

CITY OF ALBUQUERQUE

PLANNING DEPARTMENT – Development Review Services



February 24, 2016

Vincent P. Carrica, PE
Tierra West, LLC
5571 Midway Park Pl NE
Albuquerque, NM 87109

Richard J. Berry, Mayor

RE: **Boulders Phase III (File: B10D001D)**
Reduction of Financial Guarantee
Grading and Drainage Plan and Retaining Wall Plan
Engineer's Stamp Date 1-28-2014
Certification Date: 2-8-2016

Dear Mr. Carrica:

Based upon your Engineer's Certification submitted on 2-9-16, the above referenced plan is accepted for Reduction of Financial Guarantee for grading and drainage.

The inlet covers may need to be removed or modified. This will need to be coordinated with Curtis Cherne through the ESC inspection process.

PO Box 1293

If you have any questions, you can contact me at 924-3695.

Albuquerque

Sincerely,

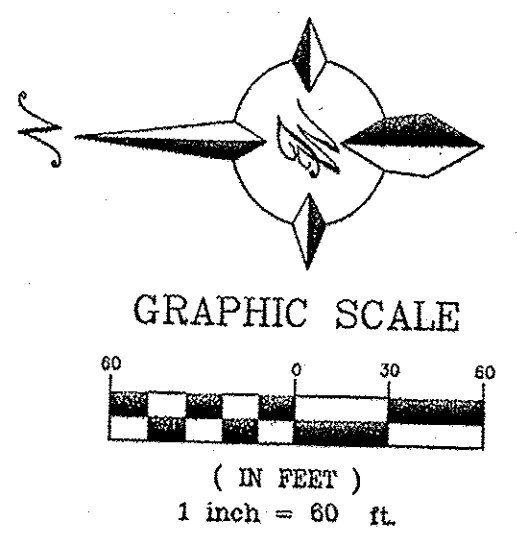
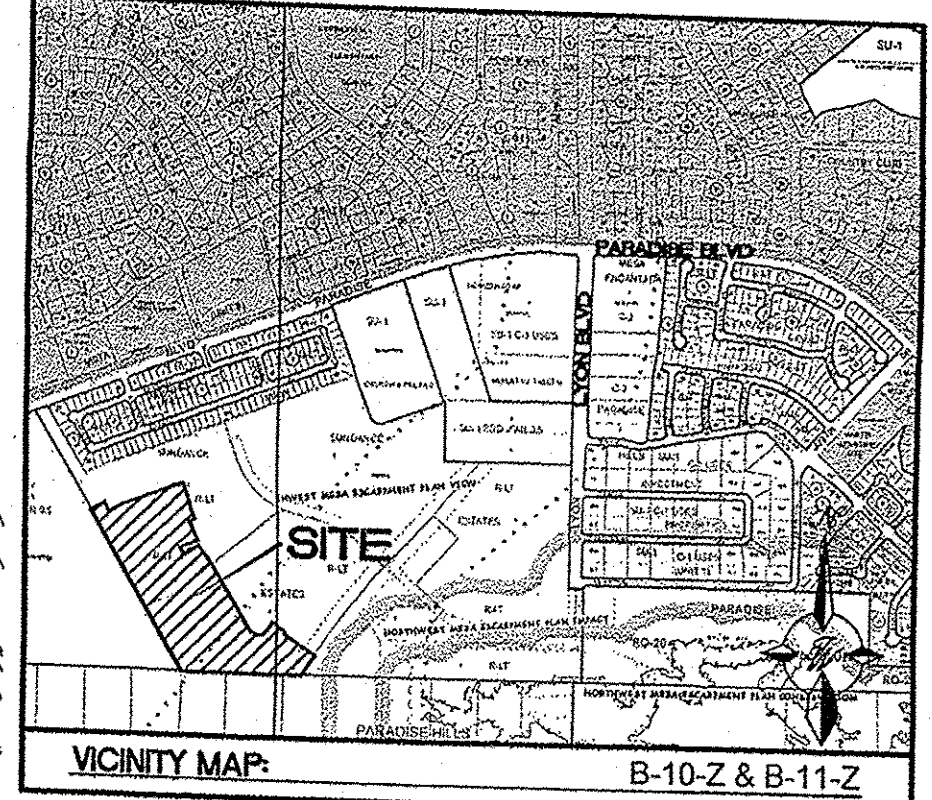
New Mexico 87103

Rita Harmon, P.E.
Senior Engineer, Planning Dept.
Development Review Services

www.cabq.gov

Orig: Drainage file
c.pdf: via Email: Recipient, Charlotte LaBadie, Jeanne Wolfenbarger

A.C.S. MONUMENT "11_B11"
STANDARD A.C.S. BRASS TABLET
(FOUND IN PLACE)
NEW MEXICO STATE PLANE COORDINATES
(CENTRAL ZONE-N.A.D. 1983)
N=1,528,350.344
E=1,504,957.688
EL=5348.50-NGVD 1988
GROUND TO GRID FACTOR=0.999669122
DELTA ALPHA ANGLE=-0°15'40.95"



LEGEND

- CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- CENTERLINE
- RIGHT-OF-WAY
- PHASE LINE
- SIDEWALK
- RETAINING WALL
- SCREEN WALL
- CONTOUR MAJOR
- CONTOUR MINOR
- SPOT ELEVATION
- FLOW ARROW
- EXISTING CURB & GUTTER
- EXISTING BOUNDARY LINE
- EXISTING CONTOUR MAJOR
- EXISTING CONTOUR MINOR
- EXISTING SPOT ELEVATION
- EXISTING RIPRAP

NOTE:
ALL CURB & GUTTER FOR PHASE 3 ARE STANDARD
CURB & GUTTER PER COA STD DWG 24-15A

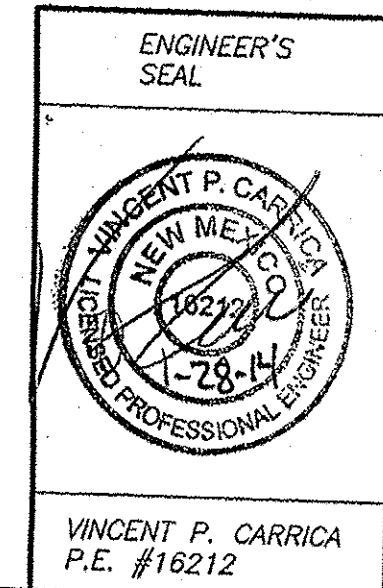
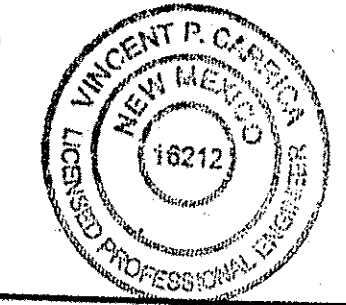


SEE SHEET 2 FOR RETAINING WALL ELEVATIONS

EXISTING DRAINAGE POND AND
OVERFLOW CONSTRUCTED WITH COA
PROJECT NO 662382.
EXISTING CITY OF ALBUQUERQUE
EASEMENT (BY PLAT FILED 12/31/2008,
BOOK 2008C, PAGE 266)

DRAINAGE CERTIFICATION WITH SURVEY WORK DONE BY PROFESSIONAL SURVEYOR
VINCE CARRICA, NIMPE # 16212, OF THE FIRM, TERRA WEST LLC, HEREBY CERTIFY THAT LOTS 1-79 AND
LOTS 80-106 HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH
THE DESIGN INTENT OF THE APPROVED PLAN DATED 12/21/14. THE RECORD INFORMATION EDITED ONTO THE
ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY: RUSS HUGG, NIMPE # 9760, OF THE FIRM, SURVEX LLC. I
FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 12/21/14 AND HAVE DETERMINED BY
VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS
TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT
OF A REQUEST FOR A FINANCIAL GUARANTEE REDUCTION
EXCEPTIONS: NONE TAKEN

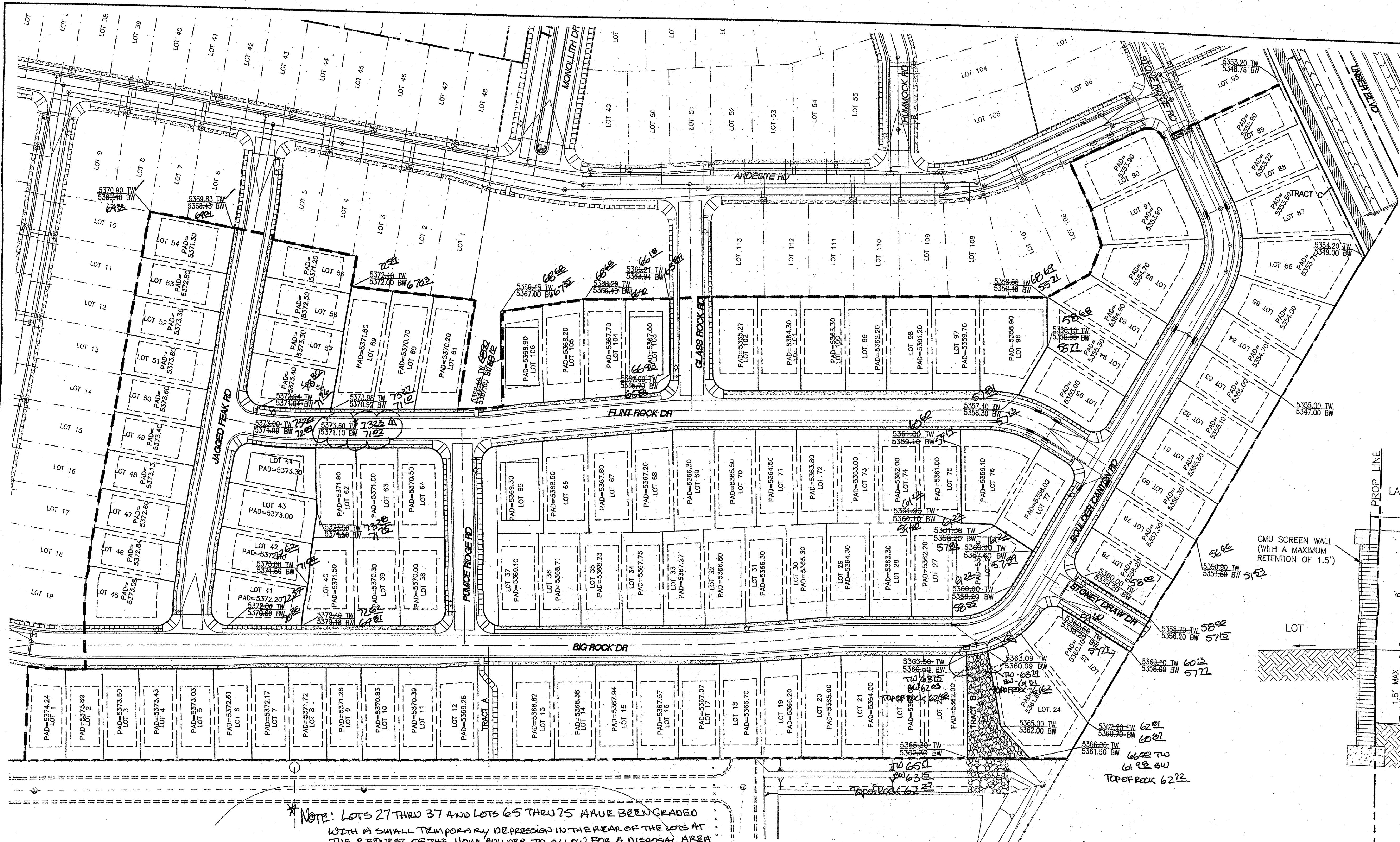
THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERY
SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS
RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT
FOR ANY OTHER PURPOSE.
VINCE CARRICA, NIMPE # 16212
DATE 2/18/16
(SEAL)



THE BOULDERS
PHASE 3
GRADING AND
DRAINAGE PLAN

TERRA WEST, LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE, NM 87109
(505) 858-3100
tierreastllc.com

DRAWN BY
DY
DATE
2-12-14
DRAWING
GRADING-PH 3
SHEET #
1
JOB #
2011005



- LEGEND**
- CURB & GUTTER
 - BOUNDARY LINE
 - - - EASEMENT
 - - - CENTERLINE
 - - - RIGHT-OF-WAY
 - ▬ BUILDING
 - ▬ SIDEWALK
 - ▬ RETAINING WALL
 - ▬ SCREEN WALL
 - ▬ EXISTING CURB & GUTTER
 - ▬ EXISTING BOUNDARY LINE
 - ▬ EXISTING RIPRAP

*** NOTE:** LOTS 27 THRU 37 AND LOTS 65 THRU 75 HAVE BEEN GRADED WITH A SMALL TEMPORARY DEPRESSION IN THE REAR OF THE LOTS AT THE REQUEST OF THE HOME BUILDER TO ALLOW FOR A DISPOSAL AREA FOR HOUSE FOOTING EXCAVATION SPOILS. HOME BUILDER WILL ENSURE BACKFILL OF THE TEMPORARY DEPRESSIONS PRIOR TO REQUEST FOR CERTIFICATE OF OCCUPANCY FOR EACH LOT.

DRAINAGE CERTIFICATION WITH SURVEY WORK DONE BY PROFESSIONAL SURVEYOR

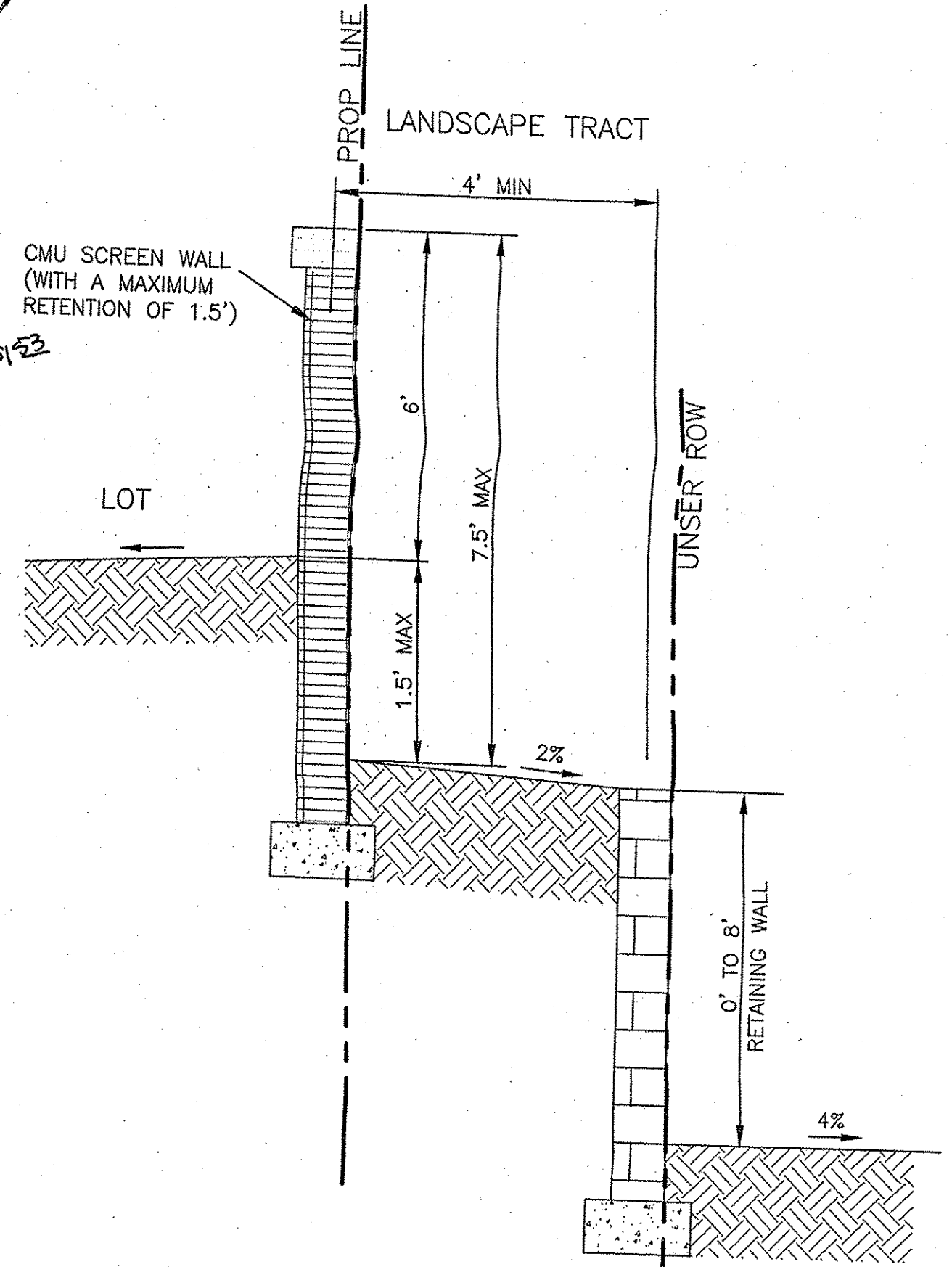
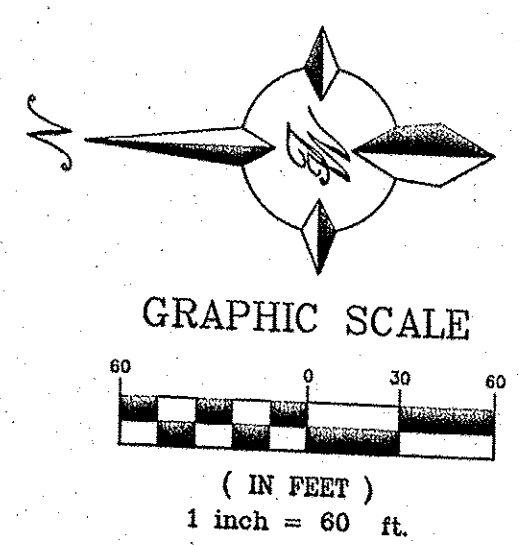
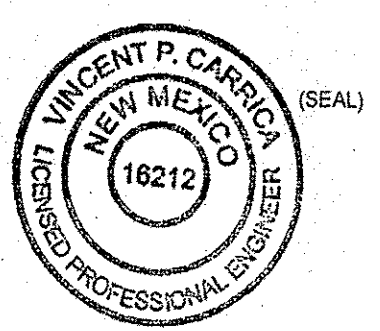
DRAINAGE CERTIFICATION

I, VINCE CARRICA, NMPE # 16212, OF THE FIRM, TIERRA WEST LLC, HEREBY CERTIFY THAT LOTS 1-79 AND LOTS 98-106 HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 1/28/14. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY VINCE CARRICA, NMPE # 16212, OF THE FIRM, SURVEX LLC, I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 2/8/16 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR A FINANCIAL GUARANTEE REDUCTION.

EXCEPTIONS: NONE TAKEN

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

VINCE CARRICA, NMPE # 16212
2-8-16
DATE



NOTE: GARDEN WALL IS ON PROPERTY LINE AND RETAINING WALL IS OFFSET 4' (MIN) CENTER TO CENTER.

STEPPED RETAINING WALL W/ SCREEN WALL DETAIL
NTS

ENGINEER'S SEAL VINCENT P. CARRICA P.E. #16212	THE BOULDERS PHASE 3	DRAWN BY DY
	RETAINING WALLS	DATE 2-12-14
	TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 tierrawestllc.com	OVERALL GRADING
	SHEET # 2	JOB # 2011005