



# *City of Albuquerque*

February 10, 2000

R.P. Bohannon, P.E.  
Easterling & Associates, Inc.  
2600 American Road SE, Suite 100  
Rio Rancho, New Mexico 87124

***RE: Revised Grading and Drainage Plan for Sedona Subdivision Unit II, Tract C-1,  
Ventana Ranch (B10/D3A) Submitted for Preliminary and Final Plat Approval,  
Engineer's Stamp Dated 1/24/00.***

Dear Mr. Bohannon:

Based on the information provided, the above referenced Grading and Drainage plan is approved for Preliminary Plat action by the DRB. The above referenced plan is also acceptable for Rough Grading permit release, provided that it is approved by the DRB.

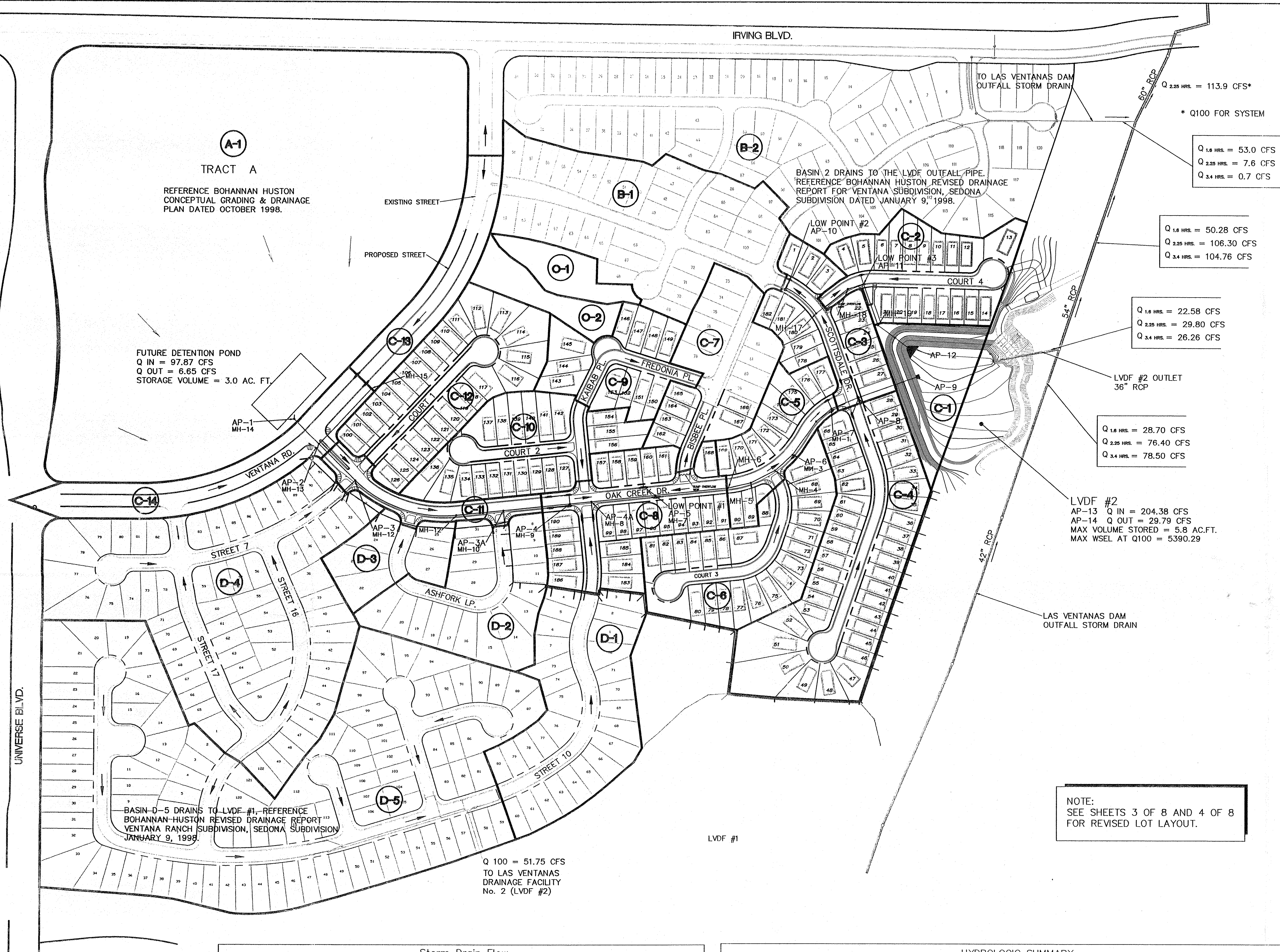
Prior to Final Plat sign-off, the Subdivision Improvements Agreement (SIA) must be in place. As you are aware, the Grading and Drainage Certification is required prior to release of the SIA, or financial guarantees, for this subdivision.

If you have any questions, or if I may be of further assistance to you, please call me at 924-3982.

Sincerely,

Susan M. Calongne, P.E.  
City/County Floodplain Administrator

c: Kurt Browning, Sandia Properties  
Lisa Manwill, Albuquerque Metropolitan Arroyo Flood Control Authority  
File



| Storm Drain Flow<br>Analysis Points |                                                         |             |                                       |                              |                              |                              |
|-------------------------------------|---------------------------------------------------------|-------------|---------------------------------------|------------------------------|------------------------------|------------------------------|
| Analysis<br>Point                   | Description                                             | Hyd.<br>No. | Storm Drain                           |                              | Street                       | Total                        |
|                                     |                                                         |             | Volume<br>100 yr. 24 hr.<br>V (ac-ft) | Discharge<br>100 yr. Q (cfs) | Discharge<br>100 yr. Q (cfs) | Discharge<br>100 yr. Q (cfs) |
| AP-1                                | Manhole No. 14 - Tract A Pond Outflow                   | 501         | 4.535                                 | 6.65                         | 0.00                         | 6.65                         |
| AP-2                                | Manhole No. 13 - Sta. 10+50 Oak Creek Drive             | 107         | 5.091                                 | 16.86                        | 0.00                         | 16.86                        |
| AP-3                                | Manhole No. 12 - Sta. 11+95 Oak Creek Drive             | 110         | 6.649                                 | 49.83                        | 11.86                        | 61.69                        |
| AP-3A                               | Manhole No. 10 - Sta. 16+18 Oak Creek Drive             | 113         | 7.118                                 | 59.76                        | 14.76                        | 74.52                        |
| AP-4                                | Manhole No. 9 - Sta. 18+10 Oak Creek Drive              | 122         | 8.065                                 | 77.20                        | 0.00                         | 77.20                        |
| AP-4A                               | Manhole No. 8 - Sta. 18+70 Oak Creek Drive              | 125         | 8.709                                 | 91.09                        | 10.12                        | 101.21                       |
| AP-5                                | Manhole No. 7 - Sta. 20+45 Oak Creek Drive ( Sump )     | 131         | 9.640                                 | 111.08                       | 0.00                         | 111.08                       |
| AP-6                                | Manhole No. 3 - Sta. 23+97 Oak Creek Drive              | 134         | 10.072                                | 118.17                       | 6.06                         | 128.92                       |
| AP-7                                | Manhole No. 1 - Sta. 26+40 Oak Creek Drive              | 137         | 10.411                                | 128.88                       | 0.20                         | 129.08                       |
| AP-8                                | Inlet - Sta. 27+20 Oak Creek Drive                      | 140         | 11.220                                | 146.89                       | 0.00                         | 146.89                       |
| AP-9                                | Oak Creek SD Outlet into LVDF #2                        | 141         | 11.220                                | 147.30                       | 0.00                         | 147.30                       |
| AP-10                               | Cattle Guard Inlet Sta. 10+05 Scottsdale Drive          | 160         | 1.597                                 | 46.44                        | 0.00                         | 46.44                        |
| AP-11                               | Manhole No. 18 - Sta. 12+11 Court 4                     | 163         | 2.341                                 | 56.22                        | 0.00                         | 56.22                        |
| AP-12                               | Court 4 SD Outlet into LVDF #2                          | 164         | 2.341                                 | 55.86                        | 0.00                         | 55.86                        |
| AP-13                               | Combined Flow into LVDF #2 (Including the Basin Itself) | 167         | 13.651                                | 204.38                       | 0.00                         | 204.38                       |
| AP-14                               | LVDF #2 Discharge into LVDF #1 Outfall Pipe             | 502         | 13.623                                | 29.79                        | 0.00                         | 29.79                        |

| HYDROLOGIC SUMMARY  |                                                               |         |              |          |             |    |    |                       |         |                        |         |
|---------------------|---------------------------------------------------------------|---------|--------------|----------|-------------|----|----|-----------------------|---------|------------------------|---------|
| Basin I.D.          | Description                                                   | Hyd No. | Area (Acres) | % Land A | Treatment B | C  | D  | Volume (ac-ft) 10 YR. | 100 YR. | D'scharge (cfs) 10 YR. | 100 YR. |
| A-1                 | Tract A *                                                     | 101     | 24.91        | 0        | 5           | 10 | 85 | 2,827                 | 4,554   | 62.96                  | 97.87   |
| B-1                 | Scottsdale Ave. - Sedonia Phase I                             | 152     | 5.95         | 0        | 23          | 23 | 54 | 0.485                 | 0.836   | 12.13                  | 20.49   |
| C-1                 | LVDF # 2                                                      | 166     | 1.78         | 35       | 55          | 10 | 0  | 0.027                 | 0.089   | 1.04                   | 3.21    |
| C-2                 | Court # 4                                                     | 162     | 2.88         | 0        | 22          | 22 | 56 | 0.240                 | 0.412   | 5.98                   | 10.03   |
| C-3                 | Scottsdale Ave. - North of Oak Creek                          | 157     | 2.21         | 0        | 22          | 22 | 56 | 0.316                 | 0.516   | 7.45                   | 12.36   |
| C-4                 | Scottsdale Ave. - South of Oak Creek                          | 139     | 5.65         | 0        | 22          | 22 | 56 | 0.472                 | 0.809   | 10.54                  | 17.80   |
| C-5                 | Oak Creek - Sta. 22+50 to Sta. 26+60                          | 136     | 1.83         | 0        | 22          | 22 | 56 | 0.153                 | 0.262   | 3.80                   | 6.38    |
| C-6                 | Court # 3                                                     | 133     | 3.55         | 0        | 22          | 22 | 56 | 0.297                 | 0.509   | 7.37                   | 12.36   |
| C-7                 | Bisbee Place - Sedonia Phase I                                | 156     | 2.73         | 0        | 23          | 23 | 54 | 0.228                 | 0.390   | 5.66                   | 9.49    |
| C-8                 | Oak Creek - Sta. 18+00 to Sta. 22+50                          | 129     | 3.41         | 0        | 22          | 22 | 56 | 0.285                 | 0.488   | 7.08                   | 11.87   |
| C-9                 | Fredonia Place                                                | 154     | 2.10         | 0        | 22          | 22 | 56 | 0.175                 | 0.301   | 4.36                   | 7.31    |
| C-10                | Court # 2                                                     | 127     | 3.10         | 0        | 22          | 22 | 56 | 0.259                 | 0.443   | 5.76                   | 9.72    |
| C-11                | Oak Creek - Sta. 10+50 to Sta. 18+00                          | 119     | 1.02         | 0        | 0           | 20 | 80 | 0.112                 | 0.182   | 2.34                   | 3.65    |
| C-12                | Court # 15                                                    | 115     | 1.15         | 0        | 22          | 22 | 56 | 0.334                 | 0.556   | 7.06                   | 11.86   |
| C-13                | Ventana Road - Sta. 10+60 to Sta. 19+00                       | 103     | 7.70         | 14       | 30          | 0  | 56 | 0.133                 | 0.229   | 3.12                   | 5.42    |
| C-14                | Ventana Road - Sta. 0+00 to Sta. 10+60                        | 104     | 2.43         | 14       | 30          | 0  | 56 | 0.190                 | 0.327   | 4.45                   | 7.72    |
| D-1                 | Street 10 - Sta. 10+50 to Sta. 19+65                          | 124     | 4.50         | 0        | 22          | 22 | 56 | 0.462                 | 0.644   | 11.48                  | 15.66   |
| D-2                 | East Part of Loop 1                                           | 112     | 3.28         | 0        | 22          | 22 | 56 | 0.274                 | 0.470   | 6.81                   | 11.43   |
| D-3                 | West Part of Loop 1                                           | 117     | 1.47         | 0        | 22          | 22 | 56 | 0.123                 | 0.211   | 3.06                   | 5.13    |
| D-4                 | Street 7, Street 16, and Street 16 - Sta. 10+00 to Sta. 17+05 | 109     | 10.90        | 0        | 22          | 22 | 56 | 0.909                 | 1.558   | 19.67                  | 33.03   |
| O-1                 | Open Space                                                    | 150     | 0.82         | 35       | 55          | 10 | 0  | 0.012                 | 0.041   | 0.48                   | 1.48*   |
| O-2                 | Open Space                                                    | 148     | 0.90         | 35       | 55          | 10 | 0  | 0.014                 | 0.045   | 0.52                   | 1.62    |
| Runoff Volume Total |                                                               |         |              |          |             |    |    | 8.171                 | 13.626  |                        |         |

NOTE:  
SEE SHEETS 3 OF 8 AND 4 OF 8  
FOR REVISED LOT LAYOUT.

150' 0 75' 150' 30

1 inch = 150 ft. (horiz.)

***Easterling & Associates, Inc.***  
CONSULTING ENGINEERS  
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(505) 898-8021 FAX (505) 898-8501  
E-Mail: [eej.enr@swcp.com](mailto:eej.enr@swcp.com)

CITY OF ALBUQUERQUE  
PUBLIC WORKS DEPARTMENT  
ENGINEERING DEVELOPMENT GROUP

VENTANA RANCH, SEDONA SUBDIVISION, TRACT C-1  
DRAINAGE REPORT - EXHIBIT B

OVERALL DRAINAGE PLAN AND MODIFIED MAP

|                         |        |                        |                    |              |
|-------------------------|--------|------------------------|--------------------|--------------|
| DESIGN REVIEW COMMITTEE |        | CITY ENGINEER APPROVAL | MOBILENO MAP       |              |
|                         |        |                        | LAST DESIGN UPDATE | Mo./DAY/YR.  |
|                         |        |                        |                    | Mo./DAY/YR.  |
|                         |        |                        |                    |              |
|                         |        |                        |                    |              |
|                         |        |                        |                    |              |
| CITY PROJECT No.        | XXXXXX | ZONE MAP NO.           | B-10               | SHEET 1 OF 8 |

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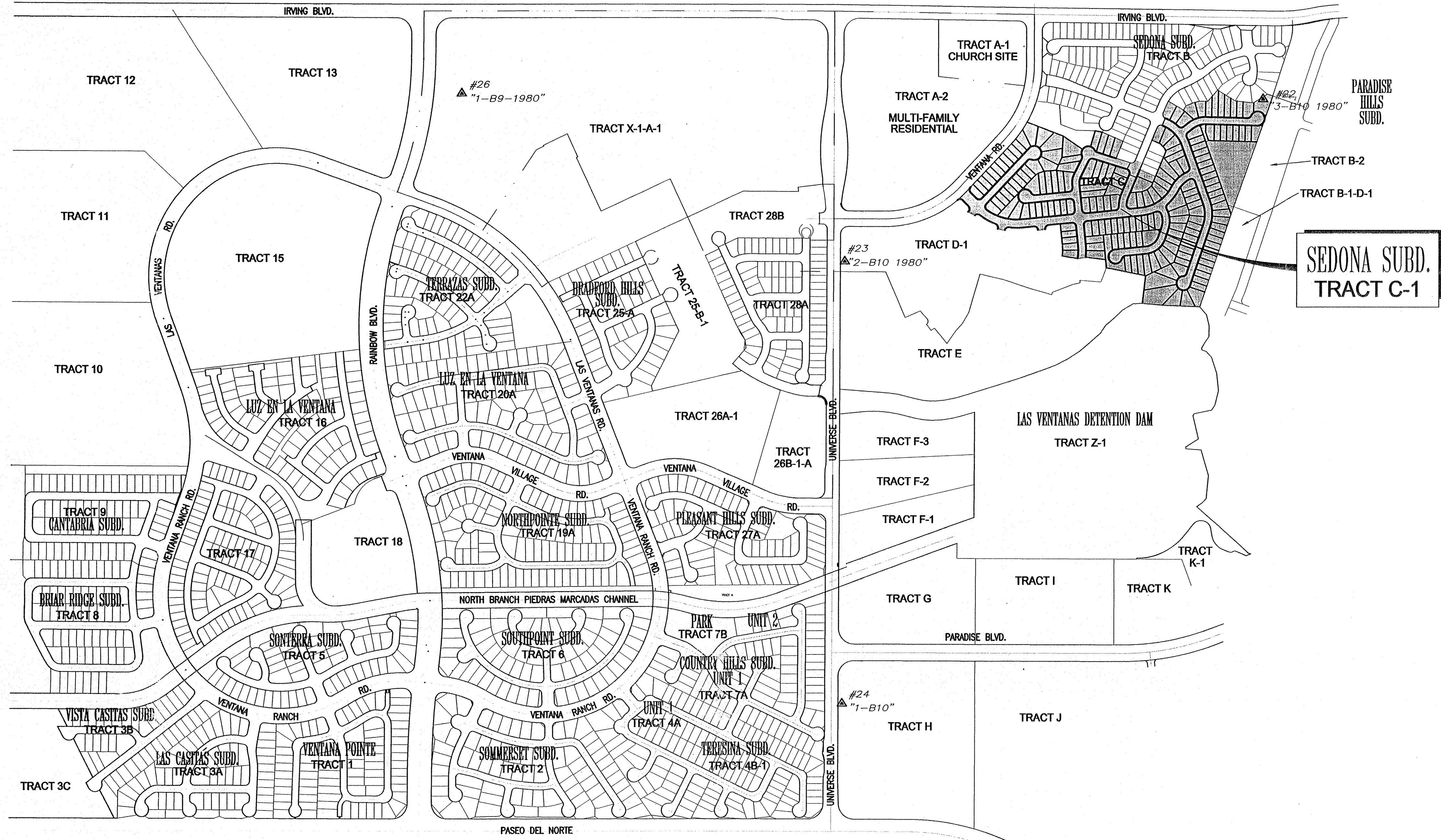
|             |      |
|-------------|------|
| TRACTOR     | DATE |
| BY          | DATE |
| RECEIVED BY | DATE |
| ICATION BY  | DATE |
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| REVISIONS | REMARKS |
|-----------|---------|
| DESIGN    |         |

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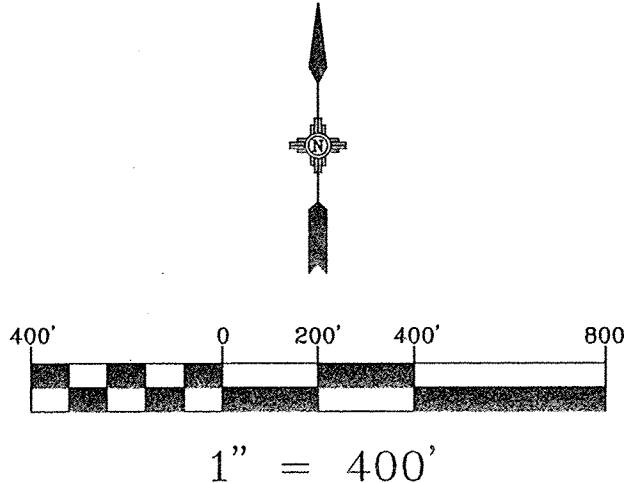
|                     |              |
|---------------------|--------------|
| ERQUE               |              |
| ARTMENT             |              |
| MENT GROUP          |              |
| DIVISION, TRACT C-1 |              |
| EXHIBIT B           |              |
| ND MODELING MAP     |              |
| LAST DESIGN UPDATE  | Mo./DAY/YR.  |
|                     | Mo./DAY/YR.  |
|                     |              |
|                     |              |
|                     |              |
| NO.                 | SHEET 1 OF 8 |



| CONTROL POINTS  |              |             |           |  |
|-----------------|--------------|-------------|-----------|--|
| NAME            | NORTHING     | EASTING     | ELEVATION |  |
| 21 "UNION 1969" | 1523954.1440 | 353528.0688 | 5522.15   |  |
| 22 "3-B10"      | 1529529.8245 | 360360.8576 | 5404.40   |  |
| 23 "2-B10"      | 1529491.1261 | 357664.2068 | 5429.35   |  |
| 24 "1-B10"      | 1525682.2074 | 357647.1265 | 5419.52   |  |
| 26 "1-B9"       | 1529571.9290 | 355196.5763 | 5450.51   |  |

#21  
"UNION 1969"

NOTE:  
SEE SHEETS 3 OF 8 AND 4 OF 8  
FOR REVISED LOT LAYOUT.



DUST AND EROSION CONTROL GENERAL NOTES

- THE ALBUQUERQUE/BERNALILLO COUNTY AIR QUALITY CONTROL BOARD REQUIRES THAT A DUST CONTROL PLAN BE PREPARED AND A TOPSOIL DISTURBANCE PERMIT BE OBTAINED PRIOR TO ANY SOIL DISTURBANCE EXCEEDING 0.75 ACRES. CONTRACTOR SHALL OBTAIN A TOPSOIL DISTURBANCE PERMIT FROM THE CITY OF ALBUQUERQUE ENVIRONMENTAL HEALTH DEPARTMENT AIR POLLUTION CONTROL DIVISION PRIOR TO THE START OF SOIL DISTURBANCE ACTIVITIES. SEPARATE PLANS AND PERMITS MAY BE REQUIRED FOR SEPARATE PROJECT AREAS, BORROW SITES, DISPOSAL SITES, ETC. CONTACT LARRY CAUDILL AT 768-2600.
- CONTRACTOR SHALL IMPLEMENT AND MAINTAIN DUST CONTROL MEASURES TO MINIMIZE WIND BORNE EROSION OF MATERIALS FROM THE PROJECT AREA. DUST CONTROL MEASURES MAY INCLUDE BUT ARE NOT LIMITED TO PRE-WETTING, WATERING, MULCH, REVEGETATION, DRIFT/SILT FENCING, WOODEN LATH SNOW FENCING, GROUND COVERS, SOIL STABILIZERS, COMPACTION TO HARD SURFACE CRUST AND HALTING SOIL DISTURBANCE ACTIVITIES. DUST CONTROL MEASURES SHALL BE IMPLEMENTED AS DETERMINED IN CONSULTATION WITH THE CONTRACTOR, ENGINEER AND THE CITY OF ALBUQUERQUE ENVIRONMENTAL HEALTH DEPARTMENT AIR POLLUTION CONTROL DIVISION.
- CONTRACTOR SHALL IMPLEMENT AND MAINTAIN EROSION CONTROL MEASURES TO MINIMIZE THE WATER BORNE EROSION OF SEDIMENT FROM THE PROJECT AREA. EROSION CONTROL MEASURES MAY INCLUDE BUT ARE NOT LIMITED TO GROUND COVERS, SOIL STABILIZERS, MULCH, REVEGETATION, CONTOUR GRADING, SWALES, BERMS, SEDIMENT PONDS, SEDIMENT/SILT FENCING, FILTER FABRICS AND/OR MATERIALS, AND STRAW BALES. EROSION CONTROL MEASURES SHALL BE IMPLEMENTED AS DETERMINED IN CONSULTATION WITH THE CONTRACTOR, ENGINEER, AND THE CITY OF ALBUQUERQUE ENVIRONMENTAL HEALTH DEPARTMENT AIR POLLUTION CONTROL DIVISION.
- ADDITIONAL DUST CONTROL AND/OR EROSION CONTROL MEASURES MAY BE REQUIRED DURING CONSTRUCTION DEPENDING ON UNFORESEEN CIRCUMSTANCES AND WEATHER CONDITIONS. ANY ADDITIONAL MEASURES SHALL BE IMPLEMENTED AS DETERMINED IN CONSULTATION WITH THE ENGINEER, CONTRACTOR AND THE CITY OF ALBUQUERQUE ENVIRONMENTAL HEALTH DEPARTMENT AIR POLLUTION CONTROL DIVISION.
- CONTRACTOR SHALL MINIMIZE SOIL DISTURBANCE TO THE EXTENT POSSIBLE. CLEAR AND GRUB WORK SHALL BE PERFORMED IN INCREMENTAL STEPS AS THE WORK PROGRESSES. REVEGETATION WORK SHALL ALSO BE PERFORMED IN INCREMENTAL STEPS AS THE WORK IS COMPLETED.
- CONTRACTOR SHALL MAKE ARRANGEMENTS FOR AND OBTAIN CONSTRUCTION WATER IN ACCORDANCE WITH THE POLICIES AND REQUIREMENTS OF THE WATER PROVIDER. CONTACT BOB GAY AT NEW MEXICO UTILITIES, INC. 898-2661.
- CONTRACTOR SHALL NOT ENTER ONTO PRIVATE PROPERTY TO IMPORT, EXPORT, OR HAUL MATERIAL WITHOUT WRITTEN PERMISSION FROM THE PROPERTY OWNER.
- CONTRACTOR SHALL PRE-WET THE WORK AREA PRIOR TO SOIL DISTURBANCE AND SHALL WATER THE SITE AS NECESSARY TO CONTROL DUST DURING CONSTRUCTION. CONTRACTOR SHALL LEAVE THE SITE IN A WET-DOWN, STABLE CONDITION AT THE END OF EACH WORK DAY. A SUFFICIENT DUST CONTROL WATER SUPPLY AND DUST CONTROL EQUIPMENT SHALL BE MAINTAINED AT THE PROJECT SITE AT ALL TIMES.
- IF SOIL OR WIND CONDITIONS ARE SUCH THAT DUST CANNOT BE CONFINED TO THE PROJECT SITE, CONTRACTOR SHALL VOLUNTARILY HALT SOIL DISTURBANCE ACTIVITIES UNTIL WINDS ABATE AND/OR DUST CAN BE EFFECTIVELY CONTROLLED.
- ALL TRUCKS HAULING IMPORT, EXPORT OR ONSITE MATERIAL SHALL BE EQUIPPED WITH SOUND BEDS, SIDEBARDS, TAILGATES AND COVERS MAINTAINED IN GOOD WORKING ORDER. COVERS SHALL BE USED AT ALL TIMES DURING HAULING OPERATIONS.
- CONTRACTOR SHALL PROMPTLY CLEAN UP ANY MATERIAL SPILLED, CARRIED, TRACKED OR ERODED ONTO ADJACENT PRIVATE PROPERTY OR PUBLIC RIGHT-OF-WAY. CONTRACTOR SHALL BE RESPONSIBLE FOR THE CLEANUP AND REMOVAL OF WATER BORNE AND WIND BORNE MATERIAL WHICH ORIGINATES FROM THE WORK AREA AND IS ATTRIBUTABLE TO PROJECT CONSTRUCTION.
- DRIFT/SILT FENCING SHALL BE ADP ENTERPRISES, INC. DURETHENE SNOW AND SAND CONTROL FENCING AWSF-4100-40, WOOD LATH SNOW FENCE OR APPROVED EQUAL INSTALLED AND MAINTAINED IN ACCORDANCE WITH MANUFACTURERS' RECOMMENDATIONS.
- SEDIMENT/SILT FENCING SHALL BE AMOCO PROPEX SILT STOP, AMERICAN EXCELSIOR COMPANY SILT STOP, MIRAFI, INC. SILT FENCE OR APPROVED EQUAL INSTALLED AND MAINTAINED IN ACCORDANCE WITH MANUFACTURERS' RECOMMENDATIONS.
- WHERE SOIL CONDITIONS PERMIT EFFECTIVE IMPLEMENTATION, CONTRACTOR MAY COMPACT DISTURBED SOIL AREAS TO A HARD SURFACE FOR TEMPORARY DUST CONTROL.
- IN AREAS WHERE FUTURE SOIL DISTURBANCE OR CONSTRUCTION BY OTHERS IS IMMINENT AND WHEN THE INTERIM NON-WORK TIME PERIOD DOES NOT ENCOMPASS ANY TIME BETWEEN FEBRUARY 15 AND MAY 15, CONTRACTOR MAY GRADE, SHAPE, MOISTURE PROCESS AND COMPACT DISTURBED SOIL AREAS TO FORM A SMOOTH, HARD SURFACE CRUST AFTER CONSTRUCTION WORK IS COMPLETE.
- EXCEPT AS OTHERWISE AUTHORIZED IN WRITING, CONTRACTOR SHALL GRADE, MULCH, CRIMP AND SEED ALL DISTURBED SOIL AREAS IN ACCORDANCE WITH SECTION 1012 REVEGETATION SEEDING OF THE PROJECT SPECIFICATIONS.

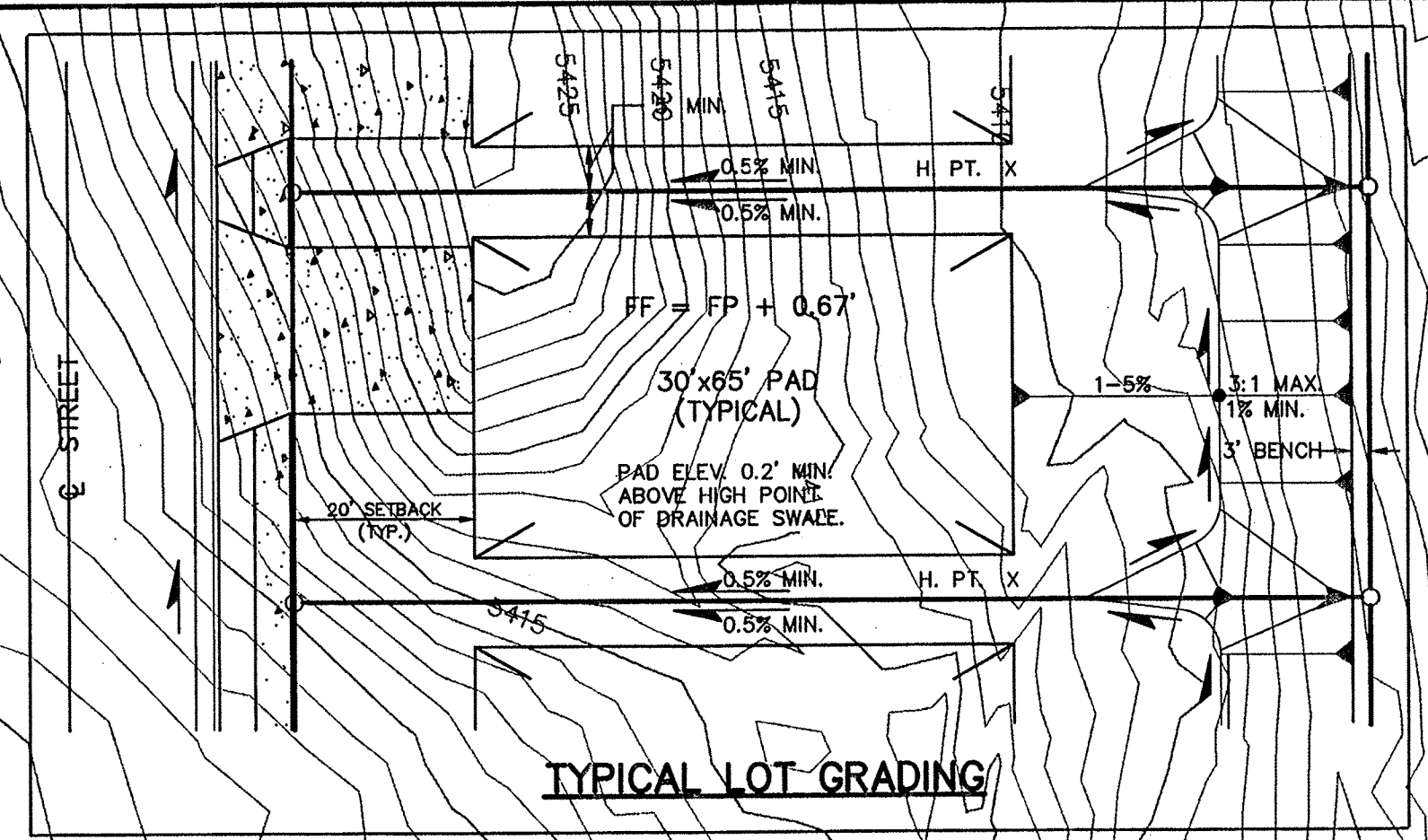
Easterling & Associates, Inc.  
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E-Mail: ead\_engr@swcp.com

|                                                                                                                           |                        |
|---------------------------------------------------------------------------------------------------------------------------|------------------------|
| CITY OF ALBUQUERQUE<br>PUBLIC WORKS DEPARTMENT<br>ENGINEERING DEVELOPMENT GROUP                                           |                        |
| VENTANA RANCH, SEDONA SUBDIVISION, TRACT C-1<br>DRAINAGE REPORT - EXHIBIT B<br>VICINITY MAP, DUST & EROSION CONTROL NOTES |                        |
| DESIGN REVIEW COMMITTEE                                                                                                   | CITY ENGINEER APPROVAL |
| LAST DESIGN UPDATE                                                                                                        | Mo./DAY/YR.            |
| CITY PROJECT No.                                                                                                          | ZONE MAP No.           |
| XXXXXX                                                                                                                    | B-10                   |
| SHEET                                                                                                                     | OF                     |
| 2                                                                                                                         | 8                      |

|                 |  |                    |  |             |  |                      |  |
|-----------------|--|--------------------|--|-------------|--|----------------------|--|
| ENGINEER'S SEAL |  | SURVEY INFORMATION |  | BENCH MARKS |  | AS BUILT INFORMATION |  |
| FIELD NOTES     |  | NO.                |  | DATE        |  | CONTRACTOR           |  |
| BY              |  | BY                 |  | BY          |  | BY                   |  |
| REMARKS         |  | NO.                |  | DATE        |  | CONTRACTOR           |  |
| REVISIONS       |  | NO.                |  | DATE        |  | CONTRACTOR           |  |
| DESIGN          |  | NO.                |  | DATE        |  | CONTRACTOR           |  |
| DESIGNED BY     |  | DATE               |  | DATE        |  | DATE                 |  |
| DRAWN BY        |  | DATE               |  | DATE        |  | DATE                 |  |
| CHECKED BY      |  | DATE               |  | DATE        |  | DATE                 |  |
| RFB             |  | 1-24-00            |  | 1-24-00     |  | 1-24-00              |  |
| DEC             |  | 1-24-00            |  | 1-24-00     |  | 1-24-00              |  |
| RFB             |  | 1-24-00            |  | 1-24-00     |  | 1-24-00              |  |



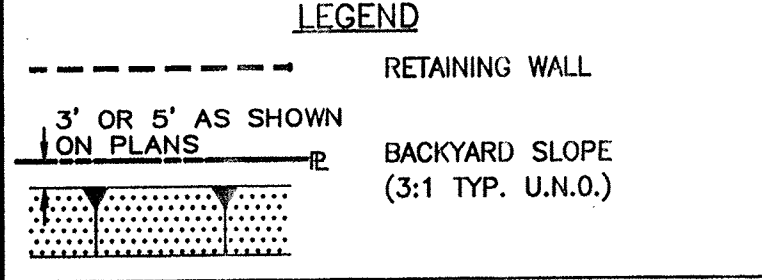
**OPEN SPACE NOTE**  
CONTRACTOR SHALL FENCE OFF OPEN SPACE AREAS WITH PEANUT FLAGGING AND STEEL TEE-POSTS. CONTRACTOR SHALL NOT ENTER INTO OR DISTURB OPEN SPACE AREAS EXCEPT FOR THE MINIMUM AMOUNT NECESSARY TO CONSTRUCT REQUIRED CUT AND FILL SLOPES. DISTURBED AREAS SHALL BE REVEGETATED WITH NATIVE GRASS SEEDING IN ACCORDANCE WITH SECTION 1012. THIS WORK SHALL BE CONSIDERED INCIDENTAL TO OTHER CONSTRUCTION ITEMS AND NO SEPARATE MEASUREMENTS OR PAYMENT SHALL BE MADE.



**ENGINEER'S CERTIFICATION**  
I, DANIEL S. AGUIRE, DO HEREBY CERTIFY THAT THIS SITE IS GRADED AS HEREON AND IS IN SUBSTANTIAL COMPLIANCE WITH THE APPROVED DRAINAGE PLAN.

OPEN SPACE AREA  
DO NOT DISTURB  
SEE NOTE THIS SHEET

- GENERAL NOTES**
- CROSS LOT DRAINAGE WILL NOT BE PERMITTED.
  - ALL DRAINAGE SWALES AND YARD AREAS SHALL HAVE MINIMUM SLOPES OF 1% IN THE DIRECTIONS INDICATED BY THE FLOW ARROWS AND MAXIMUM SLOPES OF 3 HORIZ. TO 1 VERT.
  - BUILDING PADS SHALL BE SET AT LEAST 0.2' ABOVE THE HIGHEST ELEVATION OF ADJACENT SWALES.
  - DRIVEWAYS SHALL SLOPE TOWARD THE STREETS AT A MINIMUM SLOPE OF 1% AND A MAXIMUM SLOPE OF 14%.
  - USEABLE BACKYARD AREAS SHALL BE AT LEAST 30'x15', AND SHALL SLOPE AWAY FROM THE BUILDING PADS AT A GRADE BETWEEN 1% AND 5%.
  - WHERE YARD GRADES OF ADJACENT LOTS AT PROPERTY LINES CAN NOT BE MATCHED USING THE ABOVE CRITERIA, RETAINING WALLS SHALL BE PROVIDED AS NECESSARY TO ACCOMMODATE THE GRADE DIFFERENTIALS.

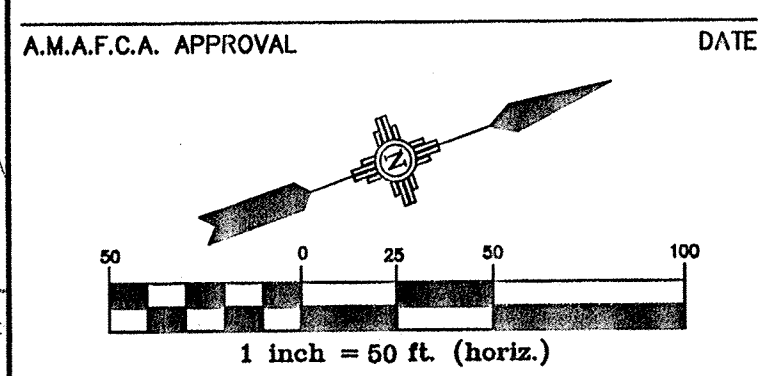


**NOTE:**  
THE CONTRACTOR SHALL OBTAIN A TOPSOIL DISTURBANCE PERMIT PRIOR TO GRADING.

**RETAINING WALL QUANTITY ESTIMATE**

| Wall Point | Top of Wall Elev | Top of Footing Elev | Wall Height (FT) | Approx. Wall Length (FT) | Average Wall Height | Average Wall Type |
|------------|------------------|---------------------|------------------|--------------------------|---------------------|-------------------|
| W-19       | 11.00            | 8.00                | 3.00             | 15.00                    | 4.67                | C                 |
| W-20       | 11.00            | 4.67                | 6.33             | 50.00                    | 6.33                | E                 |
| W-21       | 11.00            | 4.67                | 6.33             | 45.00                    | 6.17                | E                 |
| W-22       | 11.00            | 5.00                | 6.00             | 23.00                    | 5.67                | D                 |
| W-23       | 10.33            | 5.00                | 5.33             | 50.00                    | 5.17                | D                 |
| W-24       | 10.33            | 5.33                | 5.00             | 50.00                    | 4.84                | D                 |
| W-25       | 10.00            | 5.33                | 4.67             | 50.00                    | 4.51                | C                 |
| W-26       | 9.67             | 5.33                | 4.34             | 50.00                    | 4.17                | C                 |
| W-27       | 9.33             | 5.33                | 4.00             | 50.00                    | 4.00                | C                 |
| W-28       | 9.33             | 5.33                | 4.00             | 25.00                    | 3.67                | C                 |
| W-29       | 9.00             | 5.67                | 3.33             | 45.00                    | 3.84                | C                 |
| W-35       | 6.00             | 2.00                | 4.00             | 35.00                    | 3.51                | C                 |
| W-36       | 6.00             | 2.33                | 3.67             | 35.00                    | 3.51                | C                 |
| W-37       | 5.67             | 2.33                | 3.34             | 35.00                    | 3.51                | C                 |

SEE SHEET 5 FOR RETAINING WALL TYPES AND DETAILS.



**Easterling & Associates, Inc.**  
CONSULTING ENGINEERS  
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E-Mail: eal\_engr@swcp.com

CITY OF ALBUQUERQUE  
PUBLIC WORKS DEPARTMENT  
ENGINEERING DEVELOPMENT GROUP  
VENTANA RANCH, SEDONA SUBDIVISION, TRACT C-1  
DRAINAGE REPORT - EXHIBIT B  
GRADING PLAN - WEST PORTION OF SITE

DESIGN REVIEW COMMITTEE CITY ENGINEER APPROVAL  
**DRB APPROVED GRADING / DRAINAGE PLAN**  
APR 23 2001

CITY PROJECT No. XXXXXX B-10' SHEET 3 OF 8

**AS BUILT INFORMATION**  
CONTRACTOR: ELEV. = 5404.40  
DATE: LOCATED 485' WEST OF LA PAZ ST. AND 75' NORTH OF PALO VERDE ST. SET 0.3' ABOVE THE GROUND.  
DATE: X = 360,239.42 Y = 1,529,014.85 NAD 1927  
DATE: MICRO-FILM INFORMATION

**BENCH MARKS**  
AC BRASS TABLET "3-510" ELEV. = 5404.40  
DATE: OF PALO VERDE ST. SET 0.3' ABOVE THE GROUND.  
DATE: X = 360,239.42 Y = 1,529,014.85 NAD 1927  
DATE: MICRO-FILM INFORMATION

**ENGINEER'S SEAL**  
D. S. AGUIRE  
REGISTERED PROFESSIONAL ENGINEER  
NEW MEXICO  
1955

**REVISIONS**

| NO. | DATE    | BY  | REMARKS    |
|-----|---------|-----|------------|
| 1   | 1-24-00 | DSH | DESIGN     |
| 2   | 1-24-00 | DEC | REVISIONS  |
| 3   | 1-24-00 | RPB | CHECKED BY |

DATE: APR 23 2001  
HYDROLOGY SECTION

