



March 5, 2018

Vince Carrica, P.E.
Tierra West, LLC
5571 Midway Park Place, NE
Albuquerque, NM 87109

RE: **Boulders Phase 3**
Engineers Certification for Release of Financial Guarantee
Grading and Drainage Plan Stamp Date: 1/28/14
Certification Date: 2/27/18
Hydrology File: B10D001D

Dear Mr. Carrica,

PO Box 1293

Based on the Engineers Certification received on 2/14/18, this project cannot be considered for Release of Financial Guarantee by Hydrology until the following are corrected:

Albuquerque

1. The floodwall along the southern edge of the pond need to be backfilled and compacted. It was left exposed and does not tie-in to the berm:

NM 87103



www.cabq.gov

2. Work to correct the undersized spillway needs explicitly called out on the cost estimate to be included in the Unser financial guarantee.

CITY OF ALBUQUERQUE



3. The as-constructed pond volume needs to be calculated and certified on the plan.

If you have any questions, please contact me at 924-3695 or dpeterson@cabq.gov.

Sincerely,

A handwritten signature in dark ink, appearing to read 'D. Peterson', is written over a faint, large watermark of the word 'DRAFT'.

Dana Peterson, P.E.
Senior Engineer, Planning Dept.
Development Review Services

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Project Title: _____ **Building Permit #:** _____ **City Drainage #:** _____

DRB#: _____ **EPC#:** _____ **Work Order#:** _____

Legal Description: _____

City Address: _____

Engineering Firm: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Owner: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Architect: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Other Contact: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Check all that Apply:

DEPARTMENT:

- ☐ HYDROLOGY/ DRAINAGE
☐ TRAFFIC/ TRANSPORTATION
☐ MS4/ EROSION & SEDIMENT CONTROL

TYPE OF SUBMITTAL:

- ☐ ENGINEER/ ARCHITECT CERTIFICATION
- ☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ DRAINAGE MASTER PLAN
☐ DRAINAGE REPORT
☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☐ OTHER (SPECIFY) _____

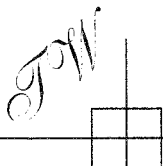
CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY
- ☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR
- ☐ PRE-DESIGN MEETING
☐ OTHER (SPECIFY) _____

IS THIS A RESUBMITTAL?: ☐ Yes ☐ No

DATE SUBMITTED: _____ **By:** _____

COA STAFF: _____ ELECTRONIC SUBMITTAL RECEIVED: _____



TIERRA WEST, LLC

February 27, 2016

Mr. Dana Peterson, P.E.
City of Albuquerque
PO Box 1293
Albuquerque, NM 87103

**RE: Boulders Phase 3
Engineers Certification for Release of Financial Guarantee
Grading and Drainage Plan Stamp Date: 1/28/14
Certification Date: 2/14/18
Hydrology File: B10D001D**

Dear Mr. Peterson:

Please find the following responses addressing your comments listed below:

1. The entire Grading Plan needs to be as-built, certified, and complete for a complete release of financial guarantee. This includes Sheet 3 of the approved Grading Plan (Tract 6A Grading and Drainage Plan) and Unser. If the intent is to shift the pond improvements to the Unser SIA and not construct them at this time, then only a reduction of financial guarantee (exclusive of the pond and Unser improvements) can be considered. A cover letter or statement on the Certification, explaining such circumstances and signed by the engineer, would be helpful in this case.

Response: The G&D certification was revised to include Sheet 3 of the approved grading and drainage plan. The work required for completion of this grading plan and for the onsite infrastructure improvements and covered by the onsite SIA was previously completed with the exception of an estimated \$15,013.46 worth of improvements associated with the Unser drainage pond.

The original Phase III On-Site financial guaranty amount of \$2,050,590.59 was reduced to \$225,089.49 (10% of completed infrastructure plus 100% of the aforementioned outstanding \$15,013.46) in 2016. All improvements listed in the Engineer's Estimate are covered under the same infrastructure list. A written request was made earlier this month to Mr. Biazar to release the SIA for the onsite infrastructure and cover the outstanding items associated with the pond under the Unser Blvd SIA (see attached copy). The current financial guaranty of \$556,853.20 for Unser Improvements exceeds the amount required for the current outstanding work on Unser Boulevard plus the above noted outstanding pond improvements as was detailed in an Engineer's Estimate attached to the written request.

2. The certification states that you inspected the site on 3/3/13, 1 year before the grading for the site was even approved. A recent site visit is needed to certify the as-built condition of the subdivision.

Response: The date was a typo. A site visit was conducted today to certify current as-built conditions of the subdivision.

3. Lots 27-37 and 65-75 are fully constructed; no temporary depressions in the rear of the lots remain. This note should not be included in the certification (Sheet 2: Retaining Walls).

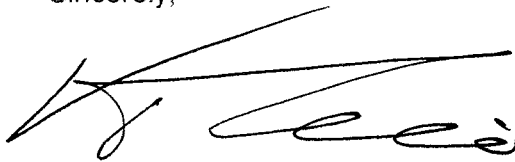
Response: During the site visit today, it was noted that the last lot in that group is under construction. You are correct that no temporary depressions in the rear of the lots remain. The note is not included in the revise certification.

4. Revision notes 1 and 2 (Sheet 2: Retaining Walls) appear to have been completed and should be certified as complete. If this work is still incomplete, then financial guarantees cannot yet be released (or reduced).

Response: During the site visit today, it was confirmed that all retaining walls are complete. This is reflected in the revised certification.

If you have any questions or need additional information regarding this matter, please do not hesitate to contact me.

Sincerely,

A handwritten signature in black ink, appearing to read 'V. Carrica', with a long horizontal stroke extending to the right.

Vincent Carrica, PE

JN: 2017019

VPC/kw

TW

TIERRA WEST, LLC

February 5, 2018

Mr. Shahab Biazar, PE
City Engineer
City of Albuquerque
P.O. Box 1293
Albuquerque, NM 87103

**RE: THE BOULDERS PHASE III
ONSITE AND OFFSITE SIA'S
RELEASE OF ONSITE SIA
PROJECT # 761786
ZONE ATLAS PAGE B-10/B-11**

Dear Mr. Biazar:

Tierra West LLC, on behalf of Flash Resources LLC, requests the release of the Boulder Phase III On-Site SIA. The work required under this SIA was previously completed with the exception of an estimated \$15,013.46 worth of improvements associated with the Unser drainage pond.

The original Phase III On-Site financial guaranty amount of \$2,050,590.59 was reduced to \$225,089.49 (10% of completed infrastructure plus 100% of the aforementioned outstanding \$15,013.46) in 2016. The current financial guaranty of \$556,853.20 for Unser Improvements exceeds the amount required for the current outstanding work on Unser Boulevard plus the above noted outstanding pond improvements as detailed in the attached Engineers Estimate. All improvements listed in the Engineer's Estimate are covered under the same infrastructure list, which is attached for your reference.

If you have any questions or need additional information regarding this matter, please do not hesitate to contact me.

Sincerely,



Ronald R. Bohannon, P.E.

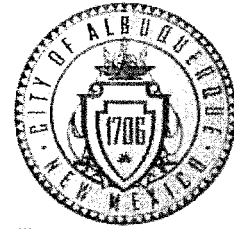
Enclosure/s

cc: Pierre Amestoy

JN: 2011005
RRB/vc/db

5571 Midway Park Place NE
(505) 858-3100
Albuquerque, NM 87109
Fax (505) 858-1118
1-800-245-3102
tierrawestllc.com

CITY OF ALBUQUERQUE



FINANCIAL GUARANTY AMOUNT

02/02/2016

Type of Estimate: SIA Procedure - B - w/F.G.

Project Description:

Project ID #: 761788, The Boulders Phase 3, Phase/Unit #: 1

Requested By: **Vince Carrica - Tierra West**

| | | | |
|------------------|--|-------|----------------------------|
| | Approved estimate amount: | | \$154,693.21 |
| | Contingency Amount: | 0.00% | \$0.00 |
| | Subtotal: | | \$154,693.21 |
| | NMGRT | | \$11,118.57 |
| | Subtotal: | | \$165,811.78 |
| PO Box 1293 | Engineering Fee | 6.60% | \$10,943.58 |
| | Testing Fee | 2.00% | \$3,316.24 |
| | Subtotal: | | \$180,071.59 |
| Albuquerque | FINANCIAL GUARANTY RATE | | 1.25 |
| | Retainage Amount: | | \$0.00 |
| New Mexico 87103 | TOTAL FINANCIAL GUARANTY REQUIRED | | <u>\$225,089.49</u> |

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APPROVAL:

DATE:

02-25-16

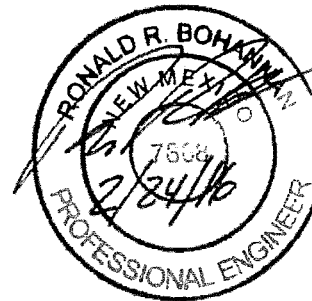
Notes: Reduction to 10% of Orig. Fin. Guaranty Amt. , \$139,679.75 - 10% of completed items, \$15,013.46 - 100% of non-completed items, . does not include Unser and off-site improvements

1/26/2016

| | DESCRIPTION | UNIT | QUANTITY | UNIT PRICE | CAL. COST | QUANTITY | EXTENSION | QUANTITY | EXTENSION |
|---------------|--|------|----------|------------|----------------|----------|----------------|----------|-------------|
| PAVING | | | | | | | | | |
| 101.020 | SUBGRADE PREP. A BY 12" W/ 50 MINIMUM R. VALUE | SY | 13023 | 2.00 | \$26,046.00 | 13023 | \$26,046.00 | 0.00 | \$0.00 |
| 101.030 | C&G, STD. PCC | LF | 7414 | 20.31 | \$150,578.34 | 7414 | \$150,578.34 | 0.00 | \$0.00 |
| 101.124 | ASP CONC. SP BL 1" | SY | 10419 | 13.00 | \$135,447.00 | 10419 | \$135,447.00 | 0.00 | \$0.00 |
| 101.014 | TK CI | SY | 10419 | 0.37 | \$3,855.03 | 10419 | \$3,855.03 | 0.00 | \$0.00 |
| 101.039 | VELY CUT & CURB PCC | SY | 333 | 58.78 | \$19,577.07 | 333 | \$19,577.07 | 0.00 | \$0.00 |
| 101.035 | W/CHR ACC RAMP, 4" PCC | LA | 16 | 1,222.53 | \$19,560.48 | 16 | \$19,560.48 | 0.00 | \$0.00 |
| 101.010 | SDWK, 4", PCC | SY | 789 | 43.09 | \$33,931.01 | 789 | \$33,931.01 | 0.00 | \$0.00 |
| 101.100 | CUT-OFF WALL, PCC | LF | 30 | 29.20 | \$876.00 | 30 | \$876.00 | 0.00 | \$0.00 |
| XXXXXX | REMDISP EXIST CUT-OFF WALL | LF | 112 | 6.63 | \$764.96 | 112 | \$764.96 | 0.00 | \$0.00 |
| | | | SUBTOTAL | | \$386,105.89 | | \$386,105.89 | | \$0.00 |
| SAS | | | | | | | | | |
| 101.140 | MH, 4" DIA, CORE, 6-10 D | EA | 15 | 4,073.40 | \$61,101.20 | 15 | \$61,101.20 | 0.00 | \$0.00 |
| 101.150 | MH, 4" DIA, CORE, 10-14 D | EA | 2 | 5,010.80 | \$10,021.60 | 2 | \$10,021.60 | 0.00 | \$0.00 |
| 101.040 | TRCH, BT, 4.15", SAS, 68 | LF | 2320 | 19.36 | \$44,984.80 | 2320 | \$44,984.80 | 0.00 | \$0.00 |
| 101.039 | TRCH, BT, 4.15", SAS, 8-12 | LF | 1000 | 20.65 | \$20,650.00 | 1000 | \$20,650.00 | 0.00 | \$0.00 |
| 101.030 | 6" SAS PIPE | LF | 3320 | 13.61 | \$45,185.20 | 3320 | \$45,185.20 | 0.00 | \$0.00 |
| 101.040 | 4" NEW SAS SVC | LF | 106 | 1,111.84 | \$117,855.04 | 106 | \$117,855.04 | 0.00 | \$0.00 |
| | | | SUBTOTAL | | \$299,828.84 | | \$299,828.84 | | \$0.00 |
| WATER | | | | | | | | | |
| 101.040 | NON PRESS CONN, WFIT, WL | EA | 3 | 1,027.77 | \$3,083.31 | 3 | \$3,083.31 | 0.00 | \$0.00 |
| 101.001 | 8" WL PIPE W/O FIT | LF | 3545 | 22.24 | \$78,840.80 | 3545 | \$78,840.80 | 0.00 | \$0.00 |
| 101.002 | 6" WL PIPE W/O FIT | LF | 75 | 21.28 | \$1,596.00 | 75 | \$1,596.00 | 0.00 | \$0.00 |
| 101.001 | 8" GATE VALVE | EA | 4 | 689.66 | \$2,758.76 | 4 | \$2,758.76 | 0.00 | \$0.00 |
| 101.002 | 8" GATE VALVE | EA | 8 | 875.06 | \$7,000.48 | 8 | \$7,000.48 | 0.00 | \$0.00 |
| 101.105 | VALVE BOX | EA | 12 | 404.35 | \$4,852.20 | 12 | \$4,852.20 | 0.00 | \$0.00 |
| 101.113 | PH, 4 | EA | 4 | 2,142.32 | \$8,569.28 | 4 | \$8,569.28 | 0.00 | \$0.00 |
| 101.700 | W/NS WTR LNS, 55 NWM | EA | 16 | 927.57 | \$14,841.32 | 16 | \$14,841.32 | 0.00 | \$0.00 |
| 101.710 | W/NS WTR LNS, 55 NWM | EA | 45 | 1,505.23 | \$67,735.35 | 45 | \$67,735.35 | 0.00 | \$0.00 |
| 101.061 | DI FIT, MH, 4-14", WL | LB | 3500 | 3.30 | \$11,550.00 | 3500 | \$11,550.00 | 0.00 | \$0.00 |
| 101.150 | MJ REST GLND, 4" | EA | 45 | 75.86 | \$3,413.70 | 45 | \$3,413.70 | 0.00 | \$0.00 |
| 101.155 | INT RST BRNS, 4"-8" | EA | 28 | 78.79 | \$2,206.12 | 28 | \$2,206.12 | 0.00 | \$0.00 |
| | | | SUBTOTAL | | \$225,164.35 | | \$225,164.35 | | \$0.00 |
| STORM | | | | | | | | | |
| 101.100 | TRCH, BT, 18-36" SWR, 4" | LF | 1162 | 24.03 | \$27,911.24 | 1162 | \$27,911.24 | 0.00 | \$0.00 |
| 101.005 | 18" RCP, DI | LF | 293 | 38.96 | \$11,415.28 | 293 | \$11,415.28 | 0.00 | \$0.00 |
| 101.009 | 24" RCP, DI | LF | 187 | 48.19 | \$9,011.53 | 187 | \$9,011.53 | 0.00 | \$0.00 |
| 101.013 | 30" RCP, DI | LF | 251 | 49.72 | \$12,479.72 | 251 | \$12,479.72 | 0.00 | \$0.00 |
| 101.017 | 36" RCP, DI | LF | 431 | 76.79 | \$33,066.49 | 431 | \$33,066.49 | 0.00 | \$0.00 |
| 101.039 | CTH BSN, A, 50 | EA | 14 | 4,329.49 | \$60,612.85 | 14 | \$60,612.85 | 0.00 | \$0.00 |
| 101.070 | MH, 4" DIA, C or E, 6-10 D | EA | 4 | 3,192.04 | \$12,768.16 | 4 | \$12,768.16 | 0.00 | \$0.00 |
| 101.140 | MH, 6" DIA, C or E, 6-10 D | EA | 3 | 4,073.40 | \$12,220.44 | 3 | \$12,220.44 | 0.00 | \$0.00 |
| 101.230 | MH, 8" DIA, C or E, 6-10 D | EA | 1 | 8,338.77 | \$8,338.77 | 1 | \$8,338.77 | 0.00 | \$0.00 |
| XXXXXX | CONNECT TO EXISTING MANHOLE | EA | 1 | 1,300.00 | \$1,300.00 | 1 | \$1,300.00 | 0.00 | \$0.00 |
| | | | SUBTOTAL | | \$187,580.49 | | \$187,580.49 | | \$0.00 |
| MISCELLANEOUS | | | | | | | | | |
| | RUPAP | CY | 308 | 91.87 | \$28,280.56 | 308 | \$28,280.56 | 0.00 | \$0.00 |
| | SIGNING & STRIPING | LS | 1 | 7,500.00 | \$7,500.00 | 1 | \$7,500.00 | 0.00 | \$0.00 |
| | TYPE III BARRICADES | EA | 2 | 461.82 | \$923.64 | 2 | \$923.64 | 0.00 | \$0.00 |
| | MISC. CONCRETE STRUCTURES (POND) | CY | 23 | 612.43 | \$13,473.40 | 0 | \$0.00 | 22.00 | \$13,473.40 |
| | POND ACCESS | SY | 70 | 2,300.00 | \$154,000.00 | 0 | \$0.00 | 70.00 | \$1,540.00 |
| | | | SUBTOTAL | | \$204,177.66 | | \$16,704.20 | | \$15,813.45 |
| | | | SUBTOTAL | | \$1,305,657.24 | | \$1,137,503.79 | | \$15,813.45 |
| | SURVEYING @ 1.31% | | | | \$17,076.25 | | | | \$195.68 |
| | MOBILIZATION @ 4.77% | | | | \$63,251.23 | | | | \$716.11 |
| | TRAFFIC CONTROL & BARRICADING @ 2.10% | | | | \$27,406.20 | | | | \$313.78 |
| | | | TOTAL | | \$1,411,810.92 | | \$1,210,639.13 | | \$16,241.56 |

** EXTENDED AMOUNT CALCULATED BASED ON CORRECT UNIT PRICE PER SY EQUAL TO \$23.00. THE UNIT PRICE WAS INCORRECTLY SHOWN AS \$2,200.00 PER SY ON THE ORIGINAL ENGINEER ESTIMATE.

I, Ronald R. Bohannon, being a licensed engineer in the State of New Mexico, stamp and signature affixed below do hereby certify that the in-place infrastructure which is described more fully by the estimate above and constructed under the Infrastructure construction project, Boulders Phase III - Onalco Infrastructure - City Project Number 751789, has been built in accordance with the approved plans for this project and the City of Albuquerque Standard Specifications in effect at the time of plan approval.



FINANCIAL GUARANTY AMOUNT

02/11/2014

Type of Estimate: SIA Procedure - B - w/F.G.

Project Description:

Project ID #: 761788, The Boulders Phase 3, Phase/Unit #: 1

Requested By: Vince Carrica, PE

| | | |
|-----------------------------------|-------|-----------------------|
| Approved estimate amount: | | \$1,411,810.92 |
| Contingency Amount: | 0.00% | \$.00 |
| Subtotal: | | \$1,411,810.92 |
| NMGRT | 7.00% | \$98,826.76 |
| Subtotal: | | \$1,510,637.68 |
| Engineering Fee | 6.60% | \$99,702.08 |
| Testing Fee | 2.00% | \$30,212.75 |
| Subtotal: | | \$1,640,552.47 |
| FINANCIAL GUARANTY RATE | | 1.25 |
| Retainage Amount: | | \$.00 |
| TOTAL FINANCIAL GUARANTY REQUIRED | | <u>\$2,050,690.59</u> |

APPROVAL:

DATE:

A Woodall

2-11-14

Notes: SIA B-1, 0% Contingency, Plans and Engineers Estimate Have Not Been Approve, FGA Does Not Include Unser Improvements, Requires Street Lights And G&D Cert Prior To Release Of FG,

Current DRC

Project Number:

FIGURE 12

INFRASTRUCTURE LIST

(Rev. 9-29-05)

EXHIBIT "A"

TO SUBDIVISION IMPROVEMENTS AGREEMENT

DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST

THE SOULDERS - PHASE THREE

PROPOSED NAME OF PLAT

Date Submitted: 11/09/13

Date Site Plan Approved:

Date Preliminary Plat Approved: 8/21/13

Date Preliminary Plat Expires: 8/21/14

DRB Project No.: 1002632

DRB Application No.:



02-04-14

EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

Following is a summary of PUBLIC/PRIVATE infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

| Financially Guaranteed | DRC # | Constructed Under | DRC # | Size | Type of Improvement | Location | From | To | Construction Certification | |
|------------------------|-------|-------------------|-------|---------|---|--------------------|------------------------|-----------------------------|----------------------------|--------------------|
| | | | | | | | | | Private Inspector | City Chst Engineer |
| | | | | 32' F-F | Residential Paving (Normal Local Roadway), Curb & Gutter | Big Rock Drive | 115' south of Geoda Rd | Pumice Ridge Rd | / | / |
| | | | | 28' F-F | 4' Sidewalk (Both Sides) | Big Rock Drive | Pumice Ridge Rd | Boulder Canyon Rd | / | / |
| | | | | 28' F-F | Residential Paving, Curb & Gutter | Boulder Canon Road | Big Rock Drive | Andesite Drive | / | / |
| | | | | 28' F-F | 4' Sidewalk (Both Sides) | Pumice Ridge Road | Big Rock Drive | Flint Rock Drive | / | / |
| | | | | 32' F-F | Residential Paving, (Normal Local Roadway), Curb & Gutter | Glass Rock Road | Flint Rock Drive | 110' west of Andesite Drive | / | / |
| | | | | 28' F-F | 4' Sidewalk (Both Sides) | Jagged Peak Road | Big Rock Drive | 110' west of Andesite Drive | / | / |
| | | | | 28' F-F | 4' Sidewalk (Both Sides) | Flint Rock Drive | Jagged Peak Rd | Boulder Canyon Rd | / | / |
| | | | | 28' F-F | Residential Paving, Curb & Gutter | Stoney Draw Drive | Boulder Canyon Rd | South Property Line | / | / |

| Financially Guaranteed DRC # | Constructed Under DRC # | Size | Type of Improvement | Location | From | To | Construction Certification | | |
|------------------------------------|-------------------------------|------------|--|---------------------|--------------------------------------|---------------------------------------|----------------------------|-----------------|-----------------------|
| | | | | | | | Inspector | Private P.E. | City Crst Engineer |
| | | 36" F-F | Arterial Paving, Curb & Gutter 10' Paved Trail (West) | Unser Boulevard | 900' North of Boulder Trail Place | 800' South of Boulder Trail Place | / | / | / |
| | | 8" | w/ 13' F-Centerline Median SAS Gravity Line 1218 | Big Rock Drive | 115' south of Geode Rd | Boulder Canyon Rd | / | / | / |
| 7 | | 8" | SAS Gravity Line 631 | Boulder Canon Road | Big Rock Drive | Andesite Drive | / | / | / |
| | | 8" | SAS Gravity Line 495 | Jagged Peak Road | Big Rock Drive | 110' west of Andesite Drive | / | / | / |
| 7 | | 8" | SAS Gravity Line 951 | Flint Rock Drive | Jagged Peak Rd | Boulder Canyon Rd | / | / | / |
| | | 8" | SAS Gravity Line 138 | Stoney Draw Drive | Boulder Canyon Rd | South Property Line | / | / | / |
| | | 8" | SAS Gravity Line 133 | Tract "A" | Big Rock Drive | West Property Line | / | / | / |
| | | 8" | 1218 Water PVC Line | Big Rock Drive | 115' south of Geode Rd | Boulder Canyon Rd | / | / | / |
| 7 | | 8" | 631 Water PVC Line | Boulder Canon Road | Big Rock Drive | Andesite Drive | / | / | / |
| | | 8" | 481 Water PVC Line | Jagged Peak Road | Big Rock Drive | 110' west of Andesite Drive | / | / | / |
| | | 8" | 1090 Water PVC Line | Flint Rock Drive | Jagged Peak Rd | Boulder Canyon Rd | / | / | / |
| | | 8" | 148 Water PVC Line | Stoney Draw Drive | Boulder Canyon Rd | South Property Line | / | / | / |
| | | 24" | 165 RCP Storm Sewer | Tract "B" | Big Rock Drive | Existing Manhole on APS Pond | / | / | / |
| | | 30" to 36" | 165 RCP Storm Sewer | Boulder Canyon Road | Tract "B" | Andesite Drive | / | / | / |
| | | 24" | 631 RCP Storm Sewer | Flint Rock Drive | Boulder Canyon Rd. | 120 ft North of Boulder Canyon Rd. | / | / | / |

| Financially | | Size | Type of Improvement | Location | From | To | Construction Certification | | |
|-------------|-------------|-------------|--|------------|---------------------|--------------------------------------|----------------------------|---------|------------------------|
| Guaranteed | Constructed | | | | | | Inspector | Private | City Const Engineer |
| | | 9,247 ac-ft | Detention Pond | Tract 5-A | | | / | / | / |
| | | 13 ft | Floodwall (both sides) | Tract B | East Property Line | West Property Line | / | / | / |
| | | 18" Thick | Dumped Basalt Riprap (D50=12") | Tract B | East Property Line | West Property Line | / | / | / |
| | | | Catch basins and RCP connections included with storm sewer. | | | | / | / | / |
| | | | Water infrastructure to include valves, fittings, valve boxes, and fire hydrants as required. | | | | / | / | / |
| | | | Sanitary sewer to include manholes and service connections as required. | | | | / | / | / |
| | | | Residential street lights per DPV-  | | | | / | / | / |
| | | | Plant Mix Seal Coat (PMSC) (Northbound)  | Unser Blvd | Boulder Trail Place | 800' South of Boulder Trail Place | / | / | / |
| | | | | | | | / | / | / |
| | | | | | | | / | / | / |
| | | | | | | | / | / | / |
| | | | | | | | / | / | / |
| | | | | | | | / | / | / |
| | | | | | | | / | / | / |
| | | | | | | | / | / | / |

The items listed below are on the CCIP and approved for Impact Fee credits. Signatures from the Impact Fee Administrator and the City User Department is required prior to DRB approval of this listing. The items listed below are subject to the standard SIA requirements.

| Financially Guaranteed DRC # | Constructed Under DRC # | Size | Type of Improvement | Location | From | To | Construction Certification | | |
|------------------------------|-------------------------|------|---------------------|----------|------|----|----------------------------|------|--------------------|
| | | | | | | | Inspector | P.E. | City Cnst Engineer |
| | | | | | | | / | / | / |
| | | | | | | | / | / | / |

| Approval of Creditable Items: | |
|------------------------------------|------|
| Impact Fee Administrator Signature | Date |
| City User Dept. Signature | Date |

NOTES

If the site is located in a floodplain, then the financial guarantee will not be released until the LOMR is approved by FEMA.

Street lights per City requirements.

*Sidewalk fronting residential lots are deferred as shown on the approved Deferral Sidewalk Exhibit.

Certification of the grading plan is required for release of financial guarantees.

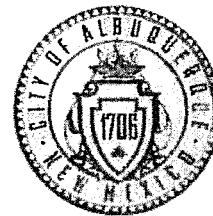
3 Residential Street Lights per DPM Δ

| AGENT / OWNER | | DEVELOPMENT REVIEW BOARD MEMBER APPROVALS | |
|-------------------------------------|----------|---|---------------------------|
| VINCENT CARRICA, PE NAME (print) | | Carol S. Dumont 11-13-13 | PARKS & RECREATION - date |
| TIERRA WEST, LLC FIRM | | | AMAFCA - date |
| SIGNATURE - date | 11/13/13 | | - date |
| | | | - date |

DESIGN REVIEW COMMITTEE REVISIONS

| REVISION | DATE | DRC CHAIR | USER DEPARTMENT | AGENT / OWNER |
|----------|----------|-----------|-----------------|---------------|
| Δ | 02-04-14 | Richard | 7/13/13 | 11/13/13 |
| | | | | |
| | | | | |

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT – Development Review Services



February 24, 2016

Richard J. Berry, Mayor

Vincent P. Carrica, PE
Tierra West, LLC
5571 Midway Park Pl NE
Albuquerque, NM 87109

RE: **Boulders Phase III (File: B10D001D)**
Reduction of Financial Guarantee
Grading and Drainage Plan and Retaining Wall Plan
Engineer's Stamp Date 1-28-2014
Certification Date: 2-8-2016

Dear Mr. Carrica:

Based upon your Engineer's Certification submitted on 2-9-16, the above referenced plan is accepted for Reduction of Financial Guarantee for grading and drainage.

The inlet covers may need to be removed or modified. This will need to be coordinated with Curtis Cherne through the ESC inspection process.

PO Box 1293

If you have any questions, you can contact me at 924-3695.

Albuquerque

Sincerely,

New Mexico 87103

Rita Harmon, P.E.
Senior Engineer, Planning Dept.
Development Review Services

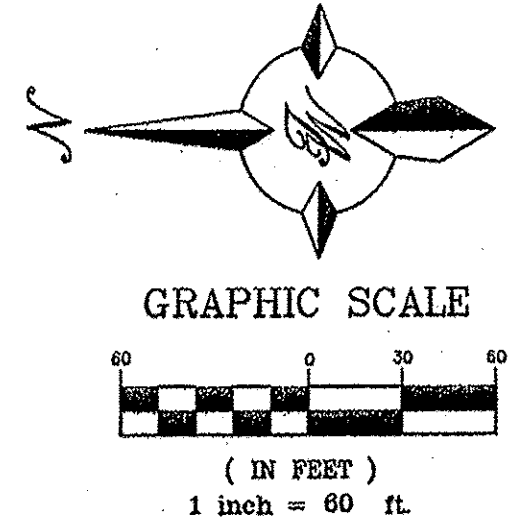
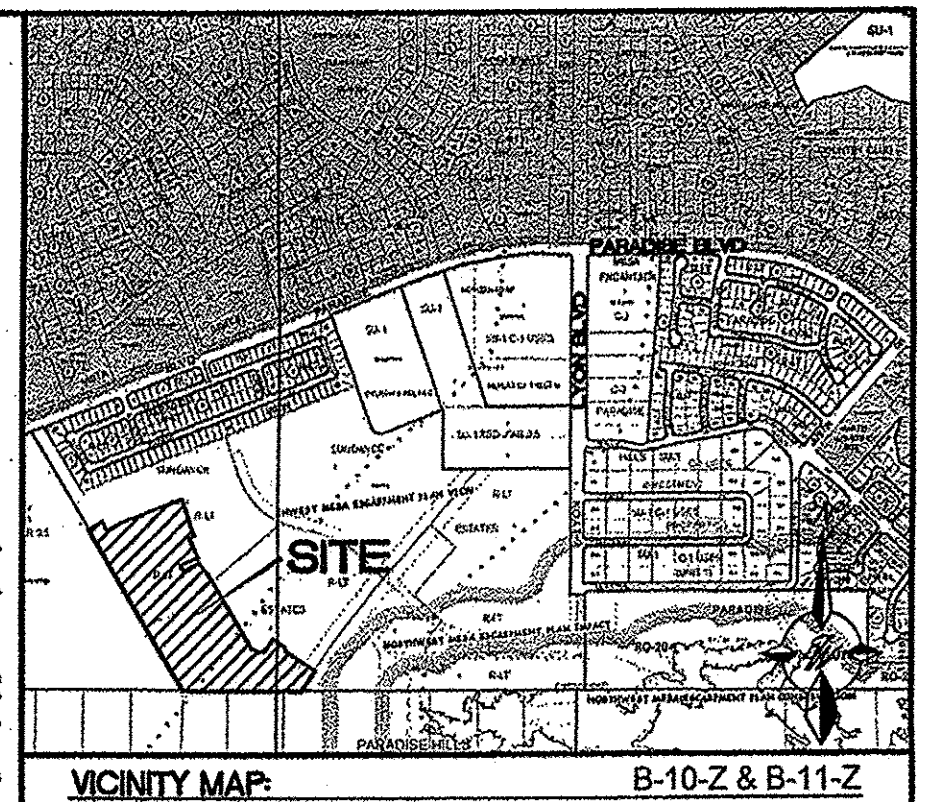
www.cabq.gov

Orig: Drainage file
c pdf: via Email: Recipient, Charlotte LaBadie, Jeanne Wolfenbarger

The Boulders Unser Blvd COA Project #761788
OPINION OF PROBABLE COST

| | DESCRIPTION | UNIT | QUANTITY | UNIT PRICE | CAL. COST |
|---------|--|------|-----------------|------------|---------------------|
| | | | TOTAL | | |
| | <u>UNSER PAVING SOUTHBOUND LANES</u> | | | | |
| 301.02X | SUBGRADE PREP, ART 24" W/ 75 MINIMUM R-VALUE | SY | 5750 | 2.48 | \$14,260.00 |
| 340.050 | C&G, STD, PCC | LF | 1202 | 20.31 | \$24,412.62 |
| 340.060 | C&G,MDN, PCC | LF | 1202 | 19.49 | \$23,426.98 |
| | CURB TEMP, ASPHALT | SY | 940 | 10.50 | \$9,870.00 |
| 336.120 | TK CT | SY | 14310 | 0.37 | \$5,294.70 |
| 336.000 | ASP CONC, SPIII, 7" | SY | 4960 | 32.04 | \$158,918.40 |
| XXX.XXX | ASP CONC, SPIII, 4" | SY | 1502 | 17.50 | \$26,285.00 |
| 329.010 | PM SC 5/8" | SY | 6202 | 3.67 | \$22,761.34 |
| 336.050 | BIKE ASP CONC, TRAIL, 2" | SY | 1325 | 11.00 | \$14,575.00 |
| 910.005 | 18" RCP, III | LF | 61 | 38.96 | \$2,376.56 |
| 701.100 | TRCH BF, 18-36" SWR, < 8' | LF | 61 | 24.02 | \$1,465.22 |
| 915.030 | CTH BSN, A, SG | EA | 1 | 4,329.49 | \$4,329.49 |
| XXX.XXX | ADJUST STORM DRAIN MANHOLE TO GRADE | EA | 2 | 500.00 | \$1,000.00 |
| 510.100 | CUT-OFF WALL, PCC | LF | 76 | 28.20 | \$2,143.20 |
| 441.001 | REF PLAS MRK 4" | LF | 6396 | 0.46 | \$2,942.16 |
| 441.002 | REF PLAS MRK 6" | LF | 5573 | 0.72 | \$4,012.56 |
| 441.011 | REF PLAS ARW | EA | 18 | 220.00 | \$3,960.00 |
| 441.031 | REF PLAS SYM BIKE | EA | 1 | 239.36 | \$239.36 |
| 450.001 | ALM PNL SGN | SF | 0 | 18.48 | \$0.00 |
| 450.010 | SQ TB POST | LF | 3 | 10.45 | \$31.35 |
| XXX.XXX | TYPE III BARRICADES | EA | 3 | 461.81 | \$1,385.43 |
| | | | SUBTOTAL | | \$323,689.37 |
| | <u>UNSER POND MISC.</u> | | | | |
| XXX.XXX | MISC CONCRETE, TRICKLE CHANNEL | CY | 22 | 612.43 | \$13,473.46 |
| XXX.XXX | POND ACCESS, ASPHALT | SY | 70 | 22.00 | \$1,540.00 |
| | | | SUBTOTAL | | \$15,013.46 |
| | <u>UNSER PAVING NORTHBOUND LANES</u> | | | | |
| 329.010 | PM SC 5/8" | SY | 3700 | 3.67 | \$13,579.00 |
| | | | SUBTOTAL | | \$13,579.00 |
| | | | SUBTOTAL | | \$352,281.83 |
| | SURVEYING @ 1.31% | | | | \$4,614.89 |
| | MOBILIZATION @ 4.77% | | | | \$16,803.84 |
| | TRAFFIC CONTROL & BARRICADING @ 2.10% | | | | \$7,397.92 |
| | | | TOTAL | | \$381,098.48 |

A.C.S. MONUMENT "11_B11"
STANDARD A.C.S. BRASS TABLET
(FOUND IN PLACE)
NEW MEXICO STATE PLANE COORDINATES
(CENTRAL ZONE-N.A.D. 1983)
N=1,528,350.344
E=1,504,957.688
EL=5348.50-NGVD 1988
GROUND TO GRID FACTOR=0.999669122
DELTA ALPHA ANGLE=-0°15'40.95"



LEGEND

- CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- CENTERLINE
- RIGHT-OF-WAY
- PHASE LINE
- SIDEWALK
- RETAINING WALL
- SCREEN WALL
- CONTOUR MAJOR
- CONTOUR MINOR
- SPOT ELEVATION
- FLOW ARROW
- EXISTING CURB & GUTTER
- EXISTING BOUNDARY LINE
- EXISTING CONTOUR MAJOR
- EXISTING CONTOUR MINOR
- EXISTING SPOT ELEVATION
- EXISTING RIPRAP

NOTE:
ALL CURB & GUTTER FOR PHASE 3 ARE STANDARD
CURB & GUTTER PER COA STD DWG 2415A

SEE SHEET 2 FOR RETAINING WALL ELEVATIONS

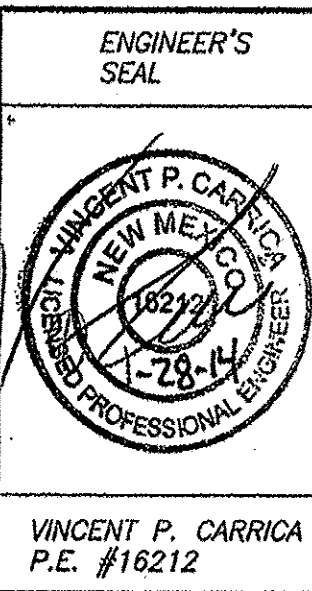
EXISTING DRAINAGE POND AND
OVERFLOW CONSTRUCTED WITH COA
PROJECT NO 662382.
EXISTING CITY OF ALBUQUERQUE
EASEMENT (BY PLAT FILED 12/31/2008,
BOOK 2008C, PAGE 266)

1. VINCENT P. CARRICA, NMPE # 16212, OF THE FIRM, TIERRA WEST LLC, HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE ORIGINAL DESIGN INTENT OF THE APPROVED PLAN DATED 12/28/14. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY: BLISS HUGG, NMPE # 9789, OF THE FIRM SURVATEK LLC. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 2-27-18 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR: RELEASE OF FINANCIAL GUARANTEE.

EXCEPTIONS: NONE NOTED

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

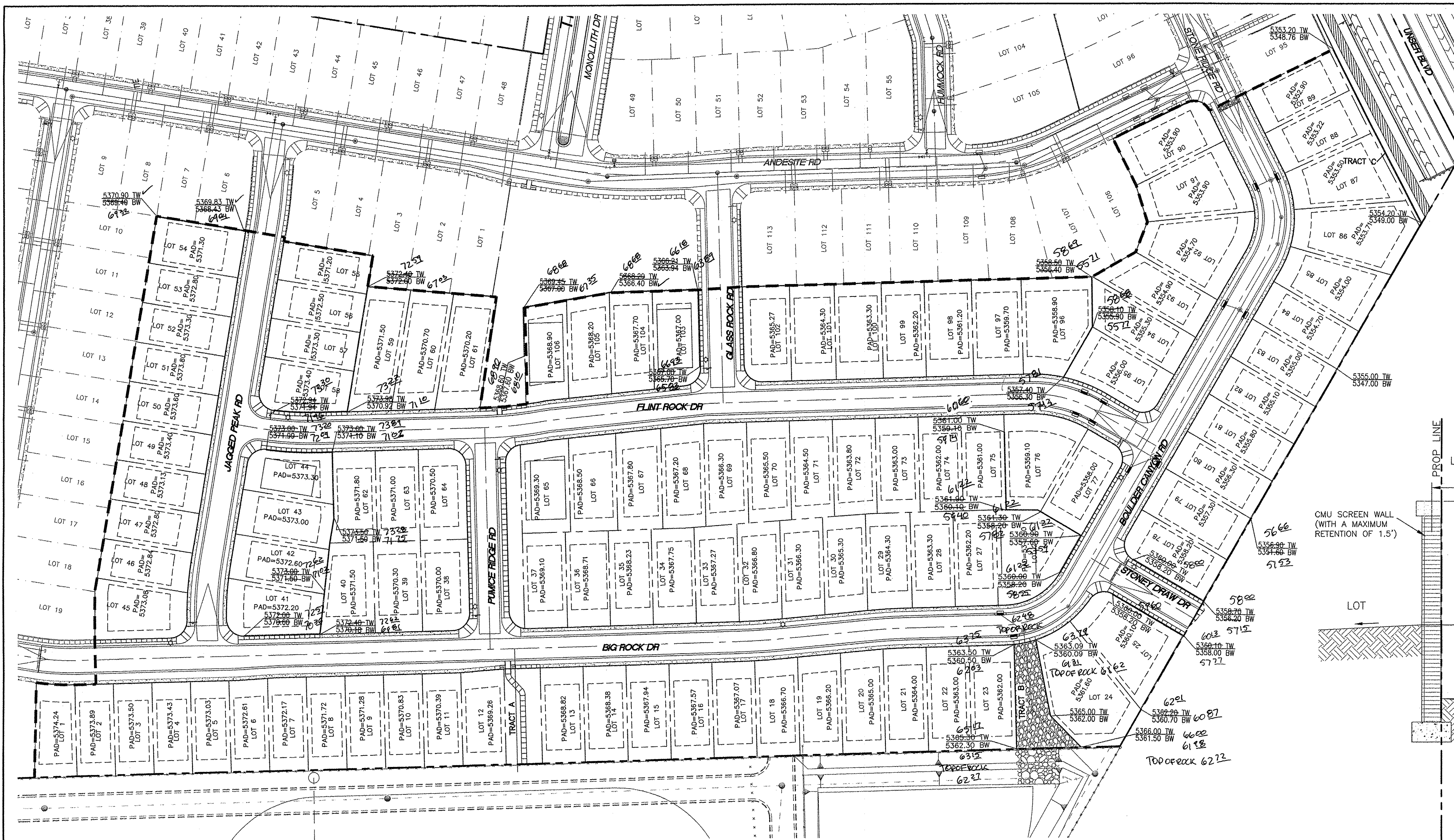
VINCENT P. CARRICA, NMPE # 16212
2-27-18
DATE



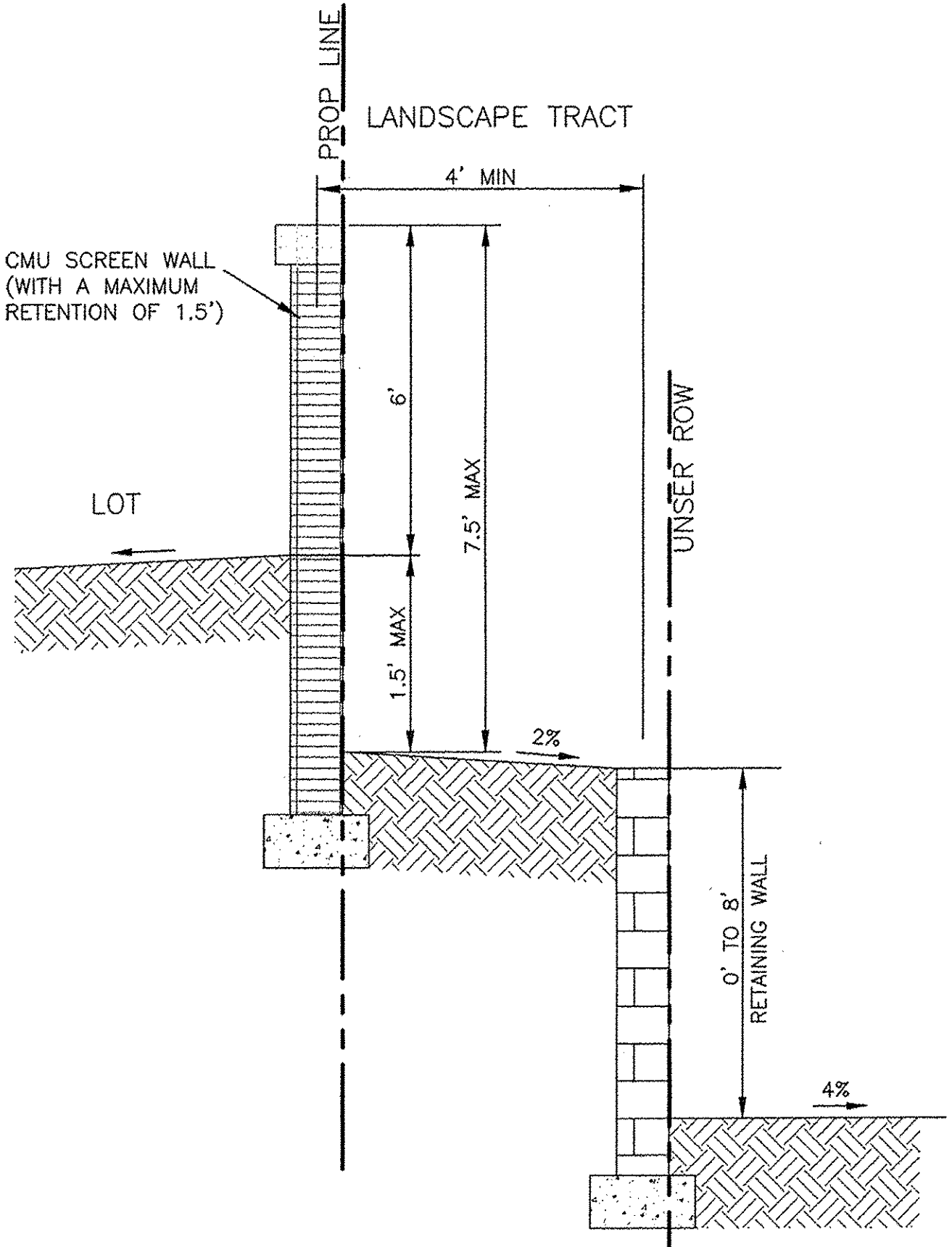
THE BOULDERS
PHASE 3
GRADING AND
DRAINAGE PLAN

TIERRA WEST, LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE, NM 87109
(505) 555-3100
tierrawestllc.com

DRAWN BY
DY
DATE
2-12-14
DRAWING
GRADING-PH 3
SHEET #
1
JOB #
2011005



- LEGEND**
- CURB & GUTTER
 - BOUNDARY LINE
 - EASEMENT
 - CENTERLINE
 - RIGHT-OF-WAY
 - BUILDING
 - SIDEWALK
 - RETAINING WALL
 - SCREEN WALL
 - EXISTING CURB & GUTTER
 - EXISTING BOUNDARY LINE
 - EXISTING RIPRAP

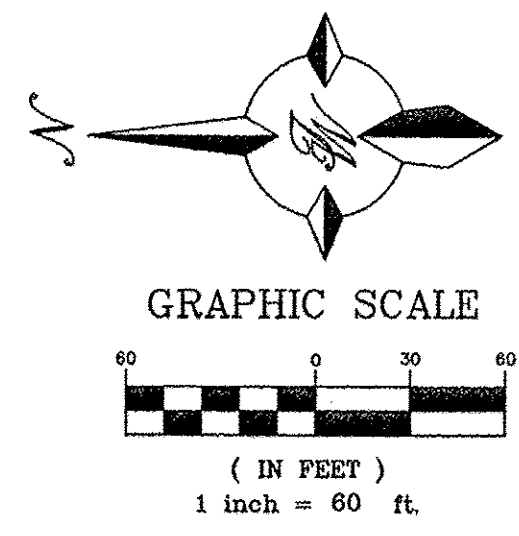


DRAINAGE CERTIFICATION WITH SURVEY WORK DONE BY PROFESSIONAL SURVEYOR
DRAINAGE CERTIFICATION

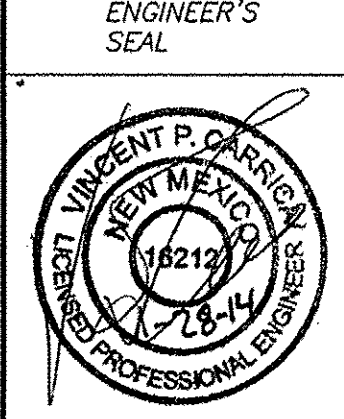

I, VINCENT P. CARRICA, NMPE # 16212, OF THE FIRM, TIERRA WEST, LLC, HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE ORIGINAL DESIGN INTENT OF THE APPROVED PLAN DATED 3/28/14. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY RUSS HUGG, NMPS #7250, OF THE FIRM SURV-TEK, LLC. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 2-27-16 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR RELEASE OF FINANCIAL GUARANTEE.

EXCEPTIONS: NONE NOTED
THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

Vincent P. Carrica, NMPE #16212
Z-27-16
DATE



STEPPED RETAINING WALL W/ SCREEN WALL DETAIL
NTS

| | | |
|--|--|----------------------------|
|  VINCENT P. CARRICA P.E. #16212 | THE BOULDERS PHASE 3 | DRAWN BY DY |
| | RETAINING WALLS | DATE 2-12-14 |
| |  5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 tierrawestllc.com | DRAWING OVERALL GRADING |
| | | SHEET # 2 |
| | | JOB # 2011005 |

NOTE
GARDEN WALL IS ON PROPERTY LINE AND RETAINING WALL
IS OFFSET 4' (MIN) CENTER TO CENTER.

DRAINAGE CERTIFICATION WITH SURVEY WORK DONE BY PROFESSIONAL SURVEYOR

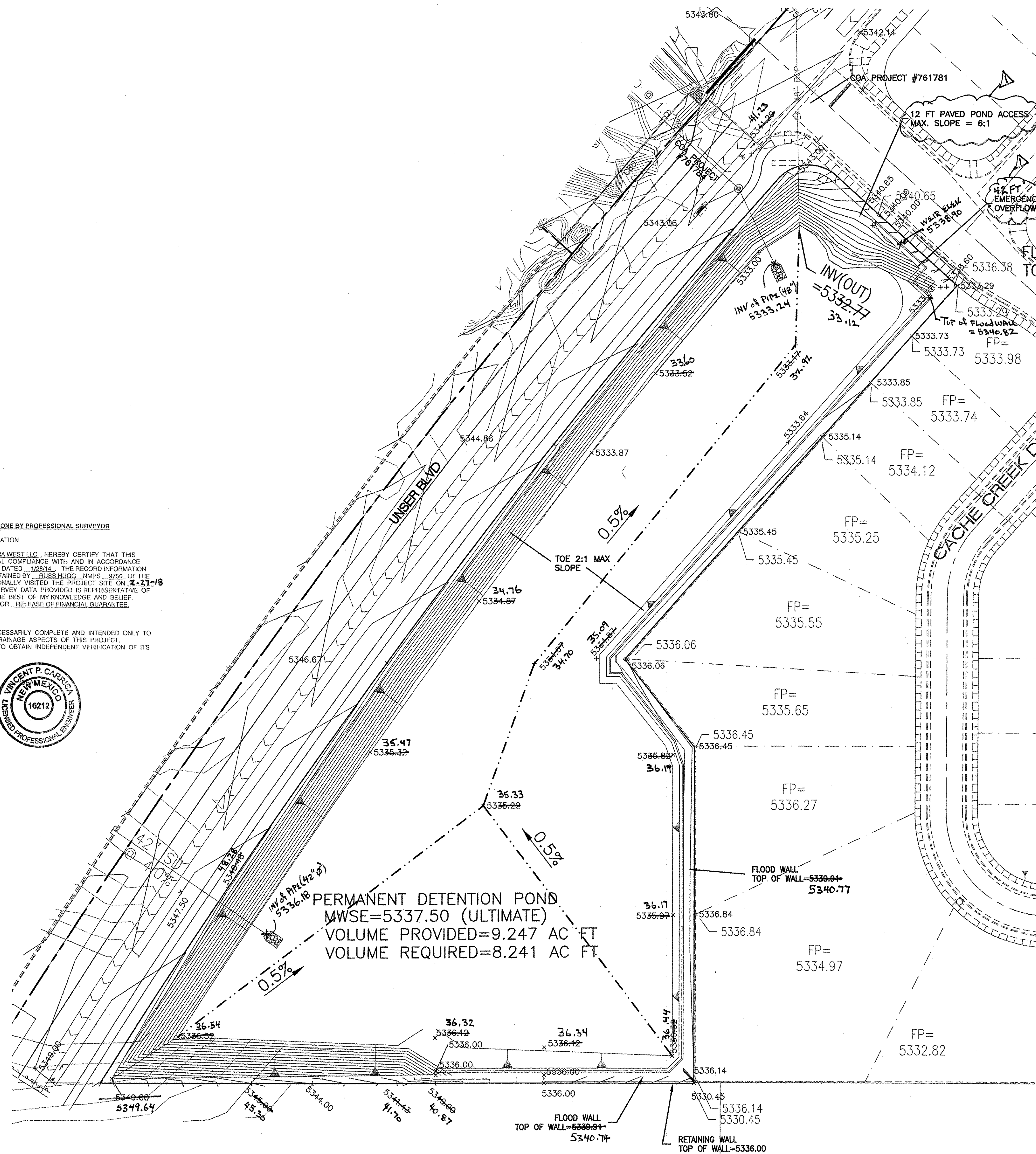
I, VINCENT P. CARRICA, NMPE # 16212, OF THE FIRM, TIERRA WEST, LLC, HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE ORIGINAL DESIGN INTENT OF THE APPROVED PLAN DATED 1/28/14. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY RUSS HUGGINS, NMPS, OF THE FIRM, SURVITEK, LLC. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 2-27-18 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR RELEASE OF FINANCIAL GUARANTEE.

EXCEPTIONS: NONE NOTED

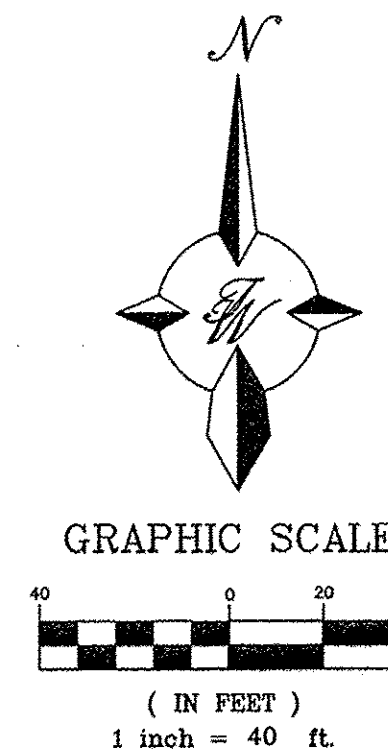
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VINCENT P. CARRICA, NMPE #16212

2-27-18
DATE



POND ACCESS & ENLARGEMENT OF EMERGENCY OVERFLOW TO BE BUILT WITH UNSER BLVD IMPROVEMENTS (DRB #1002632)



LEGEND

- CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- CENTERLINE
- RIGHT-OF-WAY
- BUILDING
- SIDEWALK
- SCREEN WALL
- RETAINING WALL
- CONTOUR MAJOR
- CONTOUR MINOR
- SPOT ELEVATION
- FLOW ARROW
- EXISTING CURB & GUTTER
- EXISTING BOUNDARY LINE
- EXISTING CONTOUR MAJOR
- EXISTING CONTOUR MINOR
- EXISTING SPOT ELEVATION

ROUGH GRADING APPROVAL

DATE

| | | |
|--|--|----------------------------------|
| | THE BOULDERS PHASE 3 | DRAWN BY DY |
| | TRACT 6A GRADING AND DRAINAGE PLAN | DATE 1-27-14 |
| | TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505)858-3100 tierrawestllc.com | Offsite-Pond |
| | VINCENT P. CARRICA P.E. #16212 | SHEET # 3 JOB # 2011005 |