



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

May 1, 2001

Dan Aguirre, P.E.
Easterling & Associates
2600 The American Road SE Suite 100
Rio Rancho, New Mexico 87124

RE: **Grading and Drainage Certification**
Cantebella Subdivision @ Ventana Ranch (B-10/D3A)
(Sedona Subdivison Phase 2 Tract C-1)
Submitted for Release of Financial Guaranty
Engineers Stamp dated 1/24/2000
Engineer's Certification dated 4/5/2001

Dear Mr. Aguirre:

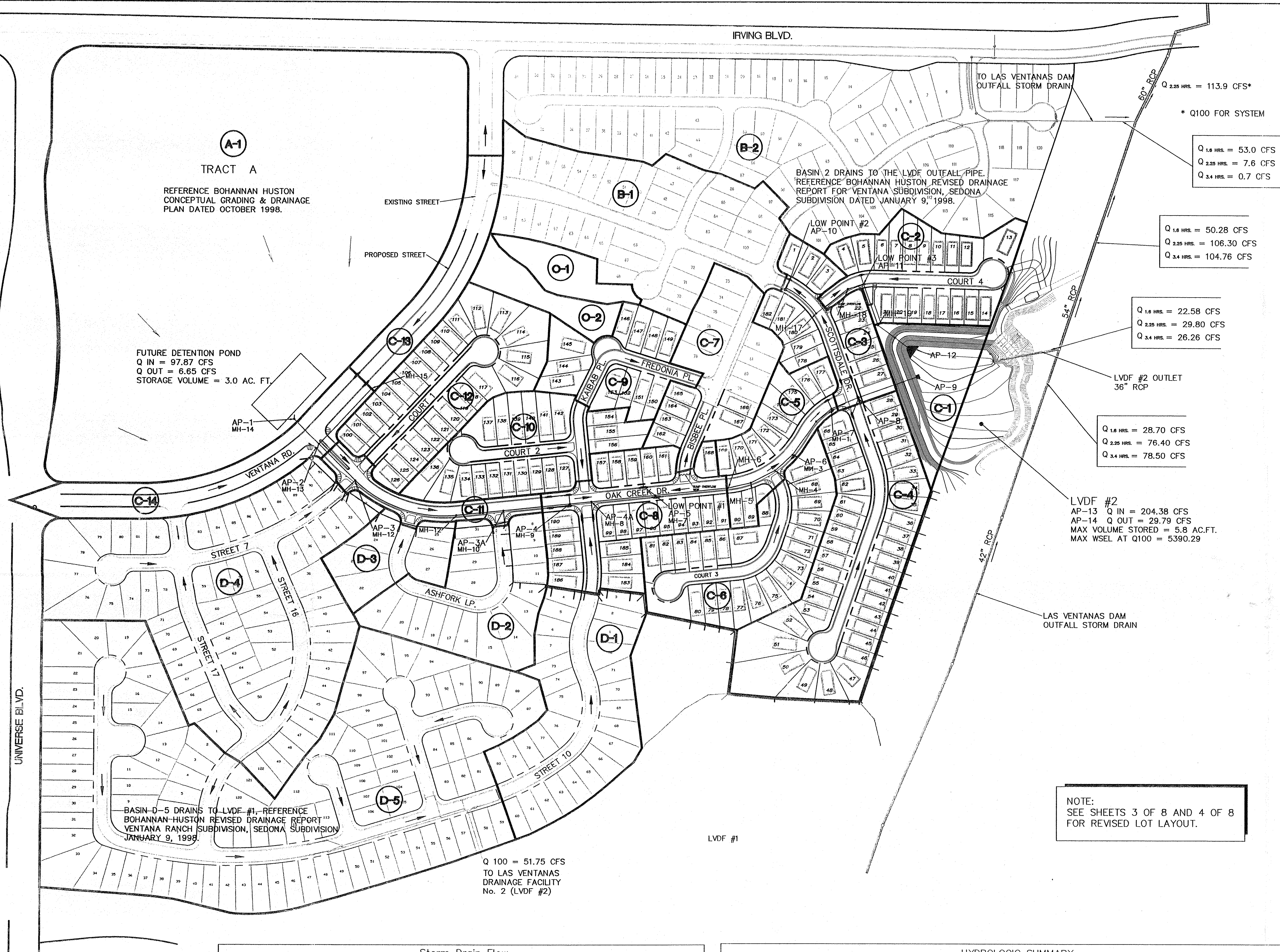
Based upon the information provided in your submittal dated April 23, 2001, the above referenced plan is adequate to satisfy the Grading and Drainage Certification requirements for Release of Financial Guaranty.

If you have any questions, please call me at 924-3986.

Sincerely,

Bradley L. Bingham, P.E.
Senior Civil Engineer, Hydrology
Public Works Dept., C.O.A.

C: Arlene Portillo, PWD - #641681
File



Storm Drain Flow Analysis Points							
Analysis Point	Description	Hyd. No.	Storm Drain		Street	Total	
			Volume 100 yr. 24 hr. V (ac-ft)	Discharge 100 yr. Q (cfs)	Discharge 100 yr. Q (cfs)	Discharge 100 yr. Q (cfs)	
AP-1	Manhole No. 14 - Tract A Pond Outflow	501	4.535	6.65	0.00	6.65	
AP-2	Manhole No. 13 - Sta. 10+50 Oak Creek Drive	107	5.091	16.86	0.00	16.86	
AP-3	Manhole No. 12 - Sta. 11+95 Oak Creek Drive	110	6.649	49.83	11.86	61.69	
AP-3A	Manhole No. 10 - Sta. 16+18 Oak Creek Drive	113	7.118	59.76	14.76	74.52	
AP-4	Manhole No. 9 - Sta. 18+10 Oak Creek Drive	122	8.065	77.20	0.00	77.20	
AP-4A	Manhole No. 8 - Sta. 18+70 Oak Creek Drive	125	8.709	91.09	10.12	101.21	
AP-5	Manhole No. 7 - Sta. 20+45 Oak Creek Drive (Sump)	131	9.640	111.08	0.00	111.08	
AP-6	Manhole No. 3 - Sta. 23+97 Oak Creek Drive	134	10.072	118.17	6.06	128.92	
AP-7	Manhole No. 1 - Sta. 26+40 Oak Creek Drive	137	10.411	128.88	0.20	129.08	
AP-8	Inlet - Sta. 27+20 Oak Creek Drive	140	11.220	146.89	0.00	146.89	
AP-9	Oak Creek SD Outlet into LVDF #2	141	11.220	147.30	0.00	147.30	
AP-10	Cattle Guard Inlet Sta. 10+05 Scottsdale Drive	160	1.397	46.44	0.00	46.44	
AP-11	Manhole No. 18 - Sta. 12+11 Court 4	163	2.341	56.22	0.00	56.22	
AP-12	Court 4 SD Outlet into LVDF #2	164	2.341	55.86	0.00	55.86	
AP-13	Combined Flow into LVDF #2 (Including the Basin Itself)	167	13.651	204.38	0.00	204.38	
AP-14	LVDF #2 Discharge into LVDF #1 Outfall Pipe	502	13.623	29.79	0.00	29.79	

HYDROLOGIC SUMMARY											
Basin I.D.	Description	Hyd No.	Area (Acres)	% Land A	Treatment B	C	D	Volume (ac-ft) 10 YR.	100 YR.	D'scharge (cfs) 10 YR.	100 YR.
A-1	Tract A *	101	24.91	0	5	10	85	2,827	4,554	62.96	97.87
B-1	Scottsdale Ave. - Sedonia Phase I	152	5.95	0	23	23	54	0.485	0.836	12.13	20.49
C-1	LVDF # 2	166	1.78	35	55	10	0	0.027	0.089	1.04	3.21
C-2	Court # 4	162	2.88	0	22	22	56	0.240	0.412	5.98	10.03
C-3	Scottsdale Ave. - North of Oak Creek	157	2.21	0	22	22	56	0.316	0.516	7.45	12.36
C-4	Scottsdale Ave. - South of Oak Creek	139	5.65	0	22	22	56	0.472	0.809	10.54	17.80
C-5	Oak Creek - Sta. 22+50 to Sta. 26+60	136	1.83	0	22	22	56	0.153	0.262	3.80	6.38
C-6	Court # 3	133	3.55	0	22	22	56	0.297	0.509	7.37	12.36
C-7	Bisbee Place - Sedonia Phase I	156	2.73	0	23	23	54	0.228	0.390	5.66	9.49
C-8	Oak Creek - Sta. 18+00 to Sta. 22+50	129	3.41	0	22	22	56	0.285	0.488	7.08	11.87
C-9	Fredonia Place	154	2.10	0	22	22	56	0.175	0.301	4.36	7.31
C-10	Court # 2	127	3.10	0	22	22	56	0.259	0.443	5.76	9.72
C-11	Oak Creek - Sta. 10+50 to Sta. 18+00	119	1.02	0	0	20	80	0.112	0.182	2.34	3.65
C-12	Court # 15	115	1.15	0	22	22	56	0.334	0.556	7.06	11.86
C-13	Ventana Road - Sta. 10+60 to Sta. 19+00	103	7.70	14	30	0	56	0.133	0.229	3.12	5.42
C-14	Ventana Road - Sta. 0+00 to Sta. 10+60	104	2.43	14	30	0	56	0.190	0.327	4.45	7.72
D-1	Street 10 - Sta. 10+50 to Sta. 19+65	124	4.50	0	22	22	56	0.462	0.644	11.48	15.66
D-2	East Part of Loop 1	112	3.28	0	22	22	56	0.274	0.470	6.81	11.43
D-3	West Part of Loop 1	117	1.47	0	22	22	56	0.123	0.211	3.06	5.13
D-4	Street 7, Street 16, and Street 16 - Sta. 10+00 to Sta. 17+05	109	10.90	0	22	22	56	0.909	1.558	19.67	33.03
O-1	Open Space	150	0.82	35	55	10	0	0.012	0.041	0.48	1.48*
O-2	Open Space	148	0.90	35	55	10	0	0.014	0.045	0.52	1.62
Runoff Volume Total								8.171	13.626		

NOTE:
SEE SHEETS 3 OF 8 AND 4 OF 8
FOR REVISED LOT LAYOUT.

Easterling & Associates, Inc.
CONSULTING ENGINEERS
2600 The American Rd., SE, Suite 100
Rio Rancho, New Mexico 87124
(505) 898-8021 FAX (505) 898-8501
E-Mail: ejr_enr@swcp.com

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP

VENTANA RANCH, SEDONA SUBDIVISION, TRACT C-1
DRAINAGE REPORT - EXHIBIT B

OVERALL DRAINAGE PLAN AND MODELING MAP

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	Mo./DAY/YR.	Mo./DAY/YR.
		LAST DESIGN UPDATE	
CITY PROJECT No.	ZONE MAP NO.	SHEET	OF
XXXXXX	B-10	1	8

RECEIVED
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HYDROLOGY SECTION					
AS BUILT INFORMATION					
TRACTOR					
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DESIGNED BY	DATE				
SECTOR'S	DATE				
FINANCE BY	DATE				
IGATION BY	DATE				
WINGS	DATE				
DIRECTED BY	DATE				
MICRO-FILM INFORMATION					
PROD BY	DATE				

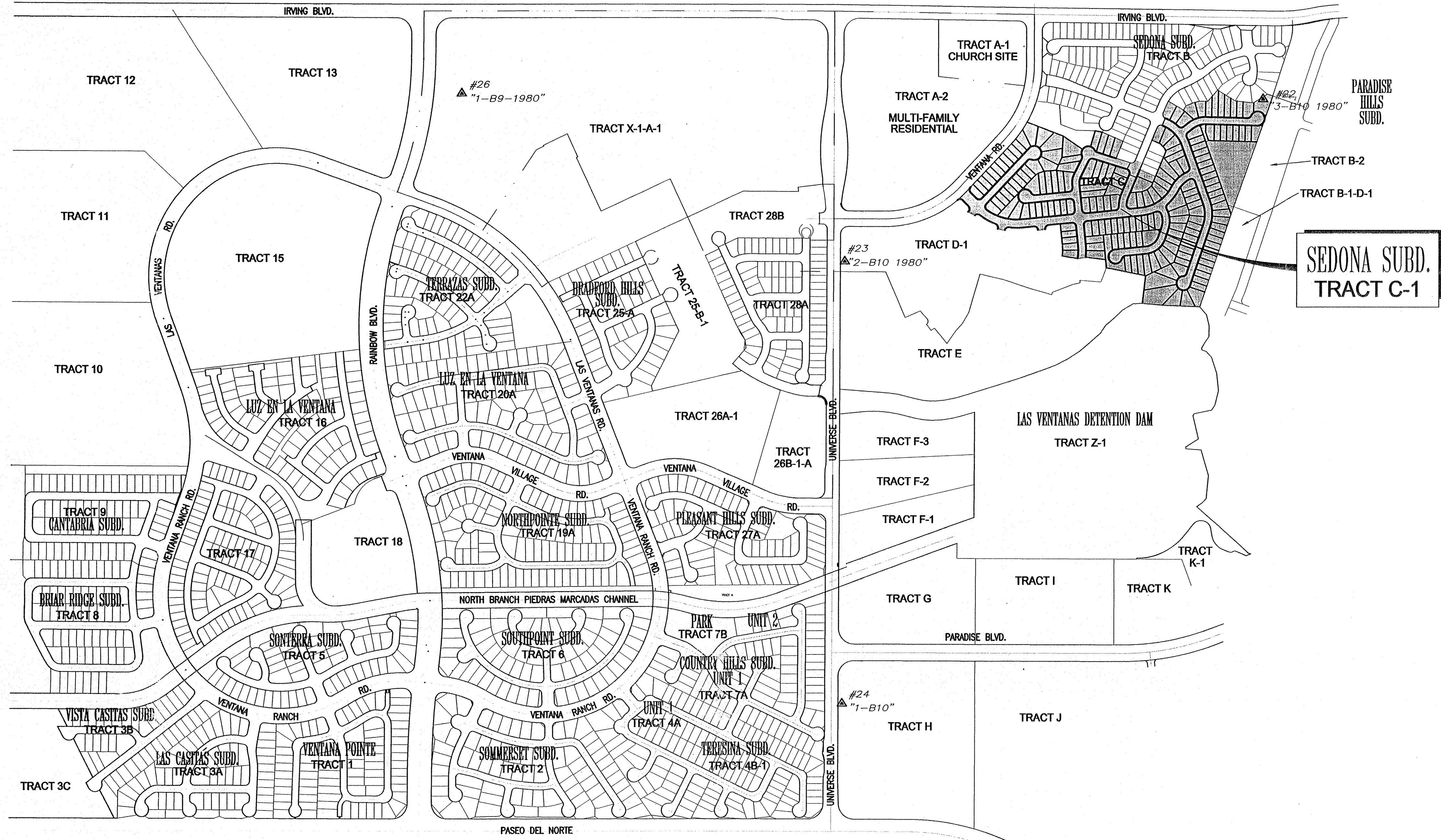
<i>BENCH MARKS</i>					
AOS BRASS TABLET "3-B10"	ELEV.	=	5404.40	CONT.	
LOCATED 465' WEST OF LA PAZ ST. AND 75' NORTH OF PALO VERDE ST. SET 0.3' ABOVE THE GROUND.					
X = 360,239.42	Y = 1,529,014.85	NAD	1927	FIELD NO.	
				CORRECTION	
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	REMARKS
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EXHIBIT B		
ND MODELING MAP		
LAST DESIGN UPDATE	Mo./DAY/YR.	
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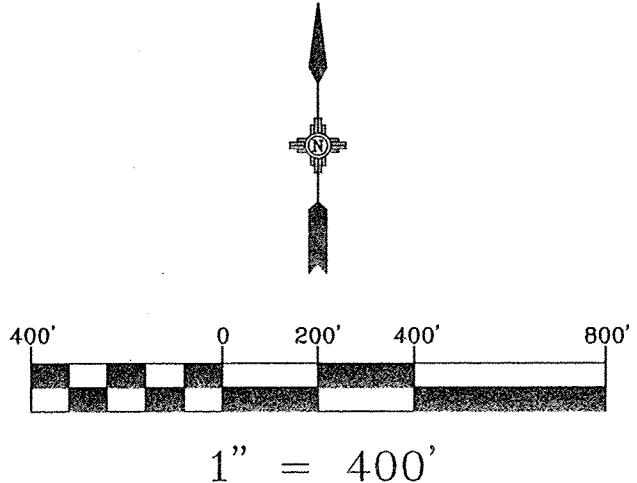
CONTROL POINTS				
NAME	NORTHING	EASTING	ELEVATION	
21 "UNION 1969"	1523954.1440	353528.0688	5522.15	
22 "3-B10"	1529529.8245	360360.8576	5404.40	
23 "2-B10"	1529491.1261	357664.2068	5429.35	
24 "1-B10"	1525662.2074	357647.1265	5419.52	
26 "1-B9"	1529571.9290	355196.5763	5450.51	

#21
"UNION 1969"

NOTE:
SEE SHEETS 3 OF 8 AND 4 OF 8
FOR REVISED LOT LAYOUT.

DUST AND EROSION CONTROL GENERAL NOTES

- THE ALBUQUERQUE/BERNALILLO COUNTY AIR QUALITY CONTROL BOARD REQUIRES THAT A DUST CONTROL PLAN BE PREPARED AND A TOPSOIL DISTURBANCE PERMIT BE OBTAINED PRIOR TO ANY SOIL DISTURBANCE EXCEEDING 0.75 ACRES. CONTRACTOR SHALL OBTAIN A TOPSOIL DISTURBANCE PERMIT FROM THE CITY OF ALBUQUERQUE ENVIRONMENTAL HEALTH DEPARTMENT AIR POLLUTION CONTROL DIVISION PRIOR TO THE START OF SOIL DISTURBANCE ACTIVITIES. SEPARATE PLANS AND PERMITS MAY BE REQUIRED FOR SEPARATE PROJECT AREAS, BORROW SITES, DISPOSAL SITES, ETC. CONTACT LARRY CAUDILL AT 768-2600.
- CONTRACTOR SHALL IMPLEMENT AND MAINTAIN DUST CONTROL MEASURES TO MINIMIZE WIND BORNE EROSION OF MATERIALS FROM THE PROJECT AREA. DUST CONTROL MEASURES MAY INCLUDE BUT ARE NOT LIMITED TO PRE-WETTING, WATERING, MULCH, REVEGETATION, DRIFT/SILT FENCING, WOODEN LATH SNOW FENCING, GROUND COVERS, SOIL STABILIZERS, COMPACTION TO HARD SURFACE CRUST AND HALTING SOIL DISTURBANCE ACTIVITIES. DUST CONTROL MEASURES SHALL BE IMPLEMENTED AS DETERMINED IN CONSULTATION WITH THE CONTRACTOR, ENGINEER AND THE CITY OF ALBUQUERQUE ENVIRONMENTAL HEALTH DEPARTMENT AIR POLLUTION CONTROL DIVISION.
- CONTRACTOR SHALL IMPLEMENT AND MAINTAIN EROSION CONTROL MEASURES TO MINIMIZE THE WATER BORNE EROSION OF SEDIMENT FROM THE PROJECT AREA. EROSION CONTROL MEASURES MAY INCLUDE BUT ARE NOT LIMITED TO GROUND COVERS, SOIL STABILIZERS, MULCH, REVEGETATION, CONTOUR GRADING, SWALES, BERMS, SEDIMENT PONDS, SEDIMENT/SILT FENCING, FILTER FABRICS AND/OR MATERIALS, AND STRAW BALES. EROSION CONTROL MEASURES SHALL BE IMPLEMENTED AS DETERMINED IN CONSULTATION WITH THE CONTRACTOR, ENGINEER, AND THE CITY OF ALBUQUERQUE ENVIRONMENTAL HEALTH DEPARTMENT AIR POLLUTION CONTROL DIVISION.
- ADDITIONAL DUST CONTROL AND/OR EROSION CONTROL MEASURES MAY BE REQUIRED DURING CONSTRUCTION DEPENDING ON UNFORESEEN CIRCUMSTANCES AND WEATHER CONDITIONS. ANY ADDITIONAL MEASURES SHALL BE IMPLEMENTED AS DETERMINED IN CONSULTATION WITH THE ENGINEER, CONTRACTOR AND THE CITY OF ALBUQUERQUE ENVIRONMENTAL HEALTH DEPARTMENT AIR POLLUTION CONTROL DIVISION.
- CONTRACTOR SHALL MINIMIZE SOIL DISTURBANCE TO THE EXTENT POSSIBLE. CLEAR AND GRUB WORK SHALL BE PERFORMED IN INCREMENTAL STEPS AS THE WORK PROGRESSES. REVEGETATION WORK SHALL ALSO BE PERFORMED IN INCREMENTAL STEPS AS THE WORK IS COMPLETED.
- CONTRACTOR SHALL MAKE ARRANGEMENTS FOR AND OBTAIN CONSTRUCTION WATER IN ACCORDANCE WITH THE POLICIES AND REQUIREMENTS OF THE WATER PROVIDER. CONTACT BOB GAY AT NEW MEXICO UTILITIES, INC. 898-2661.
- CONTRACTOR SHALL NOT ENTER ONTO PRIVATE PROPERTY TO IMPORT, EXPORT, OR HAUL MATERIAL WITHOUT WRITTEN PERMISSION FROM THE PROPERTY OWNER.
- CONTRACTOR SHALL PRE-WET THE WORK AREA PRIOR TO SOIL DISTURBANCE AND SHALL WATER THE SITE AS NECESSARY TO CONTROL DUST DURING CONSTRUCTION. CONTRACTOR SHALL LEAVE THE SITE IN A WET-DOWN, STABLE CONDITION AT THE END OF EACH WORK DAY. A SUFFICIENT DUST CONTROL WATER SUPPLY AND DUST CONTROL EQUIPMENT SHALL BE MAINTAINED AT THE PROJECT SITE AT ALL TIMES.
- IF SOIL OR WIND CONDITIONS ARE SUCH THAT DUST CANNOT BE CONFINED TO THE PROJECT SITE, CONTRACTOR SHALL VOLUNTARILY HALT SOIL DISTURBANCE ACTIVITIES UNTIL WINDS ABATE AND/OR DUST CAN BE EFFECTIVELY CONTROLLED.
- ALL TRUCKS HAULING IMPORT, EXPORT OR ONSITE MATERIAL SHALL BE EQUIPPED WITH SOUND BEDS, SIDEBARDS, TAILGATES AND COVERS MAINTAINED IN GOOD WORKING ORDER. COVERS SHALL BE USED AT ALL TIMES DURING HAULING OPERATIONS.
- CONTRACTOR SHALL PROMPTLY CLEAN UP ANY MATERIAL SPILLED, CARRIED, TRACKED OR ERODED ONTO ADJACENT PRIVATE PROPERTY OR PUBLIC RIGHT-OF-WAY. CONTRACTOR SHALL BE RESPONSIBLE FOR THE CLEANUP AND REMOVAL OF WATER BORNE AND WIND BORNE MATERIAL WHICH ORIGINATES FROM THE WORK AREA AND IS ATTRIBUTABLE TO PROJECT CONSTRUCTION.
- DRIFT/SILT FENCING SHALL BE ADP ENTERPRISES, INC. DURETHENE SNOW AND SAND CONTROL FENCING AWSF-4100-40, WOOD LATH SNOW FENCE OR APPROVED EQUAL INSTALLED AND MAINTAINED IN ACCORDANCE WITH MANUFACTURERS' RECOMMENDATIONS.
- SEDIMENT/SILT FENCING SHALL BE AMOCO PROPEX SILT STOP, AMERICAN EXCELSIOR COMPANY SILT STOP, MIRAFI, INC. SILT FENCE OR APPROVED EQUAL INSTALLED AND MAINTAINED IN ACCORDANCE WITH MANUFACTURERS' RECOMMENDATIONS.
- WHERE SOIL CONDITIONS PERMIT EFFECTIVE IMPLEMENTATION, CONTRACTOR MAY COMPACT DISTURBED SOIL AREAS TO A HARD SURFACE FOR TEMPORARY DUST CONTROL.
- IN AREAS WHERE FUTURE SOIL DISTURBANCE OR CONSTRUCTION BY OTHERS IS IMMINENT AND WHEN THE INTERIM NON-WORK TIME PERIOD DOES NOT ENCOMPASS ANY TIME BETWEEN FEBRUARY 15 AND MAY 15, CONTRACTOR MAY GRADE, SHAPE, MOISTURE PROCESS AND COMPACT DISTURBED SOIL AREAS TO FORM A SMOOTH, HARD SURFACE CRUST AFTER CONSTRUCTION WORK IS COMPLETE.
- EXCEPT AS OTHERWISE AUTHORIZED IN WRITING, CONTRACTOR SHALL GRADE, MULCH, CRIMP AND SEED ALL DISTURBED SOIL AREAS IN ACCORDANCE WITH SECTION 1012 REVEGETATION SEEDING OF THE PROJECT SPECIFICATIONS.



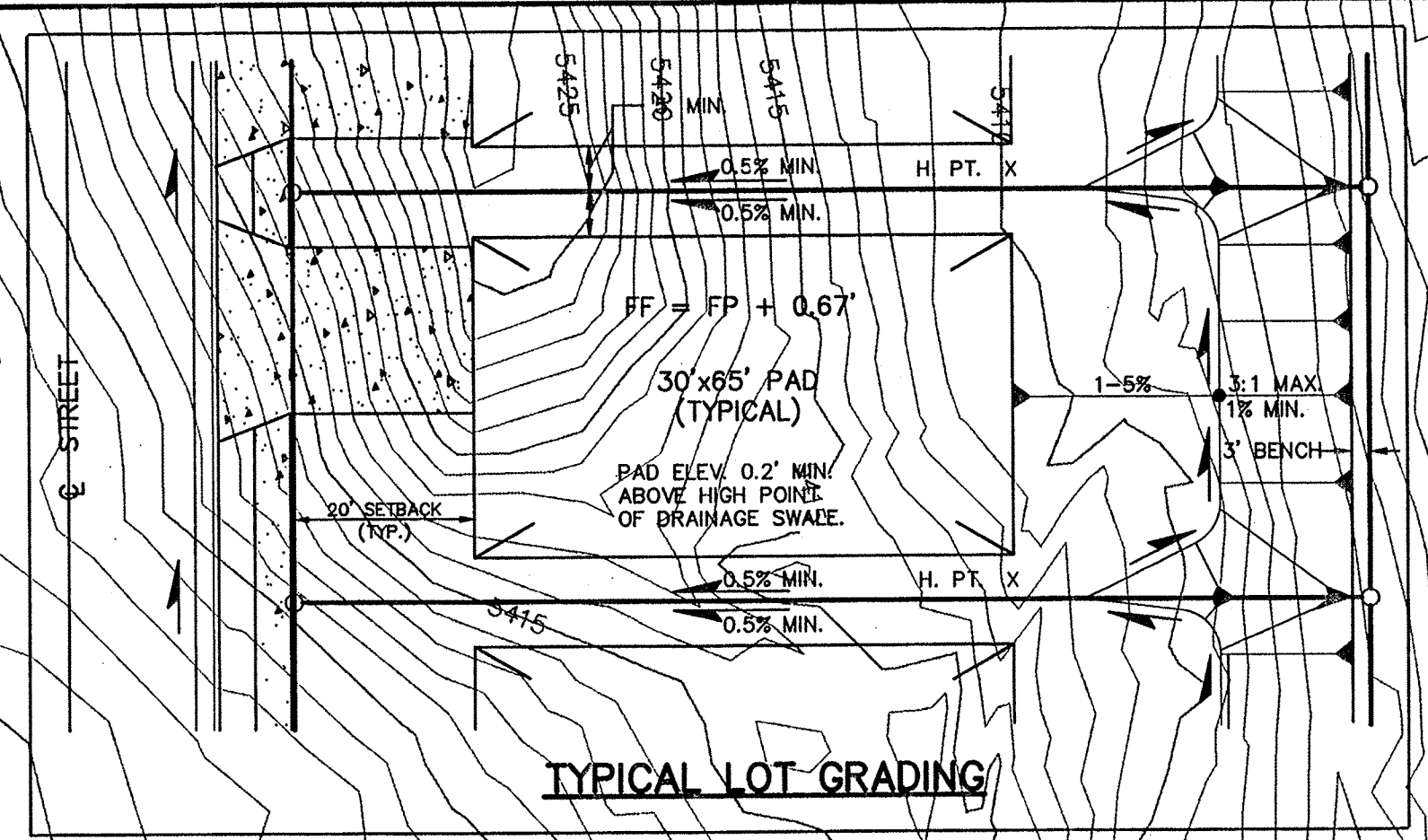
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CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING DEVELOPMENT GROUP	
VENTANA RANCH, SEDONA SUBDIVISION, TRACT C-1 DRAINAGE REPORT - EXHIBIT B VICINITY MAP, DUST & EROSION CONTROL NOTES	
DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL
LAST DESIGN UPDATE	Mo./DAY/YR.
CITY PROJECT No.	ZONE MAP No.
XXXXXX	B-10
SHEET	OF
2	8

ENGINEER'S SEAL		SURVEY INFORMATION		BENCH MARKS		AS BUILT INFORMATION	
FIELD NOTES		NO.		DATE		CONTRACTOR	
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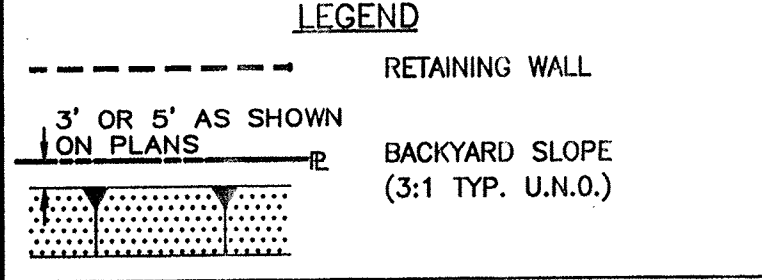
OPEN SPACE NOTE
CONTRACTOR SHALL FENCE OFF OPEN SPACE AREAS WITH PEANUT FLAGGING AND STEEL TEE-POSTS. CONTRACTOR SHALL NOT ENTER INTO OR DISTURB OPEN SPACE AREAS EXCEPT FOR THE MINIMUM AMOUNT NECESSARY TO CONSTRUCT REQUIRED CUT AND FILL SLOPES. DISTURBED AREAS SHALL BE REVEGETATED WITH NATIVE GRASS SEEDING IN ACCORDANCE WITH SECTION 1012. THIS WORK SHALL BE CONSIDERED INCIDENTAL TO OTHER CONSTRUCTION ITEMS AND NO SEPARATE MEASUREMENTS OR PAYMENT SHALL BE MADE.



ENGINEER'S CERTIFICATION
I, DANIEL S. AGUIRRE, DO HEREBY CERTIFY THAT THIS SITE IS GRADED AS HEREON AND IS IN SUBSTANTIAL COMPLIANCE WITH THE APPROVED DRAINAGE PLAN.

OPEN SPACE AREA
DO NOT DISTURB
SEE NOTE THIS SHEET

- GENERAL NOTES**
- CROSS LOT DRAINAGE WILL NOT BE PERMITTED.
 - ALL DRAINAGE SWALES AND YARD AREAS SHALL HAVE MINIMUM SLOPES OF 1% IN THE DIRECTIONS INDICATED BY THE FLOW ARROWS AND MAXIMUM SLOPES OF 3 HORIZ. TO 1 VERT.
 - BUILDING PADS SHALL BE SET AT LEAST 0.2' ABOVE THE HIGHEST ELEVATION OF ADJACENT SWALES.
 - DRIVEWAYS SHALL SLOPE TOWARD THE STREETS AT A MINIMUM SLOPE OF 1% AND A MAXIMUM SLOPE OF 14%.
 - USEABLE BACKYARD AREAS SHALL BE AT LEAST 30'x15', AND SHALL SLOPE AWAY FROM THE BUILDING PADS AT A GRADE BETWEEN 1% AND 5%.
 - WHERE YARD GRADES OF ADJACENT LOTS AT PROPERTY LINES CAN NOT BE MATCHED USING THE ABOVE CRITERIA, RETAINING WALLS SHALL BE PROVIDED AS NECESSARY TO ACCOMMODATE THE GRADE DIFFERENTIALS.

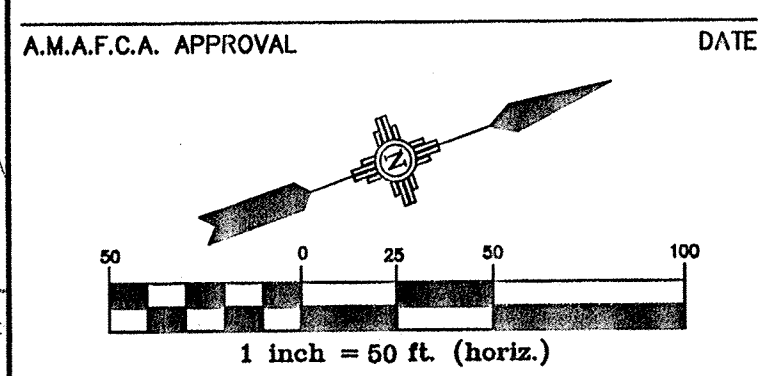


NOTE:
THE CONTRACTOR SHALL OBTAIN A TOPSOIL DISTURBANCE PERMIT PRIOR TO GRADING.

RETAINING WALL QUANTITY ESTIMATE

Wall Point	Top of Wall Elev	Top of Footing Elev	Wall Height (FT)	Approx. Wall Length (FT)	Average Wall Height	Average Wall Type
W-19	11.00	8.00	3.00	15.00	4.67	C
W-20	11.00	4.67	6.33	50.00	6.33	E
W-21	11.00	4.67	6.33	45.00	6.17	E
W-22	11.00	5.00	6.00	23.00	5.67	D
W-23	10.33	5.00	5.33	50.00	5.17	D
W-24	10.33	5.33	5.00	50.00	4.84	D
W-25	10.00	5.33	4.67	50.00	4.51	C
W-26	9.67	5.33	4.34	50.00	4.17	C
W-27	9.33	5.33	4.00	50.00	4.00	C
W-28	9.33	5.33	4.00	25.00	3.67	C
W-29	9.00	5.67	3.33	45.00	3.84	C
W-35	6.00	2.00	4.00	35.00	3.51	C
W-36	6.00	2.33	3.67	35.00	3.51	C
W-37	5.67	2.33	3.34	35.00	3.51	C

SEE SHEET 5 FOR RETAINING WALL TYPES AND DETAILS.



Easterling & Associates, Inc.
CONSULTING ENGINEERS
2600 The American Rd., SE, Suite 100
Rio Rancho, New Mexico 87124
(505) 898-8021 FAX (505) 898-8501
E-Mail: eal_engr@swcp.com

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP
VENTANA RANCH, SEDONA SUBDIVISION, TRACT C-1
DRAINAGE REPORT - EXHIBIT B
GRADING PLAN - WEST PORTION OF SITE

DESIGN REVIEW COMMITTEE CITY ENGINEER APPROVAL
DRB APPROVED GRADING / DRAINAGE PLAN
APR 23 2001

CITY PROJECT No. XXXXXX B-10' SHEET 3 OF 8

AS BUILT INFORMATION

CONTRACTOR: _____ ELEV. = 5404.40
STARTED BY: _____ DATE: _____
INSPECTOR'S: _____ DATE: _____
FIELD NOTES BY: _____ DATE: _____
VERIFICATION BY: _____ DATE: _____
CORRECTED BY: _____ DATE: _____

BENCH MARKS

AS BRASS TABLET "3-510" ELEV. = 5404.40
LOCATED 485' WEST OF LA PAZ ST. AND 75' NORTH
OF PALO VERDE ST. SET 0.3' ABOVE THE GROUND.
X = 360,239.42 Y = 1,529,014.85 NAD 1927

SURVEY INFORMATION

FIELD NOTES BY: _____ NO. _____

ENGINEER'S SEAL

NO. _____ DATE _____

REMARKS

DESIGNED BY: DSH DATE 1-24-00
DRAWN BY: DEC DATE 1-24-00
CHECKED BY: RPB DATE 1-24-00

DESIGN

DESIGNED BY: DSH DATE 1-24-00
DRAWN BY: DEC DATE 1-24-00
CHECKED BY: RPB DATE 1-24-00

