



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

March 25, 2003

Kevin Patton, P.E.
Bohannon Huston, Inc.
7500 Jefferson NE
Albuquerque, New Mexico 87109

RE: COUNTRY MEADOWS UNIT 3 @ VENTANA RANCH (B-9/D11)
Engineers Certification – Submitted for Release of Financial Guaranty
Engineers Stamp dated 4/19/2002
Engineers Certification dated 3/20/2003

Dear Kevin:

Based upon the information provided in your Engineers Certification submittal dated 3/20/2003, the above referenced plan is adequate to satisfy the Grading and Drainage Certification for Release of Financial Guaranty.

If you have any questions, please call me at 924-3981.

Sincerely,

Teresa A. Martin
Hydrology Plan Checker
Development & Bldg. Ser. Division
Bv

c: Arlene Portillo, COA- Project # 688881
File

BRADFORD HILLS
SUBDIVISION

VENTANA HILLS ROAD

VISTA DE ARENAL
SUBDIVISION

FUTURE
SUBDIVISION

FUTURE
SUBDIVISION

BASALT RUNDOWN

Bohannon ▲ Huston

 Courtyard One 7500 JEFFERSON NE Albuquerque NEW MEXICO 87109

ENGINEERS PLANNERS PHOTOGRAMMETRISTS SURVEYORS SOFTWARE DEVELOPERS

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP

COUNTRY MEADOWS UNIT III AT VENTANA RANCH

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL		MO./DAY/YR.	MO./DAY/YR.
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CITY PROJECT NO.	ZONE MAP NO.	SHEET	OF
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ZONE MAP NO.	SHEET	OF
B-9	2	4

DRAINAGE CERTIFICATION

I, KEVIN G. PATTON, NMPE 13685, OF THE FIRM BOHANNAN HUSTON INC., HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN A SUBSTANTIAL MANNER AND IN ACCORDANCE WITH THE PERMIT'S DESIGN INTENT OF THE APPROVED PLAN DATED 4/24/02. THE RECORD * INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY RUSTY HUGG, NMPS 9750, OF THE FIRM SUV-TEK. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 2/6/03 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR TEMPORARY *
* CERTIFICATE OF OCCUPANCY.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

KEVIN PATTON, NMPE 13685 3.20.03 DATE



SURVEY INFORMATION		BENCH MARKS		AS-BUILT INFORMATION	
FIELD NOTES		AC'S BRASS TABLE STAMPED "1-B9 1980"			
NO.	DATE	BY	DATE	CONTRACTOR	DATE
				WORKED BY	
				INSPECTOR'S	
				ACCEPTANCE BY	
				N.M. STATE PLANE COORDINATES	
				(CENTRAL ZONE) X=355,077.00	
				Y=1,529,056.93	
				FIELD CATALOG BY	
				DRAWINGS	
				CORRECTED BY	
				GROUND-TO-GRID FACTOR = .99966334	
				DELTA ALPHA -00°16'47"	
				NGVD 1929 ELEVATION = 5450.51	
				RECORDED BY	
				NO.	

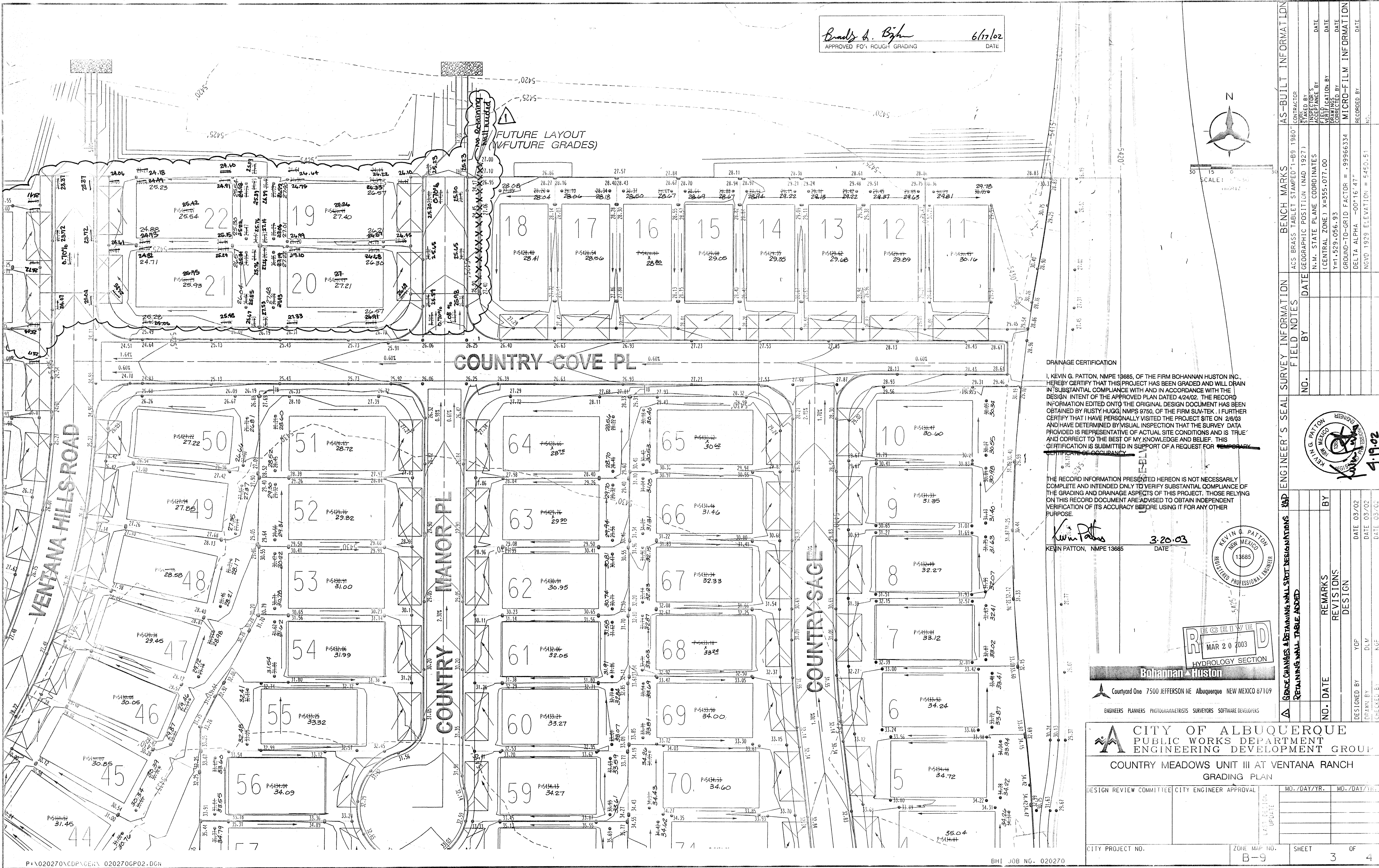
NO.	DATE	REMARKS	BY
REVISIONS			
DESIGN			
DESIGNED BY	YCP	DATE	03/02
DRAWN BY	DLM	DATE	03/02
CHECKED BY	KGF	DATE	03/02

UERQUE TMENT PMENT GROUP ENTANA RANCH	
MO./DAY/YR.	MO./DAY/YR.
SHEET	OF
2	4

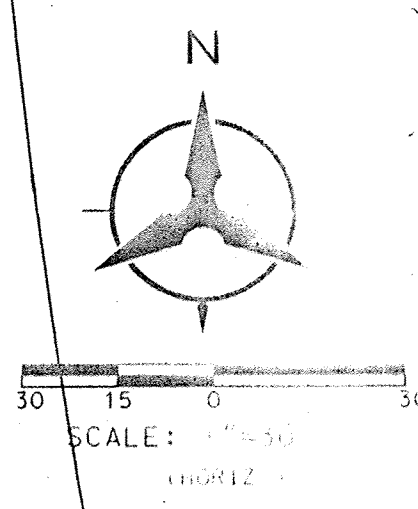
Brandy J. Byham 6/17/02
APPROVED FOR ROUGH GRADING DATE

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17-APR-2002
11:52



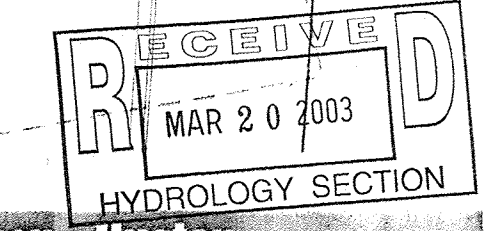
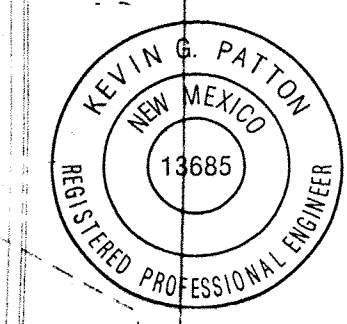
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DATE 6/17/02



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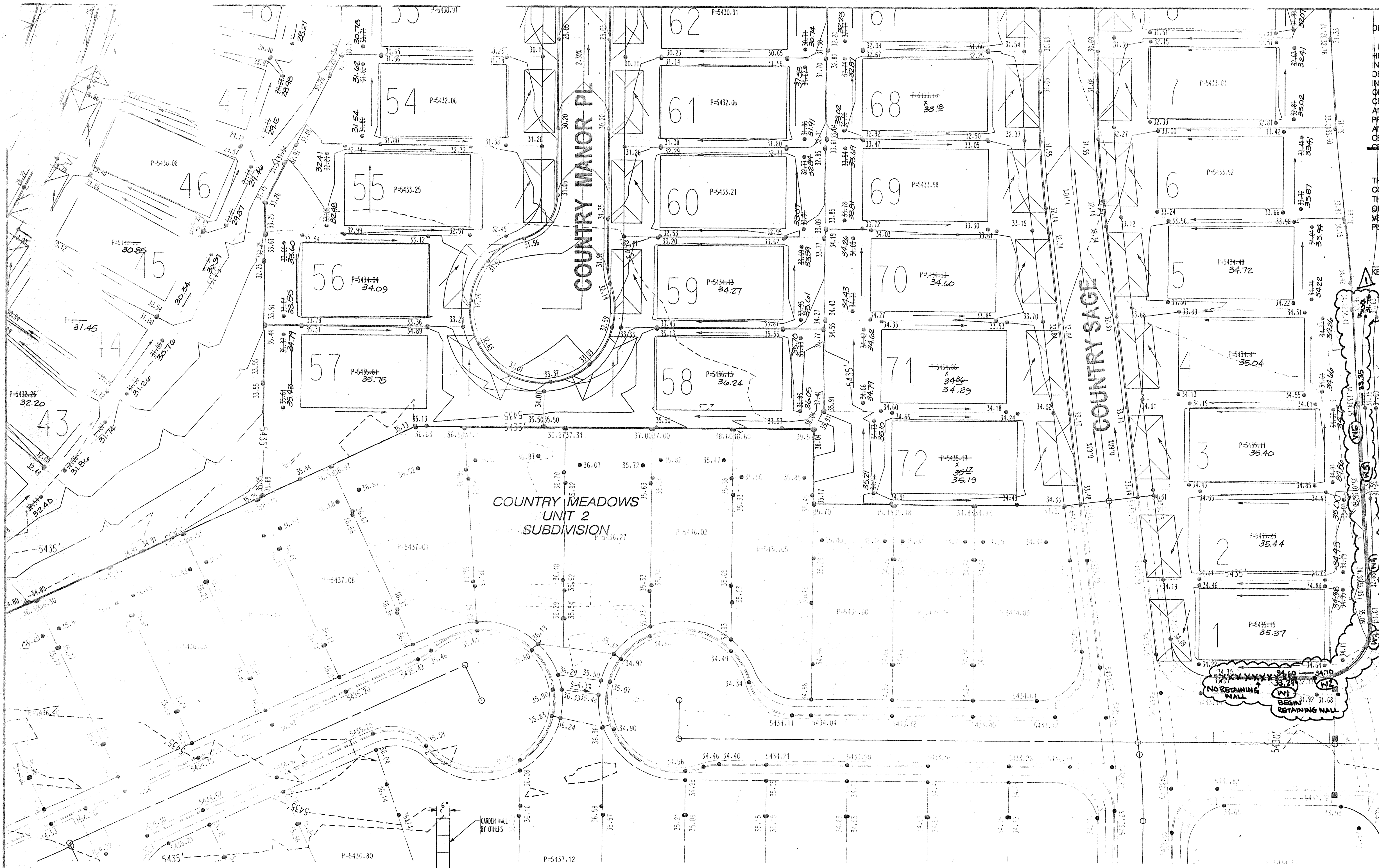
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Kevin Patton
KEVIN PATTON, NMPE 13685
DATE 3-20-03



Bohannon & Huston
Courtyard One 7500 JEFFERSON NE ALBUQUERQUE NEW MEXICO 87109
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CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING DEVELOPMENT GROUP	
COUNTRY MEADOWS UNIT III AT VENTANA RANCH GRADING PLAN	
DESIGN REVIEW COMMITTEE CITY ENGINEER APPROVAL	MO. / DAY / YR.
CITY PROJECT NO.	ZONE MAP NO. B-9
SHEET 3 OF 4	

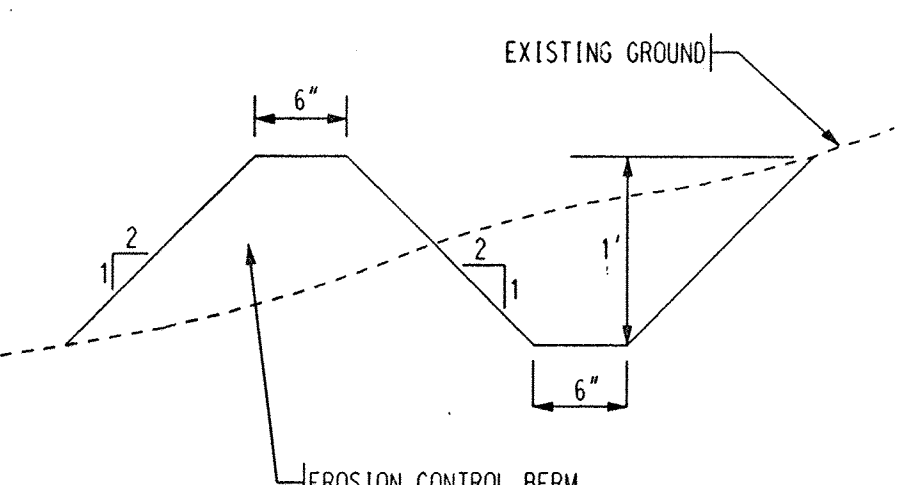


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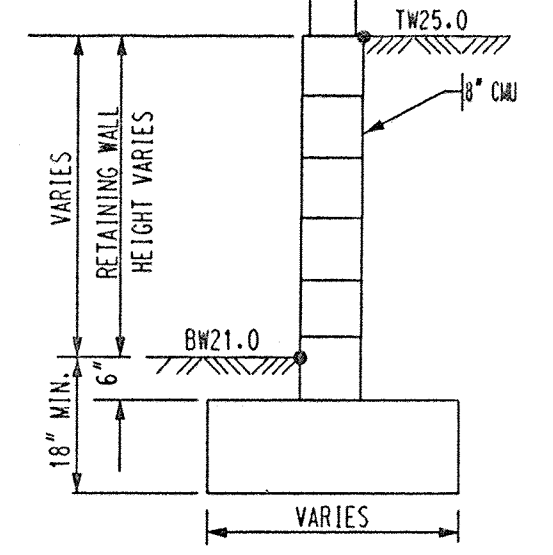
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Kevin Patton
KEVIN PATTON, NMPE 13685
3.20.03
DATE



COUNTRY MEADOWS
UNIT 2
SUBDIVISION



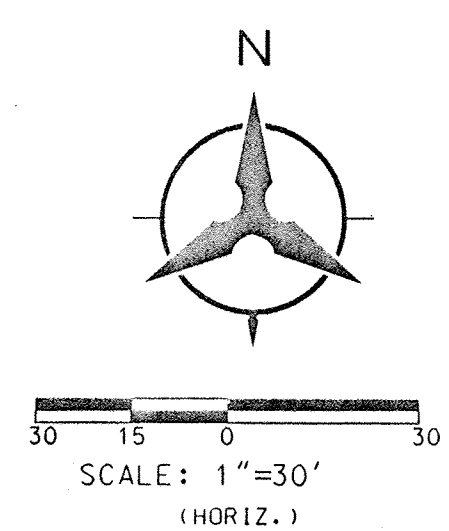
**EROSION CONTROL PLAN
NOT TO SCALE**
A BERM WITH THE DIMENSIONS SHOWN SHALL BE MAINTAINED DURING CONSTRUCTION UNTIL COMPLETION OF INDIVIDUAL HOMES WITHIN THE PROJECT



**TYPICAL RETAINING WALL NOMENCLATURE
NOT TO SCALE**
(RETAINING HEIGHT IS TAKEN TO BE DIFFERENCE IN FINISHED GRADES ON LEFT AND RIGHT SIDE OF WALL.)

RETAINING WALL TABLE						
Wall Point	TW Elev	BW Elev	Wall HT	Approx Wall Length	Average Wall Height	Average Wall Type
1	34.60	33.29	1.50	14.67	2.00	A
2	34.70	32.77	2.00	49.33	3.33	B
3	35.09	31.67	4.00	24.00	3.33	B
4	35.03	32.68	2.67	50.67	2.67	A
5	35.10	32.91	2.67	50.67	2.00	A
6	34.75	33.25	1.50			

Brad L. Bifulco
APPROVED FOR ROUGH GRADING
6/17/02
DATE



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Court yard One 7500 JEFFERSON NE Albuquerque NEW MEXICO 87109
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MO./DAY/YR.	MO./DAY/YR.
LAST DESIGN UPDATE	
CITY PROJECT NO.	ZONE MAP NO.
B-9	SHEET 4 OF 4