

CITY OF ALBUQUERQUE



December 6, 2004

Ms. Yolanda Padilla, PE
BOHANNAN-HUSTON, INC.
7500 Jefferson St. NE
Albuquerque, NM 87109

RE: VISTA DE ARENAL SUBDIVISION AT VENTANA RANCH (B-9/D5C)
Engineers Certification for Release of Financial Guaranty
Engineers Stamp dated 03/19/2004
Engineers Certification dated 12/02/2004

Dear Yolanda:

P.O. Box 1293
Based upon the information provided in your Engineer's Certification Submittal dated 12/03/2004, the above referenced plan is adequate to satisfy the Grading and Drainage Certification for Release of Financial Guaranty.

If you have any questions, you can contact me at 924-3982

Albuquerque

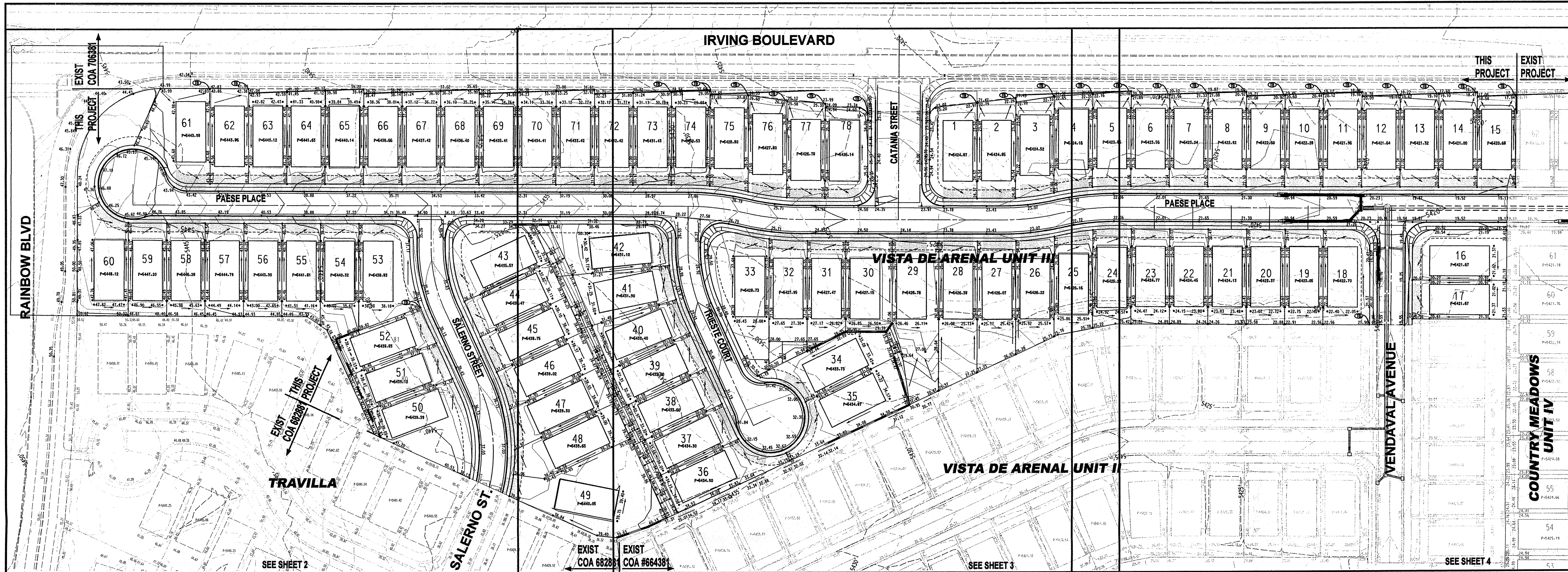
Sincerely,

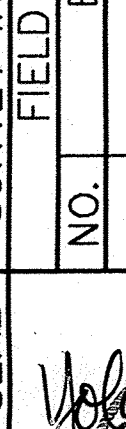
New Mexico 87103

Arlene V. Portillo
Plan Checker, Planning Dept.- Hydrology
Development and Building Services

www.cabq.gov

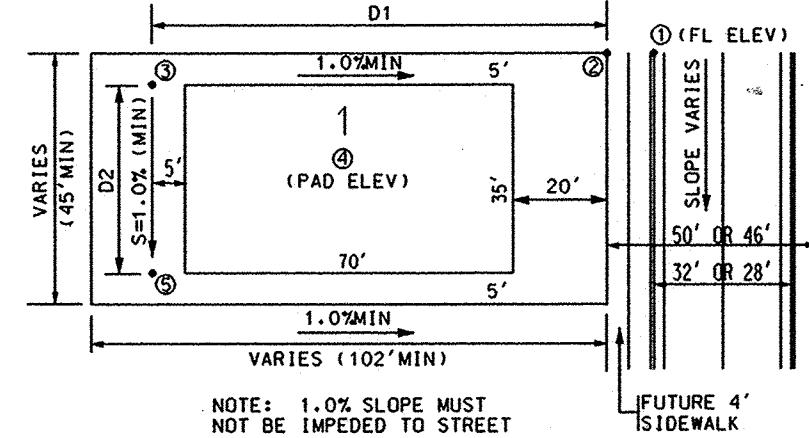
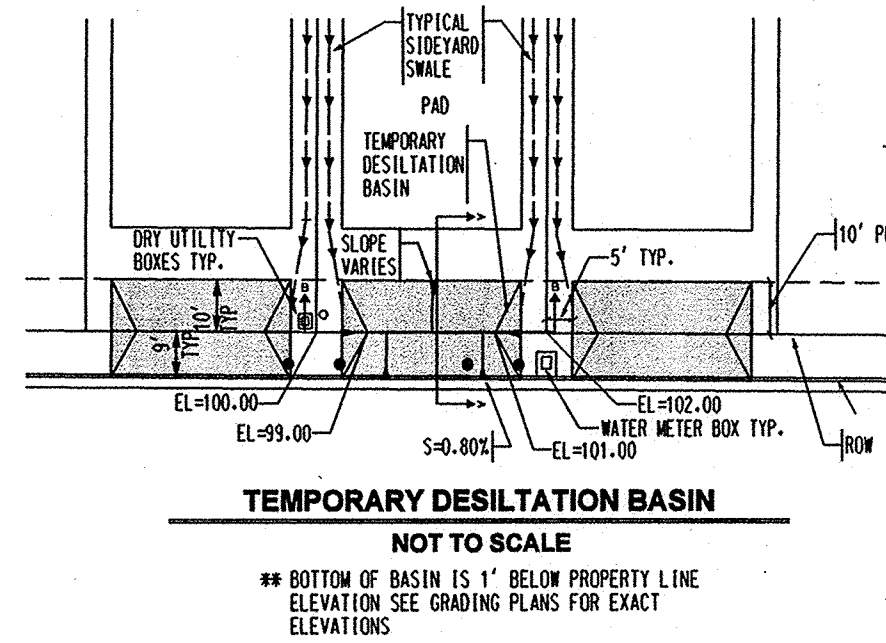
C: Marilyn Maldonado, COA# 664383
File



ENGINEER'S SEAL	SURVEY INFORMATION		BENCH MARKS		AS-BUILT INFORMATION	
	NO.	BY	DATE	CONTRACTOR	WORKED BY	DATE
				ACS BRASS TABLE STAMPED 1-B9 1980"		
				GEOGRAPHIC POSITION (NAD 1927)		
				N.M. STATE PLANE COORDINATES		
				(CENTRAL ZONE) X= 355,077.00		
				Y=1,529,056.93		
				GROUND-TO-GRID FACTOR = .99866334		
				DELTA ALPHA -00°16'47"		
			NGVD 1929 ELEVATION = 5450.51			
				RECORDED BY		DATE
				NO.		

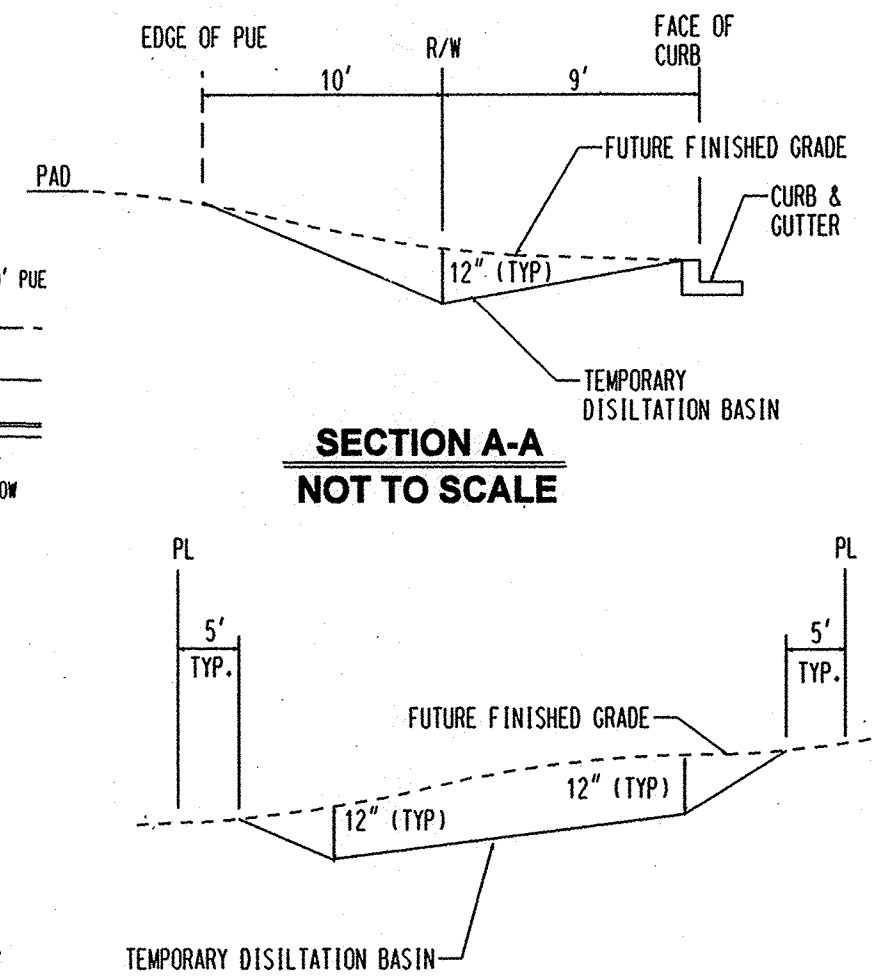
GENERAL NOTES:

- EXCEPT AS PROVIDED HEREIN, GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.
- CONTRACTOR SHALL OBTAIN AND ABIDE BY A TOPSOIL DISTURBANCE PERMIT FROM THE CITY OF ALBUQUERQUE ENVIRONMENTAL HEALTH DIVISION, PRIOR TO CONSTRUCTION. THE COST FOR REQUIRED CONSTRUCTION DUST AND EROSION CONTROL MEASURES SHALL BE INCIDENTAL TO THE PROJECT COST. THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE, AND FEDERAL DUST CONTROL MEASURES AND REQUIREMENTS AND WILL BE RESPONSIBLE FOR PREPARING AND OBTAINING ALL NECESSARY APPLICATIONS AND APPROVALS.
- ALL WORK RELATIVE TO FOUNDATION CONSTRUCTION, SITE PREPARATION, AND PAVEMENT INSTALLATION, AS SHOWN ON THIS PLAN, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE SOILS REPORT PREPARED BY VINYARD & ASSOCIATES INC., DATED SEPTEMBER, 2003. ALL OTHER WORK, UNLESS OTHERWISE STATED OR PROVIDED FOR HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS (FIRST PRIORITY), AND/OR THE CITY OF ALBUQUERQUE (COA) STANDARD SPECIFICATIONS FOR PUBLIC WORKS (SECOND PRIORITY).
- TWO WORKING DAYS PRIOR TO EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE (765-1264) FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO GRADING, ALL VEGETATION DEBRIS, AND NEAR SURFACE ORGANICALLY CONTAMINATED SOIL SHALL BE STRIPPED FROM ALL AREAS TO BE GRADED. VEGETATION AND DEBRIS SHALL BE DISPOSED OF OFF-SITE OR STOCK-PILED FOR USE IN PLANTERS AND NON-STRUCTURAL FILLS.
- EARTH SLOPES SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL UNLESS SHOWN OTHERWISE.
- IT IS THE INTENT OF THESE PLANS THAT THIS CONTRACTOR SHALL NOT PERFORM ANY WORK OUTSIDE OF THE PROPERTY BOUNDARIES EXCEPT AS REQUIRED BY THIS PLAN.
- CONTRACTOR SHALL RESEED ALL DISTURBED AREAS PER COA STANDARD SPECIFICATION 1012.
- THE CONTRACTOR IS TO ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO ADJACENT PROPERTY OR PUBLIC RIGHT-OF-WAY. THIS SHOULD BE ACHIEVED BY CONSTRUCTING TEMPORARY FRONT YARD DESILTATION BASINS (PER DETAIL THIS SHEET) AND WETTING THE SOIL TO PROTECT IT FROM WIND EROSION.
- A DISPOSAL SITE FOR ALL EXCESS EXCAVATION AND UNSUITABLE MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE OBSERVER. ALL COSTS INCURRED IN OBTAINING A DISPOSAL SITE AND HAUL THERE TO SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT, AND NO SEPARATE MEASUREMENT OR PAYMENT SHALL BE MADE.
- PAVING AND ROADWAY GRADES SHALL BE +/- 0.1' FROM PLAN ELEVATIONS. PAD ELEVATION SHALL BE +/- 0.05' FROM BUILDING PLAN ELEVATIONS.
- ALL SPOT ELEVATIONS ARE TO FLOWLINE UNLESS OTHERWISE NOTED. VALLEY GUTTER ELEVATIONS ARE SHOWN AT FLOWLINE ELEVATION.
- ALL INTERIOR CURBS ARE STANDARD CURB AND GUTTER UNLESS OTHERWISE NOTED.



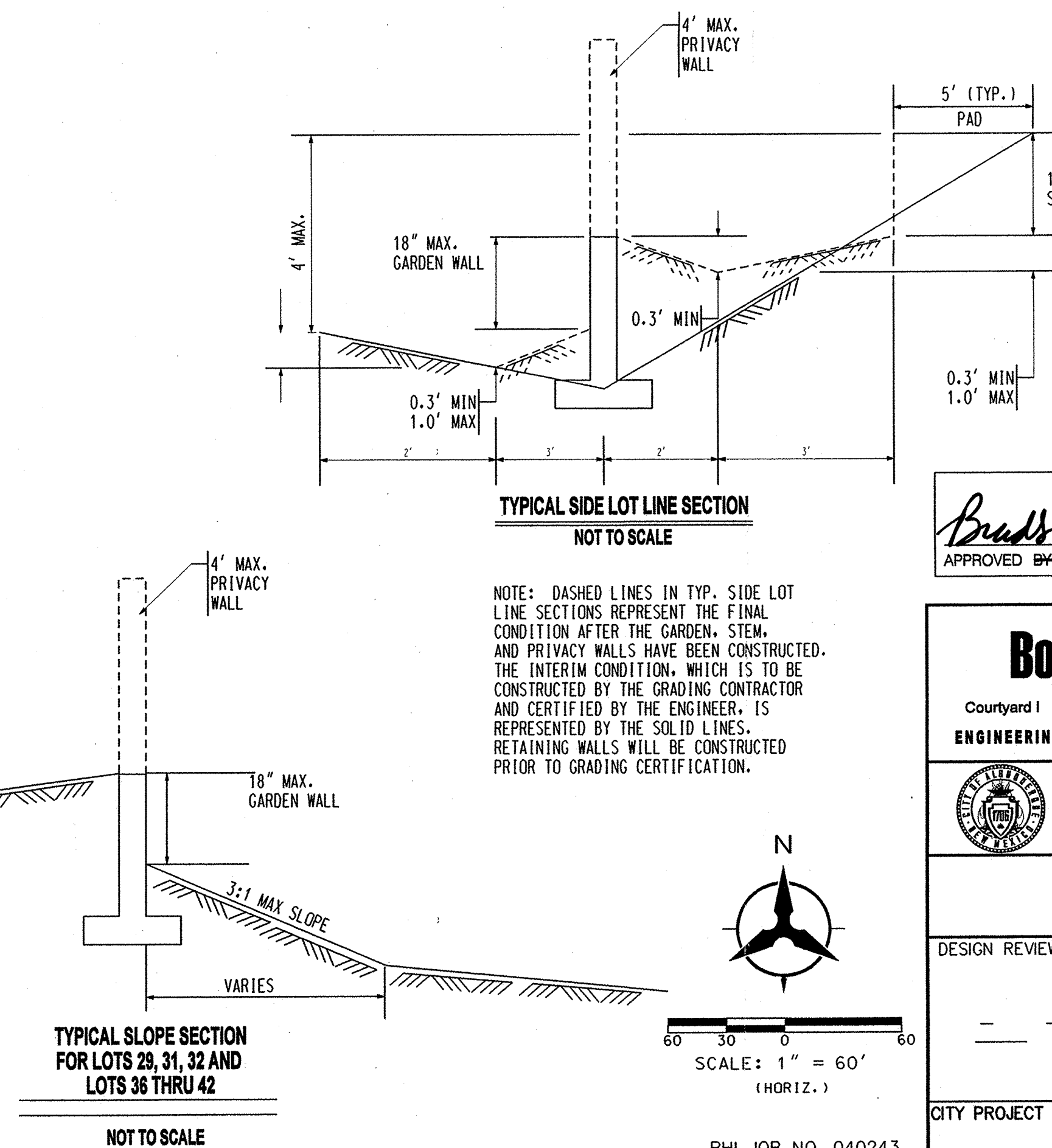
TYPICAL LOT GRADING PLAN

TO SET SPOT ① - ADD 0.85' TO SPOT ①
TO SET SPOT ② - MULTIPLY D1 BY 1.0% AND ADD TO SPOT ②
TO SET SPOT ③ - ADD 0.2' TO SPOT ③
TO SET SPOT ④ - MULTIPLY D2 BY 1.0% AND SUBTRACT FROM SPOT ④



SECTION A-A
NOT TO SCALE

SECTION B-B
NOT TO SCALE



NOTE: DASHED LINES IN TYP. SIDE LOT LINE SECTIONS REPRESENT THE FINAL CONDITION AFTER THE GARDEN, STEM, AND PRIVACY WALLS HAVE BEEN CONSTRUCTED. THE INTERIM CONDITION, WHICH IS TO BE CONSTRUCTED BY THE GRADING CONTRACTOR AND CERTIFIED BY THE ENGINEER, IS REPRESENTED BY THE SOLID LINES. RETAINING WALLS WILL BE CONSTRUCTED PRIOR TO GRADING CERTIFICATION.

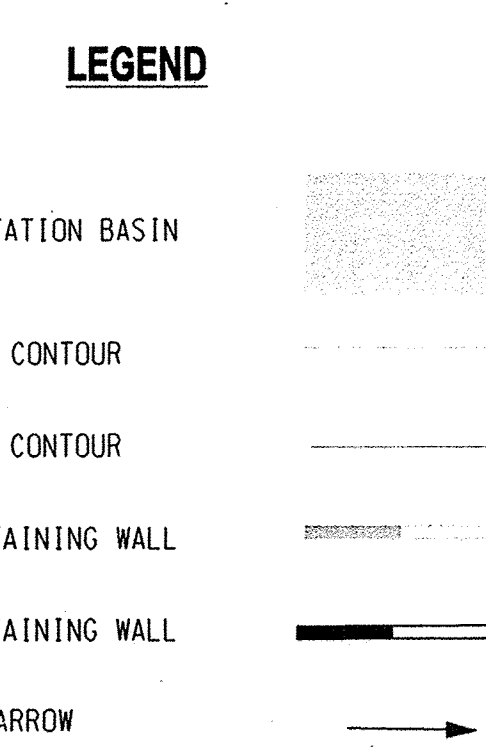
Brady L. Biffen
APPROVED BY *Brady L. Biffen* FOR Rough Grading
DATE

Bohannon & Huston
Courtesy 7500 Jefferson St. NE Albuquerque, NM 87109-4335
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CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP

VISTA DE ARENAL UNIT III AT VENTANA RANCH
OVERALL GRADING PLAN

DESIGN REVIEW BOARD NO.	APPROVAL DATE	MO./DAY/YR.	MO./DAY/YR.
LAST DESIGN UPDATE			
CITY PROJECT NO.		ZONE MAP NO.	SHEET
		B-9	4A
		OF	21



TEMP. DESILTATION BASIN

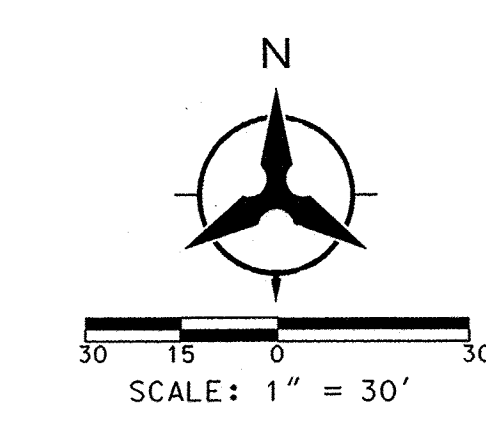
EXISTING CONTOUR

PROPOSED CONTOUR

EXISTING RETAINING WALL

PROPOSED RETAINING WALL

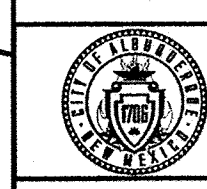
FLOW ARROW



APPROVED BY Brad L. Blythe 5/5/09
DATE

Bohannon  **Huston**^{INC.}

Courtyard I 7500 Jefferson St. NE Albuquerque, NM 87109-4335
ENGINEERING ▴ SPATIAL DATA ▴ ADVANCED TECHNOLOGIES



CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP

VISTA DE ARENAL UNIT III AT VENTANA RANCH GRADING PLAN

DESIGN REVIEW BOARD NO.		APPROVAL DATE		LAST DESIGN UPDATE	MO./DAY/YR.	MO./DAY/YR.
____ - ____ - ____		____ / ____ / ____				
QTY PROJECT NO.			ZONE MAP NO.	SHEET	OF	
			B-9	48	21	

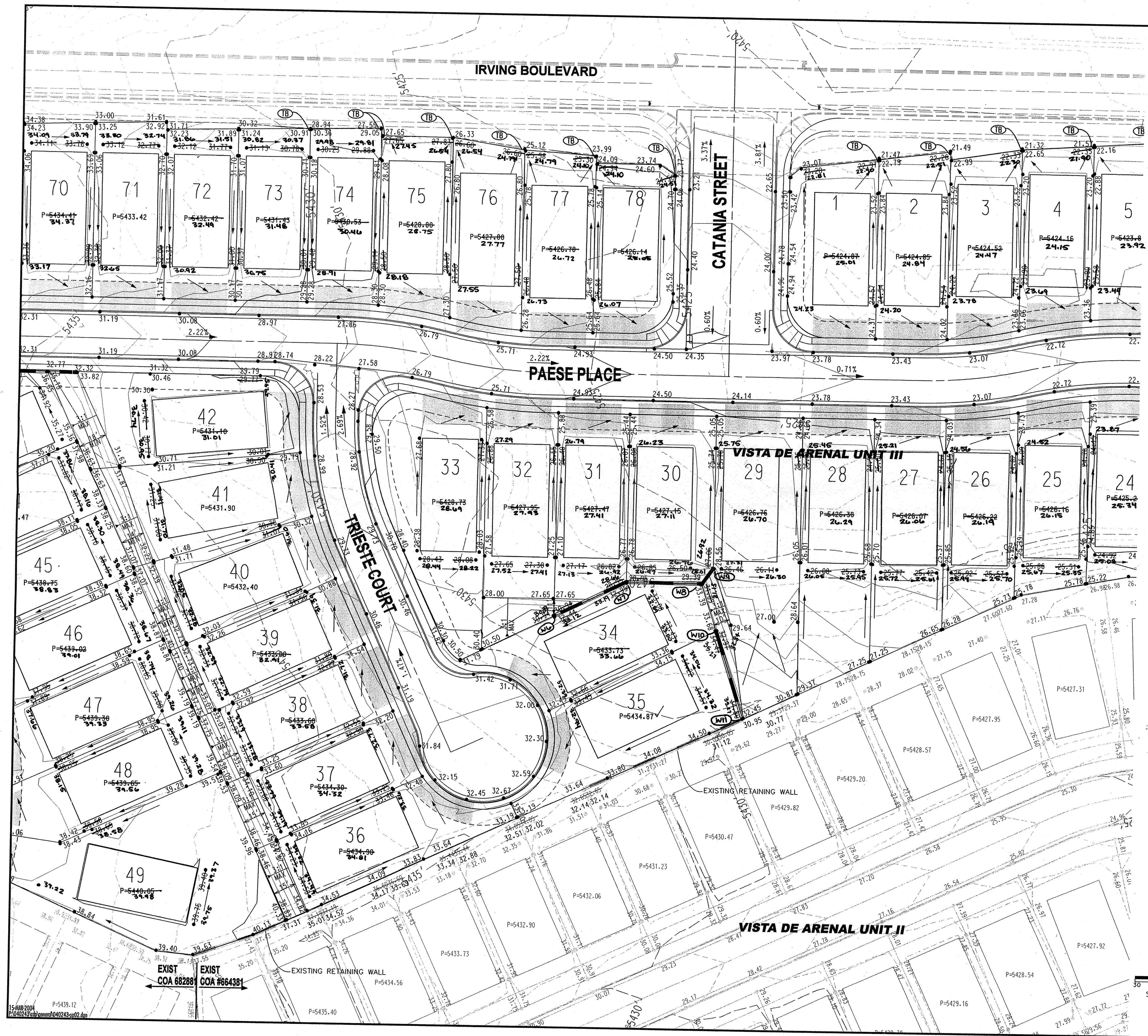
1. YOLANDA C. PADILLA, MME 16035, OF THE FIRM BOWMAN HUSTON INC. HEREBY CERTIFY THAT THIS SURVEY WAS CONDUCTED IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED, MARCH 19, 2004. THE SECOND INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED FROM THE NAME OF THE PROJECT IN TEXAS. I HEREBY CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON OCTOBER 14, 2004 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS THE MOST CORRECT AND THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR SIA/ FINANCIAL GUARANTY RELEASE.

50 THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY
COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE
49 OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE
RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN
INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR
ANY OTHER PURPOSE.

INDEPENDENT VERIFICATION OF ITS ACCURACY
FOR ANY OTHER PURPOSE.

Yolanda Padilla
YOLANDA O. PADILLA TAMPE 16035
12/02/04
DATE





LEGEND

- TEMP. DESILTATION BASIN
- EXISTING CONTOUR
- PROPOSED CONTOUR
- EXISTING RETAINING WALL
- PROPOSED RETAINING WALL
- FLOW ARROW

ENGINEER'S SEAL		SURVEY INFORMATION		BENCH MARKS		AS-BUILT INFORMATION	
NO.	DATE	NO.	DATE	CONTRACTOR	INSPECTOR'S	DATE	DATE
				ACS BRASS TABLE STAMPED 1-89 1980"	INSPECTOR'S		
				GEOGRAPHIC POSITION (NAD 1927)	INSPECTOR'S		
				N.M. STATE PLANE COORDINATES	INSPECTOR'S		
				(CENTRAL ZONE) X=355,077.00	INSPECTOR'S		
				Y=1,529,056.93	INSPECTOR'S		
				GROUND-TO-GRID FACTOR = .99966334	INSPECTOR'S		
				DELTA ALPHA = -00°16'47"	INSPECTOR'S		
				NGVD 1929 ELEVATION = 5450.51	INSPECTOR'S		

1. YOLANDA O. PADILLA, N.M.P.E. 16035, OF THE FIRM BOHANNAN HUSTON INC. HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED, MARCH 19, 2004. THE RECORD INFORMATION EDITED INTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY RUSS HUGG, N.M.P.E. 9750, OF THE FIRM SURV-TEK. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON OCTOBER 14, 2004 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR SIA/ FINANCIAL GUARANTEE RELEASE.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

Yolanda O. Padilla
YOLANDA O. PADILLA, N.M.P.E. 16035
12/02/04
DATE

Bohannon **Bohannon** **Huston**

Courtyard I 7500 Jefferson St. NE Albuquerque, NM 87109-4335

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VISTA DE ARENAL UNIT III AT VENTANA RANCH

GRADING PLAN

DESIGN REVIEW BOARD NO.

APPROVAL DATE

CITY PROJECT NO.

MO./DAY/YR.

MO./DAY/YR.

ZONE MAP NO.

LAST DESIGN UPDATE

SHEET OF

BHI JOB NO. 040243



FLOW ARROW

BHI JOB NO. 040243