROVALS.
 - ALL WORK RELATIVE TO FOUNDATION CONSTRUCTION, SITE PREPARATION, AND PAVEMENT INSTALLATION, AS SHOWN ON THIS PLAN, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE SOILS REPORT PREPARED BY VINYARD & ASSOC. ALL OTHER WORK, UNLESS OTHERWISE STATED OR PROVIDED FOR HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS (FIRST PRIORITY), AND/OR THE CITY OF ALBUQUERQUE (COA) STANDARD SPECIFICATIONS FOR PUBLIC WORKS (SECOND PRIORITY).
 - TWO PARKING DAYS PRIOR TO EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE (1-800-4-A-ROOT) FOR LOCATION OF EXISTING UTILITIES.
 - PRIOR TO GRADING, ALL VEGETATION DEBRIS, AND NEAR SURFACE ORGANICALLY CONTAMINATED SOIL SHALL BE STRIPPED FROM ALL AREAS TO BE GRADED. VEGETATION AND DEBRIS SHALL BE DISPOSED OF OFF-SITE OR STOCK-PILED FOR USE IN PLANTERS AND NON-STRUCTURAL FILLS.
 - EARTH SLOPES SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL UNLESS SHOWN OTHERWISE.
 - IT IS THE INTENT OF THESE PLANS THAT THIS CONTRACTOR SHALL NOT PERFORM ANY WORK OUTSIDE OF THE PROPERTY BOUNDARIES EXCEPT AS REQUIRED BY THIS PLAN.
 - THE CONTRACTOR IS TO ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO ADJACENT PROPERTY OR PUBLIC RIGHT-OF-WAY. THIS SHOULD BE ACHIEVED BY CONSTRUCTING TEMPORARY BERM AT THE PROPERTY LINE, SETTING THE SOIL TO PROTECT IT FROM WIND EROSION.
 - A DISPOSAL SITE FOR ALL EXCESS EXCAVATION AND UNSUITABLE MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE RESERVER. ALL COSTS INCURRED IN OBTAINING A DISPOSAL SITE AND Haul THERE TO SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT, AND NO SEPARATE MEASUREMENT OR PAYMENT SHALL BE MADE.
 - PAVING AND ROADWAY GRADES SHALL BE +/- 0.1' FROM PLAN ELEVATIONS. PAD ELEVATION SHALL BE +/- 0.05' FROM BUILDING PLAN ELEVATIONS.
 - ALL SPOT ELEVATIONS ARE TO FLOWLINE UNLESS OTHERWISE NOTED. VALLEY GUTTER ELEVATIONS ARE SHOWN AT FLOWLINE ELEVATION.



Bohannon & Huston

Courtyard 1 7500 Jefferson St. NE Albuquerque, NM 87109-4335

ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP

VISTA DE ARENAL, UNIT I SUBDIVISION
TRACT 29 AT VENTANA RANCH
GRADING PLAN

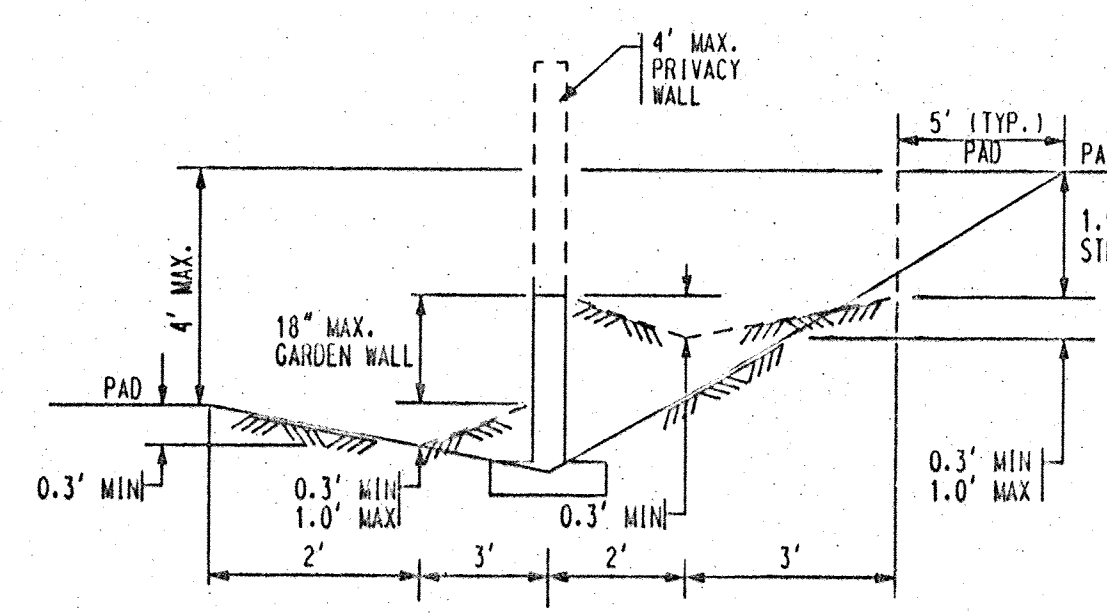
DESIGN REVIEW COMMITTEE CITY ENGINEER APPROVAL

CITY PROJECT NO. ZONE MAP NO. SHEET 1 OF 2

SUBDIVISION				ENGINEER'S SEAL				SURVEY INFORMATION				BENCH MARKS				AS-BUILT INFORMATION			
DATE				NO.				FIELD NOTES				ACCS BRASS TABLET STAMPED "2-B10 1980"				CONTRACTOR			
11/25/03				PLT				ADJUST GRADES ALONG NORTH BOUNDARY				GEOGRAPHIC POSITION (NAD 1927)				INSPECTOR'S			
1				BY				REMARKS				N.M. STATION COORD. (CENTRAL ZONE)				ACCEPTANCE BY			
NO. DATE				BY				REVISIONS				X=357.543.73 Y=1.527.976.48				DATE			
												GROUND TO GRID FACTOR = 0.99966354				DATE			
												DELTA ALPHA = -00DEG 16 MIN 30 SEC				MICRO-FILM INFORMATION			
DESIGNED BY				PLT				DATE 07/2003				NGVD 1929 ELEVATION = 5429.35				RECORDED BY			
DRAWN BY				GMM				DATE 07/2003								NO.			
CHECKED BY				PLT				DATE 07/2003											
11/25/03				PLT				REVISIONS				DESIGN				DATE			
11/25/03				PLT				REVISIONS				DESIGN				DATE			
11/25/03				PLT				REVISIONS				DESIGN				DATE			
11/25/03				PLT				REVISIONS				DESIGN				DATE			
11/25/03				PLT				REVISIONS				DESIGN				DATE			
11/25/03				PLT				REVISIONS				DESIGN				DATE			
11/25/03				PLT				REVISIONS				DESIGN				DATE			
11/25/03				PLT				REVISIONS				DESIGN				DATE			
11/25/03				PLT				REVISIONS				DESIGN				DATE			
11/25/03				PLT				REVISIONS				DESIGN				DATE			
11/25/03				PLT				REVISIONS				DESIGN				DATE			
11/25/03				PLT				REVISIONS				DESIGN				DATE			
11/25/03				PLT				REVISIONS				DESIGN				DATE			
11/25/03				PLT				REVISIONS				DESIGN				DATE			
11/25/03				PLT				REVISIONS				DESIGN				DATE			
11/25/03				PLT				REVISIONS				DESIGN				DATE			
11/25/03				PLT				REVISIONS				DESIGN				DATE			
11/25/03				PLT				REVISIONS				DESIGN				DATE			
11/25/03				PLT				REVISIONS				DESIGN				DATE			
11/25/03				PLT				REVISIONS				DESIGN				DATE			
11/25/03				PLT				REVISIONS				DESIGN				DATE			
11/25/03				PLT				REVISIONS				DESIGN				DATE			
11/25/03				PLT				REVISIONS				DESIGN				DATE			
11/25/03				PLT				REVISIONS				DESIGN				DATE			
11/25/03				PLT				REVISIONS				DESIGN				DATE			
11/25/03				PLT				REVISIONS				DESIGN				DATE			
11/25/03				PLT				REVISIONS				DESIGN				DATE			
11/25/03				PLT				REVISIONS				DESIGN				DATE			
11/25/03				PLT				REVISIONS				DESIGN				DATE			
11/25/03				PLT				REVISIONS				DESIGN				DATE			
11/25/03				PLT				REVISIONS				DESIGN				DATE			
11/25/03				PLT				REVISIONS				DESIGN				DATE			
11/25/03				PLT				REVISIONS				DESIGN				DATE			
11/25/03				PLT				REVISIONS				DESIGN				DATE			
11/25/03				PLT				REVISIONS				DESIGN				DATE			
11/25/03				PLT				REVISIONS				DESIGN				DATE			
11/25/03				PLT				REVISIONS				DESIGN				DATE			
11/25/03				PLT				REVISIONS				DESIGN				DATE			
11/25/03				PLT				REVISIONS				DESIGN				DATE			
11/25/03				PLT				REVISIONS				DESIGN				DATE			
11/25/03				PLT				REVISIONS				DESIGN				DATE			
11/25/03				PLT				REVISIONS				DESIGN				DATE			
11/25/03				PLT				REVISIONS				DESIGN				DATE			
11/25/03				PLT				REVISIONS				DESIGN				DATE			
11/25/03				PLT				REVISIONS				DESIGN				DATE			
11/25/03				PLT				REVISIONS				DESIGN				DATE			
11/25/03				PLT				REVISIONS				DESIGN				DATE			
11/25/03				PLT				REVISIONS				DESIGN				DATE			
11/25/03				PLT				REVISIONS				DESIGN				DATE			
11/25/03				PLT				REVISIONS				DESIGN				DATE			
11/25/03				PLT				REVISIONS				DESIGN				DATE			
11/25/03				PLT				REVISIONS				DESIGN				DATE			
11/25/03				PLT				REVISIONS				DESIGN				DATE			
11/25/03				PLT				REVISIONS				DESIGN				DATE			
11/25/03				PLT				REVISIONS				DESIGN				DATE			
11/25/03				PLT				REVISIONS				DESIGN				DATE			
11/25/03				PLT				REVISIONS				DESIGN				DATE			
11/25/03				PLT				REVISIONS				DESIGN				DATE			
11/25/03				PLT				REVISIONS				DESIGN				DATE			
11/25/03				PLT				REVISIONS				DESIGN				DATE			
11/25/03				PLT				REVISIONS				DESIGN				DATE			
11/25/03				PLT				REVISIONS				DESIGN				DATE			
11/25/03				PLT				REVISIONS				DESIGN				DATE			
11/25/03				PLT				REVISIONS				DESIGN				DATE			
11/25/03				PLT				REVISIONS				DESIGN				DATE			
11/25/03				PLT				REVISIONS				DESIGN				DATE			
11/25/03				PLT				REVISIONS				DESIGN				DATE			
11/25/03				PLT				REVISIONS				DESIGN				DATE			
11/25/03				PLT				REVISIONS				DESIGN				DATE			
11/25/03				PLT				REVISIONS				DESIGN				DATE			
11/25/03				PLT				REVISIONS				DESIGN				DATE			
11/25/03				PLT				REVISIONS				DESIGN				DATE			
11/25/03				PLT				REVISIONS				DESIGN				DATE			
11/25/03				PLT				REVISIONS				DESIGN				DATE			
11/25/03				PLT				REVISIONS				DES							

LEGEND

- PROPOSED SPOT 31.51
- EXISTING SPOT 30.80
- TEMP. DESILTATION BASIN
- STORM DRAIN MANHOLE
- STORM DRAIN INLET
- FLOW DIRECTION ARROW
- PAD
- EXISTING CONTOUR
- RETAINING WALL



NOT TO SCALE

NOTE: DASHED LINES IN TYP. SIDE LOT LINE SECTIONS REPRESENT THE FINAL CONDITION AFTER THE GARDEN, STEM, AND PRIVACY WALLS HAVE BEEN CONSTRUCTED. THE INTERIM CONDITION, WHICH IS TO BE CONSTRUCTED BY THE GRADING CONTRACTOR AND CERTIFIED BY THE ENGINEER, IS REPRESENTED BY THE SOLID LINES. RETAINING WALLS WILL BE CONSTRUCTED PRIOR TO GRADING CERTIFICATION.

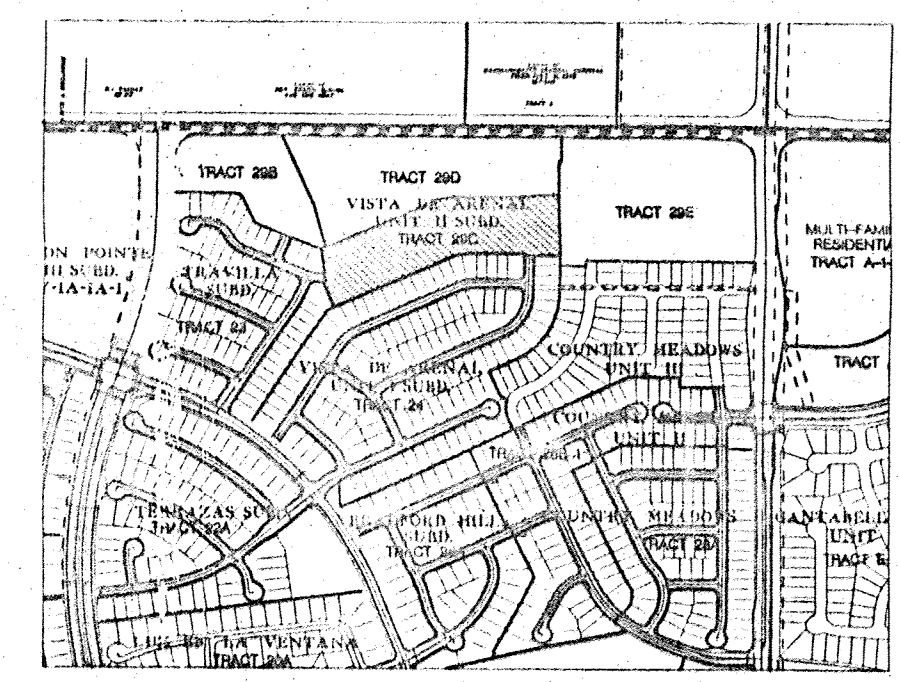
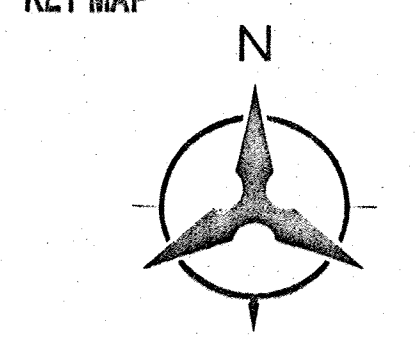
IRVING BLVD.

EX. 66" SD PROJECT # 706381

FUTURE TRACT 29D

FUTURE TRACT 29E

BRINDISI PLACE



DRAINAGE CERTIFICATION

I, PAMELA L. THIES, NMPE 14674, OF THE FIRM BOHANNAN HUSTON INC., HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 11/25/03 (ORIGINALLY DATED 07/18/03). THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY RUSS P. HUGG, NMPS 9750, OF THE FIRM SURV-TEK, INC. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 12/23/03 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR A FINANCIAL GUARANTEE RELEASE.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

Pamela L. Thies
PAMELA L. THIES, NMPE 14674
12/23/03
DATE

Bohannan & Huston
COURTNEY I. 7500 JEFFERSON ST. NE ALBUQUERQUE, NM 87109-4335
ENGINEERING & SPATIAL DATA • ADVANCED TECHNOLOGIES

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP
VISTA DE ARENAL, UNIT II SUBDIVISION
TRACT 29 AT VENTANA RANCH
GRADING PLAN

DESIGN REVIEW COMMITTEE CITY ENGINEER APPROVAL	MO. 7 DAY / YR.	MO. 7 DAY / YR.
LAST DESIGN UPDATE		
CITY PROJECT NO.	ZONE MAP NO. B-9	SHEET 2 OF 2

BENCH MARKS		AS-BUILT INFORMATION	
ACS BRASS TABLE STAMPED "2-BIT 1980"	CONTRACTOR	DATE	NO.
GEOGRAPHIC POSITION (NAD 1927)	INSPECTOR'S	DATE	NO.
N.M. STATE PLANE COORD. (CENTRAL ZONE)	ACCEPTANCE BY	DATE	NO.
X=557,543.73 Y=1,527,976.48	DATE	DATE	NO.
GROUND TO GRID FACTOR = 0.9996354	DATE	DATE	NO.
DELTA ALPHA = -00006 16 MIN 30 SEC	DATE	DATE	NO.
NGVD 1929 ELEVATION = 5429.35	DATE	DATE	NO.

