



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

June 21, 2004

Scott McGee, P.E.
Isaacson & Arfman, P.A.
128 Monroe St. NE
Albuquerque, NM 87108

**Re: Ventana Square Access Drives, Ventana Ranch Tracts H-1 thru H-4,
Grading and Drainage Plan
Engineer's Stamp dated 5-18-04 (B10-D3C)**

Dear Mr. McGee,

Based upon the information provided in your submittal received 5-18-04, the above referenced plan is approved for Paving Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology. Upon completion of the project, please provide an Engineer Certification for our files. This plan must comply with the EPC approved site plan.

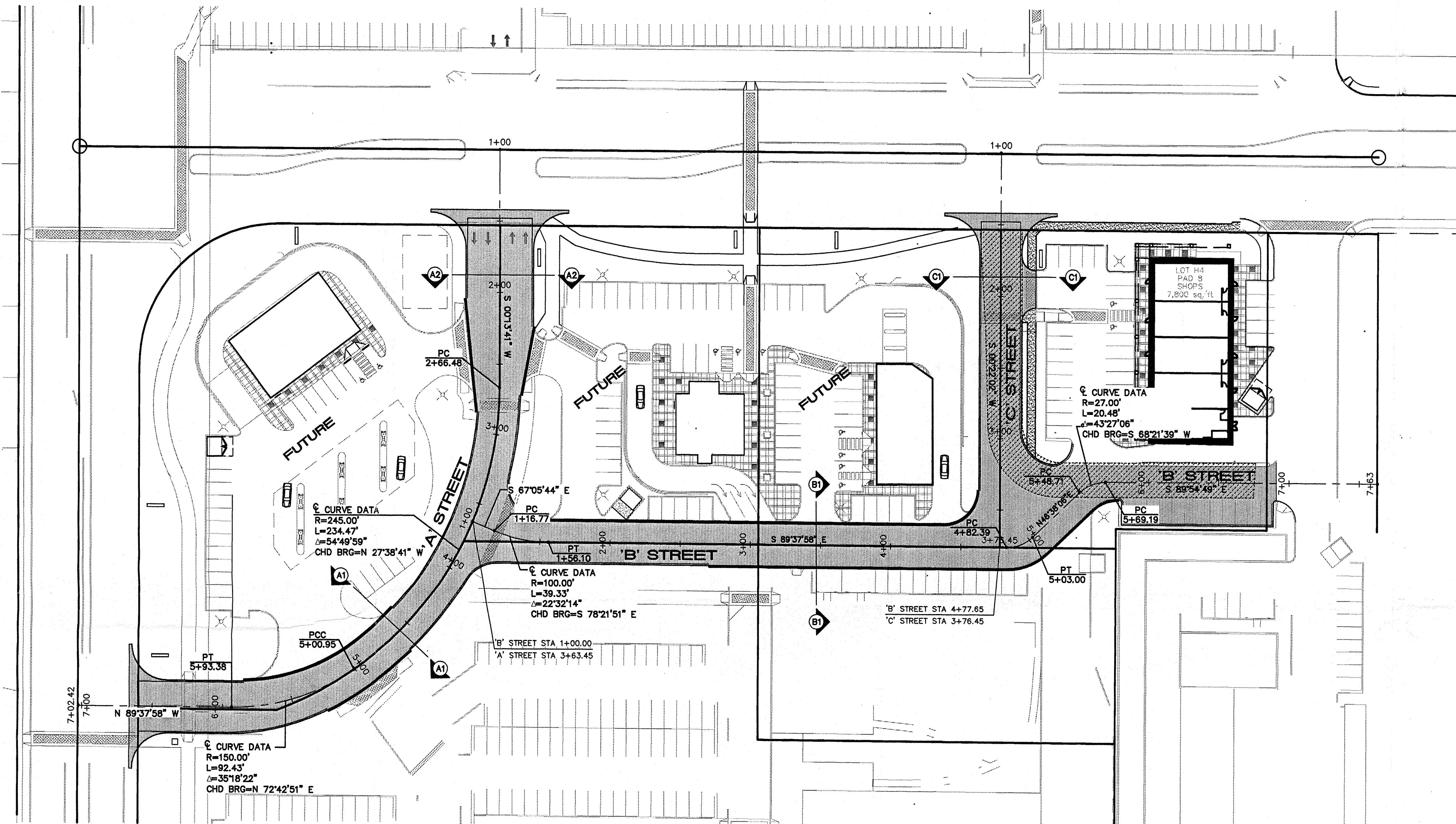
This project requires a National Pollutant Discharge Elimination System (NPDES) permit. If you have any questions regarding this permit please feel free to call the DMD Storm Drainage Design section at 768-3654 (Charles Caruso) or 768-3645 (Bryan Wolfe).

If you have any questions, you can contact me at 924-3981.

Sincerely,

Kristal D. Metro
Engineering Associate, Planning Dept.
Development and Building Services

C: Charles Caruso, DMD Storm Drainage Design
file

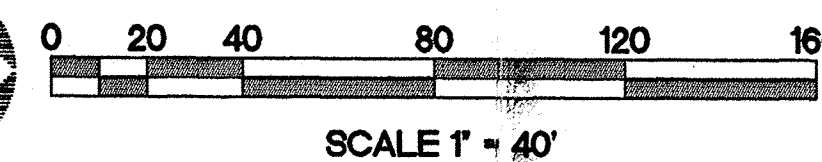


GENERAL NOTES

- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION 1986 EDITION AS AMENDED WITH UPDATE NO. 7.
- ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE, AND LOCAL LAWS, RULES, AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE & VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH MINIMUM DELAY.
- TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, NM ONE CALL SYSTEMS, INC. @ 260-1990 FOR LOCATION OF EXISTING UTILITIES.
- CONTRACTOR SHALL CONDUCT HIS OPERATIONS IN A MANNER WHICH WILL MINIMIZE INTERFERENCE WITH LOCAL TRAFFIC. CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE LAWS, ORDINANCES, RULES, REGULATIONS, AND ORDERS OF ANY PUBLIC BODY HAVING JURISDICTION FOR THE SAFETY OF PERSONS OR PROPERTY, AND TO PROTECT THEM FROM DAMAGE, INJURY, OR LOSS. CONTRACTOR SHALL ERECT AND MAINTAIN, AS REQUIRED BY THE CONDITIONS AND PROGRESS OF THE WORK, ALL NECESSARY SAFEGUARDS FOR SAFETY CONTINUOUSLY AND NOT LIMITED TO NORMAL WORKING HOURS, THROUGHOUT THE DURATION OF THE PROJECT. CONTRACTOR SHALL ADHERE TO SECTION 19 OF THE GENERAL CONDITIONS OF THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986, AS AMENDED WITH UPDATE NO. 7.
- THE CONTRACTOR AGREES THAT HE SHALL ASSUME THE SOLE AND COMPLETE RESPONSIBILITY FOR THE JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY, AND HOLD HARMLESS THE OWNER & ENGINEER FROM ANY AND ALL LIABILITY REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR ENGINEER.

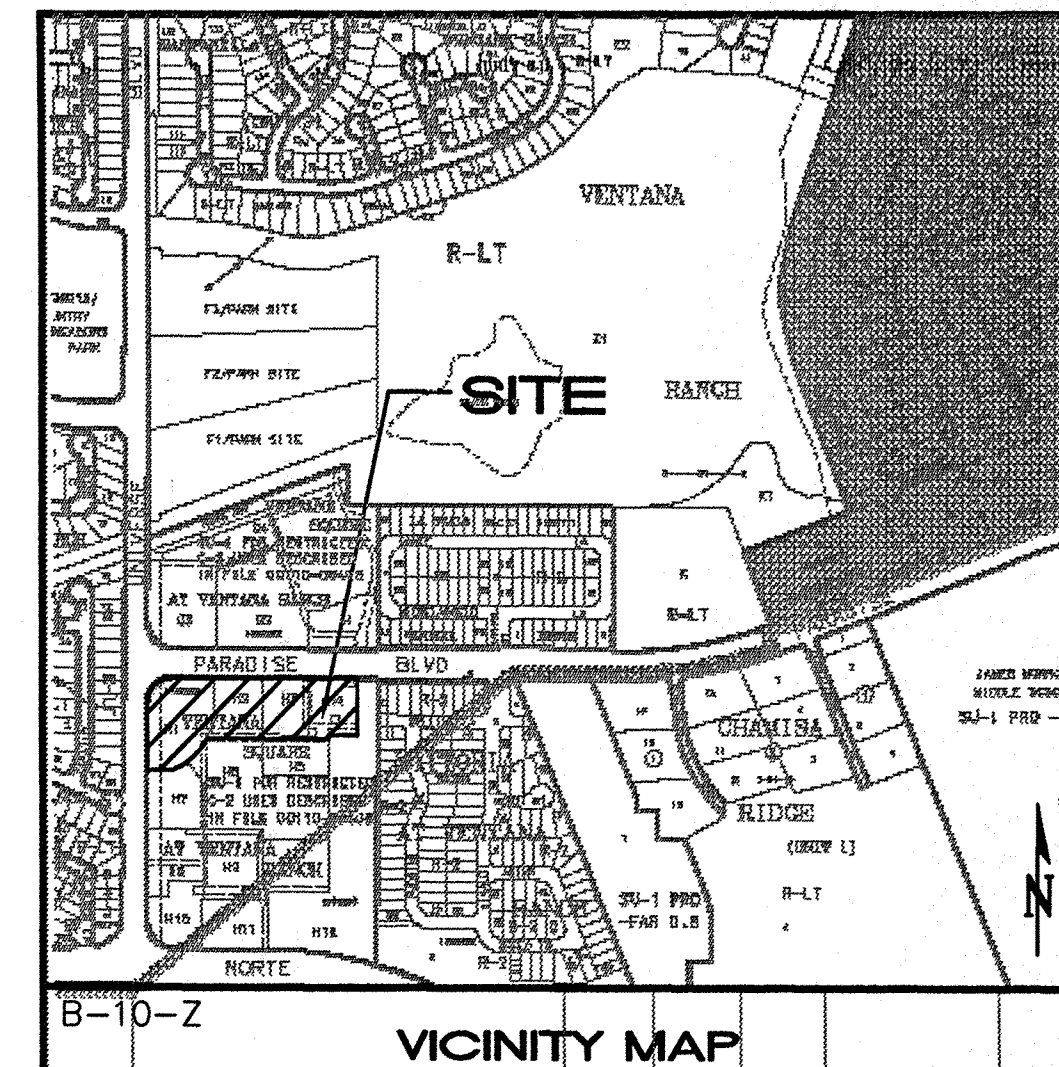
- TRAFFIC CONTROL: FIVE (5) WORKING DAYS PRIOR TO BEGINNING CONSTRUCTION THE CONTRACTOR SHALL SUBMIT TO THE CONSTRUCTION COORDINATION DIVISION A DETAILED CONSTRUCTION SCHEDULE. TWO (2) WORKING DAYS PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL OBTAIN A BARRICADING PERMIT FROM THE CONSTRUCTION COORDINATION DIVISION. CONTRACTOR SHALL NOTIFY BARRICADING ENGINEER (924-3400) PRIOR TO OCCUPYING AN INTERSECTION. SEE SECTION 19 OF THE SPECIFICATIONS. ALL STREET STRIPING ALTERED OR DESTROYED SHALL BE REPLACED WITH PLASTIC REFLECTORIZED PAVEMENT MARKINGS BY CONTRACTOR TO LOCATION AS EXISTING OR AS SHOWN IN THIS PLAN SET.
- WHEN ABUTTING EXISTING PAVEMENT TO NEW, SAWCUT EXISTING PAVEMENT TO STRAIGHT EDGE AND AT A RIGHT ANGLE, OR AS APPROVED BY THE FIELD ENGINEER. REMOVAL OF BROKEN OR CRACKED PAVEMENT WILL ALSO BE REQUIRED.
- EXISTING CURB AND GUTTER NOT TO BE REMOVED UNDER THE CONTRACT WHICH IS DAMAGED OR DISPLACED BY THE CONTRACTOR SHALL BE REMOVED AND REPLACED BY THE CONTRACTOR AT HIS EXPENSE.
- ALL FINAL BACKFILL FOR TRENCHES SHALL BE COMPACTED TO A MINIMUM 90 % MAXIMUM DENSITY PER ASTM D-1557 AND AS DIRECTED BY SECTION 701.14.2 AND STANDARD DRAWING NUMBER 2315.
- THE CONTRACTOR SHALL PROMPTLY CLEAN UP ANY MATERIAL EXCAVATED WITHIN THE PUBLIC RIGHT-OF-WAY OR PRIVATE ROADWAY EASEMENTS SO THAT THE EXCAVATED MATERIAL IS NOT SUSCEPTIBLE TO BEING WASHED DOWN THE STREET OR INTO ANY PUBLIC DRAINAGE FACILITY.
- PROPOSED WATERLINE MATERIALS SHALL BE EITHER PVC PIPE MEETING AWWA C900 REQUIREMENTS (6"-12") OR DUCTILE IRON PIPE, THICKNESS CLASS 50 (6"-16").
- ALL SANITARY SEWER LINE STATIONING REFERS TO SANITARY SEWER CENTERLINE STATIONING.
- ALL FITTINGS ON WATERLINES SHALL HAVE RESTRAINED JOINTS AS NOTED ON THE PLANS.

- CONTRACTOR SHALL SUPPORT ALL EXISTING, UNDERGROUND UTILITY LINES WHICH BECOME EXPOSED DURING CONSTRUCTION. PAYMENT FOR SUPPORTING WORK SHALL BE INCIDENTAL TO WATER-LINE AND/OR SEWERLINE COSTS.
- CONTRACTOR SHALL ASSIST THE ENGINEER/INSPECTOR IN THE RECORDING OF DATA ON ALL UTILITY LINES AND ACCESSORIES AS REQUIRED BY THE CITY OF ALBUQUERQUE FOR THE PREPARATION OF RECORD DRAWINGS. CONTRACTOR SHALL NOT COVER UTILITY LINES AND ACCESSORIES UNTIL ALL DATA HAS BEEN RECORDED.
- THE CONTRACTOR SHALL NOTIFY THE ENGINEER NOT LESS THAN SEVEN (7) DAYS PRIOR TO STARTING WORK IN ORDER THAT THE ENGINEER MAY TAKE NECESSARY MEASURES TO INSURE THE PRESERVATION OF SURVEY MONUMENTS. CONTRACTOR SHALL NOT DISTURB PERMANENT SURVEY MONUMENTS WITHOUT THE CONSENT OF THE ENGINEER AND SHALL NOTIFY THE ENGINEER AND BEAR THE EXPENSE OF REPLACING ANY THAT MAY BE DISTURBED WITHOUT PERMISSION. REPLACEMENT SHALL BE DONE ONLY BY THE CITY SURVEYOR. WHEN A CHANGE IS MADE IN THE FINISHED ELEVATIONS OF THE PAVEMENT OF ANY ROADWAY IN WHICH A PERMANENT SURVEY MONUMENT IS LOCATED, CONTRACTOR SHALL, AT HIS OWN EXPENSE, ADJUST THE MONUMENT COVER TO THE NEW GRADE UNLESS OTHERWISE SPECIFIED. REFER TO SECTION 4.4 OF THE GENERAL CONDITIONS OF THE STANDARD SPECIFICATIONS.
- PNM WILL PROVIDE AT NO COST TO THE CITY OR THE CONTRACTOR THE REQUIRED PERSONNEL FOR INSPECTION OR OBSERVATION DEEMED NECESSARY BY PNM WHILE THE CONTRACTOR IS EXPOSING PNM'S CABLES. HOWEVER, THE CONTRACTOR SHALL BE CHARGED THE TOTAL COST ASSOCIATED WITH REPAIRS TO ANY DAMAGED CABLES OR FOR ANY COST ASSOCIATED WITH SUPPORTING OR RELOCATING THE POLES AND CABLES DURING CONSTRUCTION.
- WARNING--EXISTING UTILITY LINE LOCATIONS ARE SHOWN IN AN APPROXIMATE MANNER ONLY, AND SUCH LINES MAY EXIST WHERE NONE ARE SHOWN. THE LOCATION OF ANY SUCH EXISTING LINES IS BASED UPON INFORMATION PROVIDED BY THE UTILITY COMPANY, THE OWNER, OR BY OTHERS, AND THE INFORMATION MAY BE INCOMPLETE OR MAY BE OBSOLETE BY THE TIME CONSTRUCTION COMMENCES. THE ENGINEER HAS UNDERTAKEN NO FIELD VERIFICATION OF THE LOCATION, DEPTH, SIZE, OR TYPE OF EXISTING UNDERGROUND UTILITY LINES, MAKES NO



REPRESENTATION PERTAINING THERETO, AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREFOR. THE CONTRACTOR SHALL INFORM ITSELF OF THE LOCATION OF ANY UTILITY LINE IN OR NEAR THE AREA OF THE WORK IN ADVANCE OF AND DURING EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY, AND PRESERVE ANY AND ALL EXISTING UTILITIES. THE CONTRACTOR SHALL COMPLY WITH STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES, IN PLANNING AND CONDUCTING EXCAVATION, WHETHER BY CALLING OR NOTIFYING THE UTILITIES, COMPLYING WITH "BLUE STAKES" PROCEDURES, OR OTHERWISE.

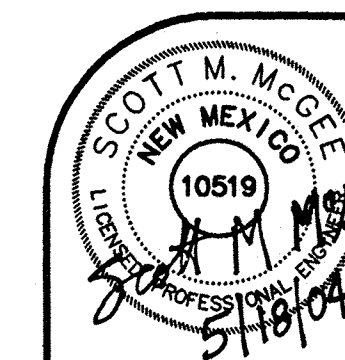
- ANY WORK OCCURRING WITHIN A FULLY DEVELOPED ARTERIAL ROADWAY REQUIRES 24 HR. CONSTRUCTION.
- ALL EXCAVATION, TRENCHING AND SHORING ACTIVITIES MUST BE ACCOMPLISHED IN ACCORDANCE WITH OSHA 29CFR 1926.650 SUBPART P.
- CONTRACTOR SHALL MAINTAIN A GRAFFITI-FREE WORK SITE. CONTRACTOR SHALL PROMPTLY REMOVE ANY AND ALL GRAFFITI FROM EQUIPMENT, WHETHER PERMANENT OR TEMPORARY.



VICINITY MAP

DRAWING INDEX

- C-1 MASTER PAVING PLAN
- C-2 DG PLAN - WEST
- C-3 DG PLAN - EAST



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Revisions

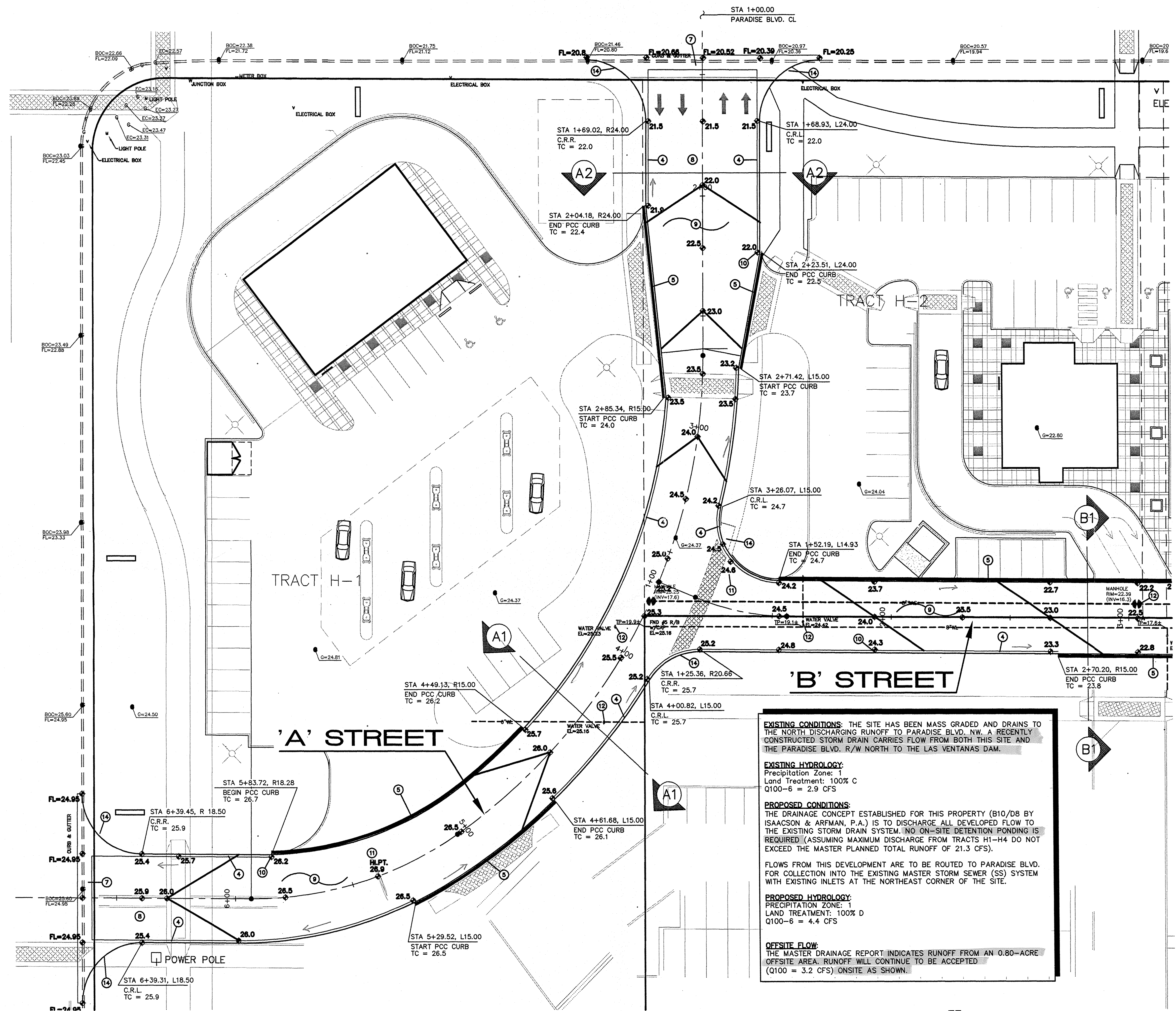
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VENTANA RANCH TRACTS H-1 THRU H-4

Scale 1" = 40' Drawn By: BJB Checked By: SMM Job Number: Date: 05.18.04

MASTER PAVING PLAN

C-1
SH. OF



KEYED CONSTRUCTION NOTES

- LOT H-4 WILL BE UNDER CONSTRUCTION CONCURRENTLY WITH PROPOSED ACCESS ROAD CONSTRUCTION.
- EXISTING ASPHALT PAVING THIS AREA. MATCH TOP OF EXISTING PAVING TO PROVIDE SMOOTH RIDING TRANSITION. SAWCUT EXISTING PAVING IF NECESSARY TO PROVIDE CLEAN BONDING EDGE. FIELD ADJUST TO PROVIDE POSITIVE DRAINAGE.
- EXISTING 'TEMPORARY' ASPHALT ACCESS ROAD THIS AREA. OVERLAY MIN. 1" TO ACHIEVE NEW GRADES SHOWN. PROVIDE SMOOTH TRANSITION. REMOVE / REPLACE AS NECESSARY TO ENSURE POSITIVE DRAINAGE.
- CONSTRUCT MEDIAN CURB AND GUTTER PER C.O.A. STD. DWG. #2415A.
- CONSTRUCT TEMPORARY ASPHALT CURB PER C.O.A. STD. DWG. #2415B FOR EXTENTS SHOWN. TO BE REMOVED AS PART OF ADJACENT LOT DEVELOPMENT.
- REMOVE EXISTING CONCRETE DRIVE PAD THIS AREA.
- CONSTRUCT PRIVATE ENTRANCE PER C.O.A. STD. DWG. #2426. INCLUDE VALLEY GUTTER AND HANDICAP RAMPS AS REFERENCED.
- PROVIDE CROWN TO NO CROWN TRANSITION 50' MIN. LENGTH.
- PROPOSED ASPHALT PAVING. CONSTRUCT AT ELEVATIONS SHOWN. SEE ARCHITECTURAL FOR INFORMATION REGARDING PARKING LAYOUT, DIMENSIONS, STRIPING, PAVING SECTION, ETC. PAVING SLOPE VARIES WITH 0.0100'/' MINIMUM AND 0.0800'/' MAXIMUM.
- GENERAL NOTE: ALL SPOT ELEVATIONS WITHIN PAVEMENT AREA REPRESENT TOP OF PAVING UNLESS NOTED. ADD 0.5' TYPICAL FOR TOP OF CURB ELEVATIONS.
- HIGH POINT IN PAVEMENT THIS AREA.
- EXISTING UTILITY LINES (W AND SAS) AND RIM ELEVATIONS SHOWN ARE PROVIDED FOR INFORMATION ONLY. CONTRACTOR TO ADJUST ALL EXISTING UTILITIES TO FINISH GRADE. TOP OF WATERLINE AND MH INV. INFORMATION TAKEN FROM ORIGINAL DESIGN DOCUMENTS. MH RIM AND WATERVALVE SURFACE ELEVATIONS ARE AS SURVEYED.

GENERAL INFORMATION

PROPOSED IMPROVEMENTS: APPROXIMATELY 1,400 ASPHALT PAVED ACCESS DRIVE WITH ASSOCIATED MEDIAN CURB AND GUTTER, DRIVE ENTRANCES, HANDICAP RAMPS AND TEMPORARY ASPHALT CURB AS SHOWN. THE SITE IS BEING DEVELOPED AS A PART OF AN OVERALL COMMERCIAL DEVELOPMENT. THE PROPERTY SLOPES TO THE NORTHEAST AT APPROXIMATELY 2.5%. THE PROPERTY IS BOUNDED BY PARADISE BLVD. NW TO THE NORTH, UNDEVELOPED COMMERCIAL PROPERTY TO THE WEST, A STORAGE FACILITY TO THE SOUTH AND A DEVELOPED RESIDENTIAL SUBDIVISION TO THE EAST.

LEGAL DESCRIPTION: A NORTHERLY PORTION OF TRACT HA, VENTANA RANCH

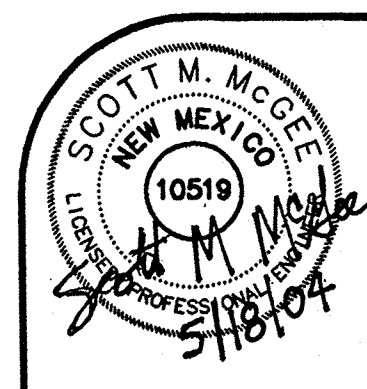
AREA: 4.52 ACRES (196,969 SF)

BENCHMARK: ELEVATIONS ARE BASED ON CITY OF ALBUQUERQUE STATION NO. "2-B10", HAVING AN ELEVATION OF 5429.35.

FLOOD ZONE DESIGNATION: THE SITE IS LOCATED OUTSIDE OF THE 500-YR FLOOD PLAIN BOUNDARY AS SHOWN ON THE FEMA FIRM PANEL.

LEGEND

78.3	PROPOSED SPOT ELEVATION
—	FLOW ARROW
—	SIDEWALK CULVERT
BOC 81.95 FL 81.45	TOP OF CURB ELEVATION
FL	FLOWLINE ELEVATION
G	EXISTING GRADE ELEVATION



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Revisions

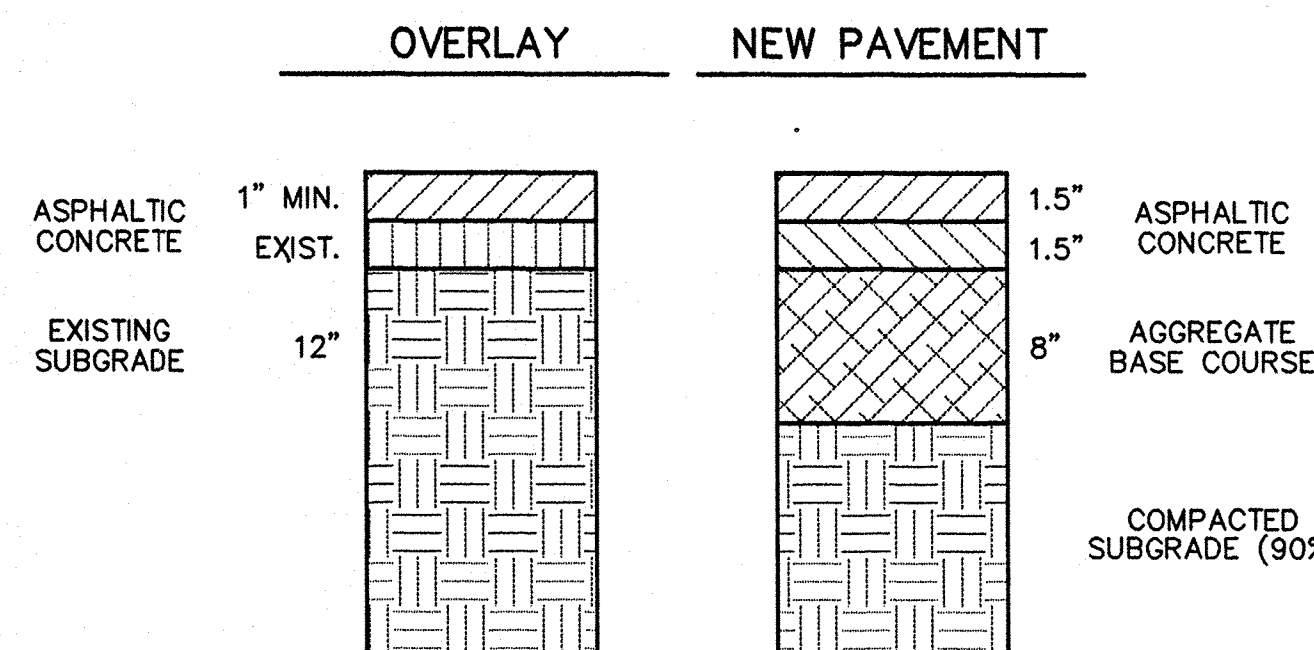
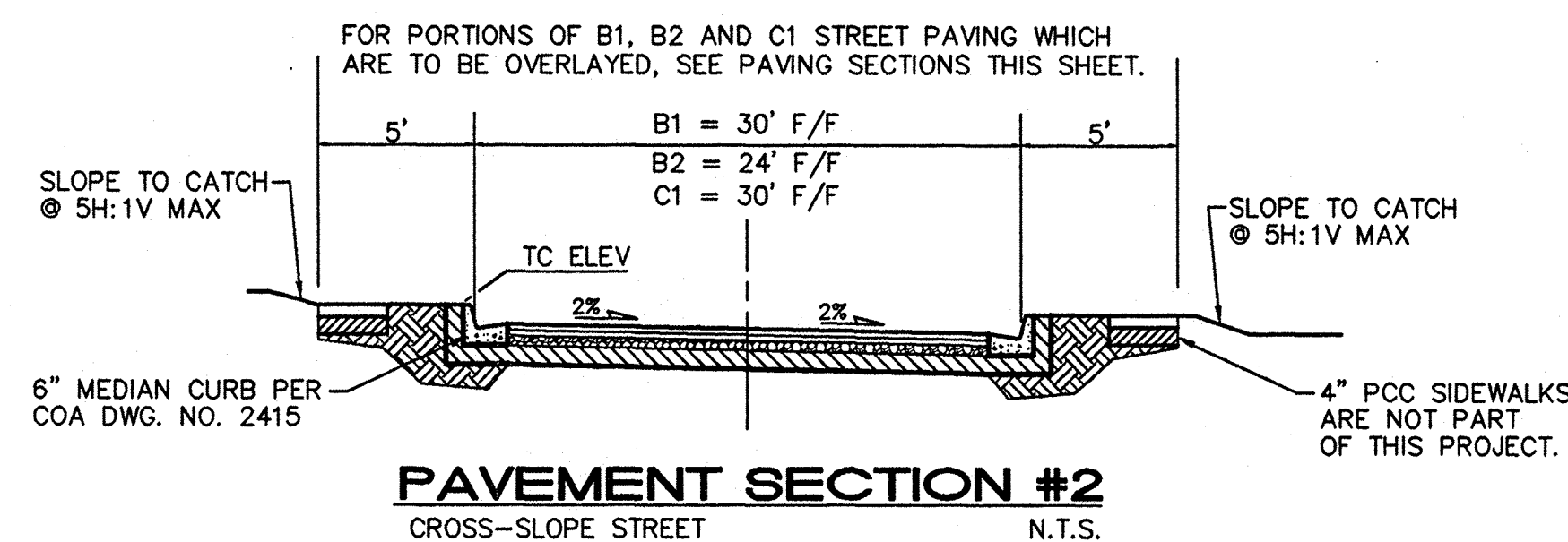
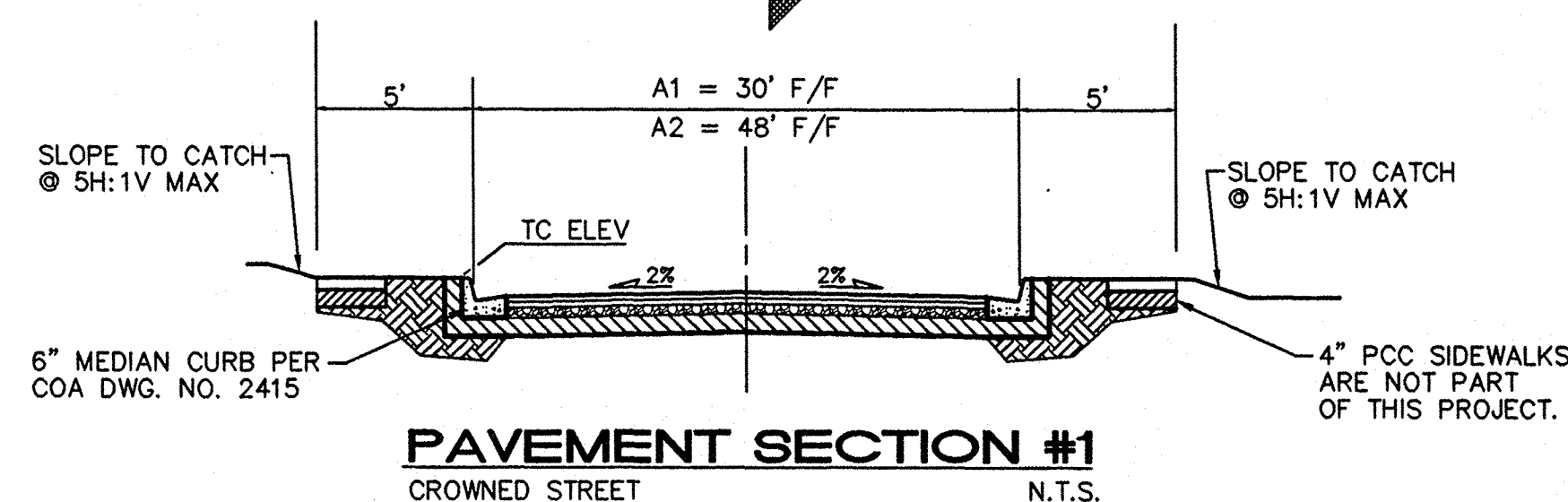
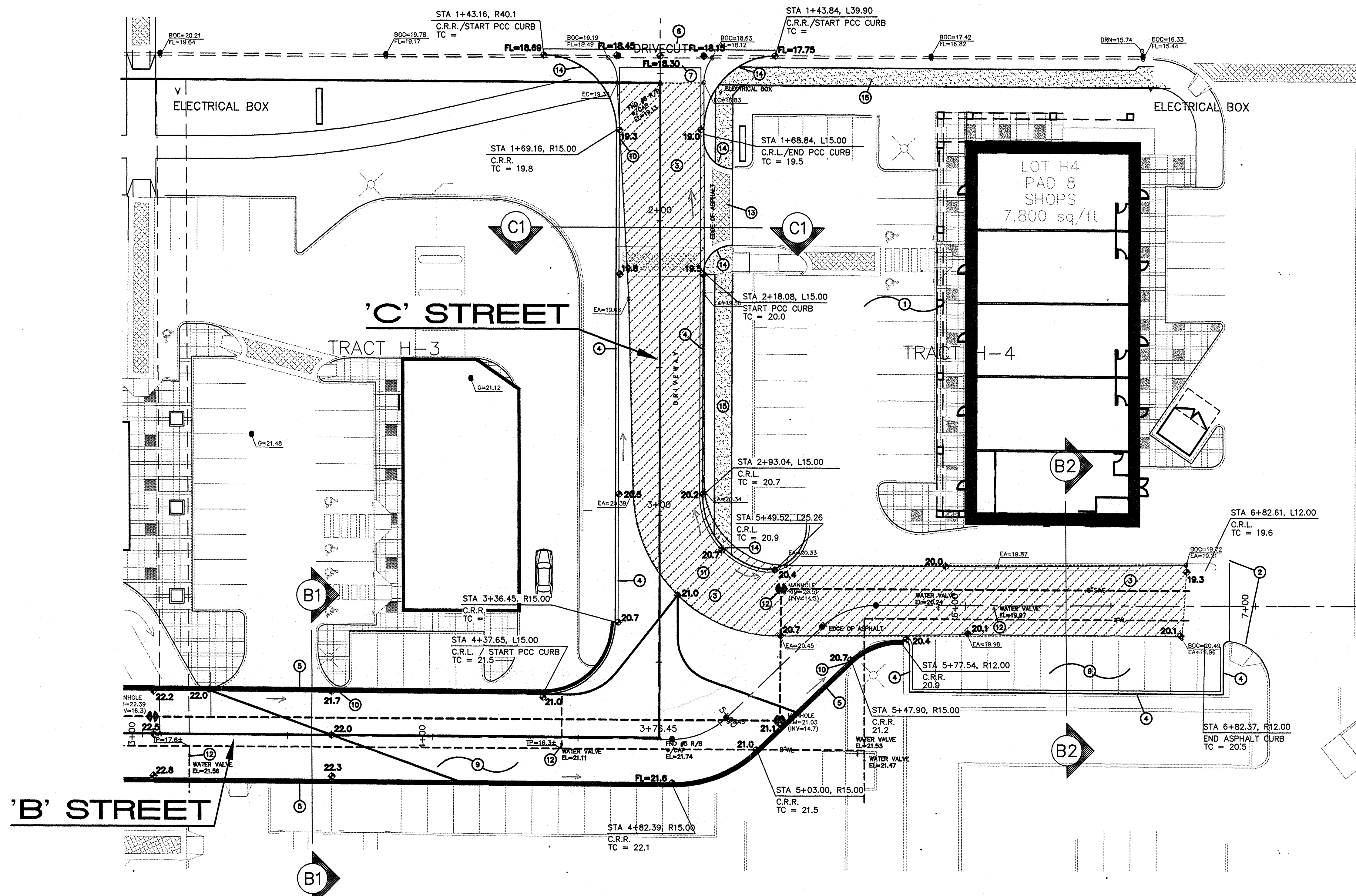
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VENTANA RANCH TRACTS H-1 THRU H-4

Scale: 1" = 20' Drawn By: BJB Checked By: SMM Job Number: Date: 05.18.04

GRADING PLAN - WEST

C-2
31 OF



PAVEMENT SECTION

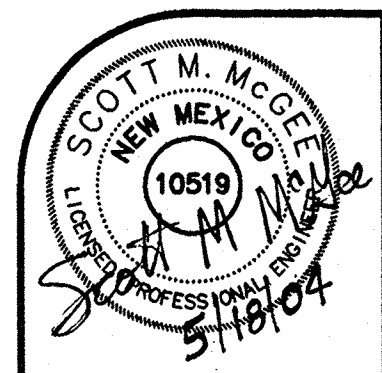
PAVEMENT SECTION SHALL BE PER DWG. 2405, ASPHALT CONCRETE (FLEXIBLE):
 • 1 1/2" ASPH. SURF., 1500 LBS. STABILITY
 • TACK COAT (IF REQUIRED)
 • 1 1/2" ASPH. BASE COURSE, 1500 LBS. STABILITY
 • 8" AGGREGATE BASE COURSE
 • 12" COMP. SUBGR. (95% COMPACTION)
 • COMPACTED SUBGRADE (90% COMPACTION)

KEYED CONSTRUCTION NOTES

- LOT H-4 WILL BE UNDER CONSTRUCTION CONCURRENTLY WITH PROPOSED ACCESS ROAD CONSTRUCTION.
- EXTEND NEW PAVING TO EXISTING ASPHALT PAVING THIS AREA. MATCH TOP OF EXISTING PAVING TO PROVIDE SMOOTH RIDING TRANSITION. SAWCUT EXISTING PAVING IF NECESSARY TO PROVIDE CLEAN BONDING EDGE. FIELD ADJUST TO PROVIDE POSITIVE DRAINAGE.
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- CONSTRUCT PRIVATE ENTRANCE PER C.O.A. STD. DWG. #2426. INCLUDE VALLEY GUTTER AND HANDICAP RAMPS AS REFERENCED.
- PROVIDE CROWN TO NO CROWN TRANSITION 50' MIN. LENGTH.
- PROPOSED ASPHALT PAVING. CONSTRUCT AT ELEVATIONS SHOWN. SEE ARCHITECTURAL FOR INFORMATION REGARDING PARKING LAYOUT, DIMENSIONS, STRIPING, PAVING SECTION, ETC. PAVING SLOPE VARIES WITH 0.0100'/' MINIMUM AND 0.0800'/' MAXIMUM.
- GENERAL NOTE: ALL SPOT ELEVATIONS WITHIN PAVEMENT AREA REPRESENT TOP OF PAVING UNLESS NOTED. ADD 0.5' TYPICAL FOR TOP OF CURB ELEVATIONS.
- HIGH POINT IN PAVEMENT THIS AREA.
- EXISTING UTILITY LINES (W AND SAS) AND RIM ELEVATIONS SHOWN ARE PROVIDED FOR INFORMATION ONLY. CONTRACTOR TO ADJUST ALL EXISTING UTILITIES TO FINISH GRADE. TOP OF WATERLINE AND MH INV. INFORMATION TAKEN FROM ORIGINAL DESIGN DOCUMENTS. MH RIM AND WATERVALVE SURFACE ELEVATIONS ARE AS SURVEYED.
- CONSTRUCT 6" THICK CONCRETE WALK (COLOR = RED-BROWN. TEXTURE = SCORED) ACROSS DRIVE. SEE ARCHITECTURAL FOR ADDITIONAL INFORMATION.
- CONSTRUCT HANDICAP ACCESS RAMP PER C.O.A. STD. DWG. 2441 (CASE 1) AT INTERSECTION (BOTH SIDES).
- CONSTRUCT 6' WIDE CONCRETE SIDEWALK ADJACENT TO PROPERTY LINE PER C.O.A. STD. DWG. 2430. TRANSITION TO EXISTING WALK(S) AND HANDICAP RAMPS PER C.O.A. STANDARDS.

LEGEND

- 78.3 PROPOSED SPOT ELEVATION
- FLOW ARROW
- SIDEWALK CULVERT
- TOP OF CURB ELEVATION
- FL FLOWLINE
- FL FLOWLINE ELEVATION
- G EXISTING GRADE ELEVATION



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VENTANA RANCH TRACTS H-1 THRU H-4

Scale: 1" = 20' Drawn By: BJB Checked By: SMM Job Number: Date: 05.18.04

GRADING PLAN - EAST C-3 SH OF