

CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services Section**

October 23, 2006

George R. Rainhart, Registered Architect
2325 San Pedro NE, Ste. 2-B
Albuquerque, NM 87110

Re: Certification Submittal for Final Building Certificate of Occupancy for
Ventana Square (G-1-A), [B-10 / D3C]
6501 Paradise Blvd NW
Architect's Stamp Dated 10/18/06

P.O. Box 1293

Dear Mr. Rainhart:

Albuquerque

The TCL / Letter of Certification submitted on October 19, 2006 is sufficient for acceptance by this office for final Certificate of Occupancy (C.O.). Notification has been made to the Building and Safety Section.

New Mexico 87103

Sincerely,

Nilo E. Salgado-Fernandez, P.E.
Senior Traffic Engineer
Development and Building Services
Planning Department

www.cabq.gov

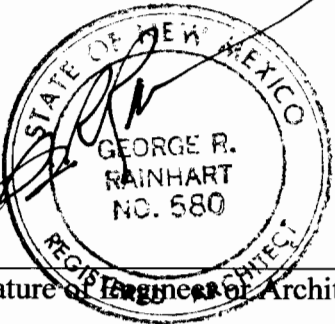
c: Engineer
Hydrology file
CO Clerk

TRAFFIC CERTIFICATION

I, George Rainhart, NMPE OR NMRA NMRA OF THE FIRM George Rainhart Architect & Associates, HEREBY CERTIFY THAT THIS PROJECT HAS IS IN DESIGN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED July 28, 2006. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY Alejandro OF THE FIRM George Rainhart Architect & Associate. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON October 19, 2006 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR Certificate of Occupancy.

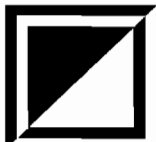
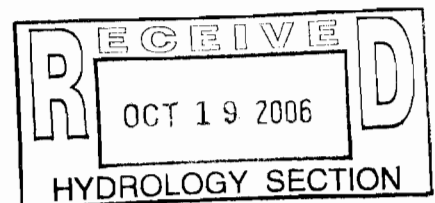
Note: Revised Lot Numbering and Pad Architectural design Standards AA was revised 7/28/09.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.


Signature of ~~Engineer~~ Architect

ENGINEER'S OR ARCHITECT'S STAMP

10 18 06
Date



GEORGE RAINHART, ARCHITECT & ASSOCIATES P.C.
2325 SAN PEDRO NE SUITE 2-B ■ ALBUQUERQUE, NEW MEXICO 87110
PHONE: 505-884-9110 ■ FAX: 505-837-9877 ■ Email: graa@gra-arch.com

EXISTING COUNTRYHILLS SUBDIVISION
ZONING R-LT TRACT 7A

FUTURE CITY
COMMUNITY PARK

TRACT F-I
Zoning R-LT

Natural Basalt and Soil Cement Drainage Conveyance

LEGEND
EXISTING.
* LIGHT POST.
F.H. 5H

TRACT Z
AMAFCA
DRAINAGE
FACILITY

BUILDING AREA & PARKING CALCULATIONS:
MAJOR 1: 41,450 SF. BUILDING.
LOT SIZE= 234,301 SF OR 5.38 A.C.
41,450 SF / 1 SPACE PER 200 SF FOR THE FIRST
15,000 SF OF NET LEASABLE AREA; 75 CARS,
1 SPACE PER 250 SF FOR THE NEXT 26,450 SF
OF NET LEASABLE AREA; 106 CARS
= 181 CARS
SPACES PROVIDED 181 SPACES.
FAR= .17
OCCUPANT LOAD: 41,450/ 30 =1,382

SHOPS 1: 11,600 SF. BUILDING.
LOT SIZE= 48,127 SF OR 1.10 A.C.
11,600 SF / 200 = 58 SPACES.
SPACES PROVIDED 58 SPACES.
FAR= .24
OCCUPANT LOAD: 11,600/ 30 =387

PAD 1: 2,005 SF. BUILDING.
LOT SIZE= 31,266 SF OR .718 A.C.
1 CAR PER 4 PROVIDED SEATS
48 SEATS / 4 = 12 REQ. CARS.
SPACES PROVIDED 31 SPACES.
FAR= .06
OCCUPANT LOAD: 2,005/ 15 =134

PAD 2: 2,763 SF. BUILDING.
LOT SIZE= 38,457 SF OR .88 A.C.
1 CAR PER 4 PROVIDED SEATS
80 SEATS / 4 = 20 REQ. CARS.
SPACES PROVIDED 42 SPACES.
FAR= .07
OCCUPANT LOAD: 2,763/ 15 =185

SHOPS 2: 10,500 SF. BUILDING.
LOT SIZE= 47,748 SF OR 1.05 A.C.
10,500 SF / 200 = 53 SPACES.
SPACES PROVIDED 53 SPACES.
FAR= .22
OCCUPANT LOAD: 10,500/ 30 =350

FLOOR AREA RATIO
BUILDING SQUARE FOOTAGE MAY BE HIGHER, BUT SHALL NOT EXCEED 10,000
SQ/FT PER GROSS ACRE IN ACCORDANCE WITH THE MAY 31,1998 AGREEMENT
WITH C.O.A.
TOTAL BUILDING AREA = 68,318 SQ/FT
TOTAL LOT AREA = 397,832 SQ/FT
TOTAL FAR = .17

PARKING NOTES:
TYPICAL STANDARD SPACES ARE 8'-6" X 20'-0" H.C. SPACE 8'-6" X 20'-0"
SMALL CARS SPACES ARE 8'-0" X 16'-0"
* ALL SPACES ARE STANDARD SIZE UNLESS OTHERWISE NOTED *
25 BICYCLE SPACES
10 MOTORCYCLE SPACES

TOTAL STANDARD PARKING SPACES PROVIDED 319 SPACES
TOTAL SMALL CARS PARKING SPACES PROVIDED 23 SPACES
TOTAL HC PARKING SPACES PROVIDED (INCLUDES 5 VAN SPACES) 27 SPACES
TOTAL PROVIDED 369 SPACES
TOTAL REQUIRED SPACES = 334 SPACES
TOTAL PROVIDED SPACES = 347 SPACES

LEGAL DESCRIPTION

TRACTS G AT VENTANA SQUARE
CURRENT ZONING
C-2 TO SU-1 FOR C-2
TOTAL ACREAGE

9.13 ACRES G1,G2,G4,G5,G6
WALGREENS 3.55
TOTAL GROSS 12.68 AC.

GENERAL ARCHITECTURAL DESIGN
REQUIREMENTS

GENERAL ARCHITECTURAL

General architecture character for pad structures is to follow the general design concept depicted on elevations of major stores and shops, pad buildings will be cementitious finish with a cementitious or split face cmu dado band. The main building walls must be colored to match color benjamin moore (#2) bm951 and (#1) bm1032. If the building extends below finish floor that area will also be covered with color #2. Structures are to be predominately flat-roofed however partial building areas such as porches or small extensions of building functions adjacent to the major building mass may have sloped roofs. These roofs are to be shed type mission tile clad and the high point of the roof must hit the main building wall below the top of the main building parapet. Architectural entry element roofs may extend above the parapet wall top and area to relate to the entry format of the main buildings. Building heights are limited to 35' parapet heights for major building walls, and 26' parapet heights for pad building walls mission tile clad entry roofs may extend above this height to accent and articulate the building mass.

PAD ARCHITECTURAL DESIGN STANDARDS

Shall include the following elements to provide uniform standards for all pads, each pad to follow building elevations provided. --the lower 3'-4" of the area of vertical walls shall be LONE STAR SEMINOLE DRY STACK STONE. Landscape garden walls to be split pace block to match. All architectural towers with square pattern design to be internally lighted with glass block within the square pattern to be illuminate color #2. --four or eight inch split face of accent block. color #1 --flat canopies to be cementitious finish color #1 lighting to be entirely recessed in soffit of fuel canopies (max 50ft candles) --each pad development to provide an outdoor paved and landscaped patio space with outdoor furniture, such as bench seating or picnic tables.

MECHANICAL EQUIPMENT SCREENING

All mechanical equipment will be screened from view of the adjacent parking area and public right-of-way. In addition, if it is determined that the mechanical unit can be observed from the residential area horizontal screening per the attached conceptual sketch is required.

COLOR PALETTE

color #1 light tan benjamin moore #1032
color #2 medium dark tan dado band base wall color #951
color #3 marbled terra cotta concrete tile roofing, trim & accents (med red/brown). (MONIER BARCELONA CLIFFSIDE, RED).

SPECIAL BUFFERING

Drive up pick up windows to be screened with a 5' high opaque wall and 5' wide (minimum) landscape area with evergreen trees at 10' on center and 10' high (minimum). A berm of the same height as the wall may be provided in lieu of the wall.

BUILDING SIGNAGE

Except as noted under awnings all signage will be internally illuminated individual type lettering not to exceed 6 percent of the wall area of each building elevation or ten percent of the wall area of the shop building. Letters are to be back lit. No exposed neon. Neon must be within solid opaque faced metal channel lettering can type signs are prohibited. Any special logos associated with a specific tenant are to be provided in a non-illuminated fashion for special approval.

LANDSCAPING

Landscaping of the pads will be from the same landscaping pallet and concept as provided on the master landscaping plan.

AWNINGS

Awnings are permitted above window areas. Awnings with painted or embossed corporate logos or signage are permitted provided the area when added to all other wall signage does not exceed 6 percent of the area of building wall. Illumination of awnings must be from pendant mounted fixtures located above the awning. Accent colors on awnings are to be compatible with the general color palette and samples of the proposed awning colors are to be provided with each submittal.

GLAZING

Reflective glazing is prohibited. Clear and bronze tinted glass is permitted.

SERVICE AREAS

Service areas such as refuse locations and compactors are to be totally screened from the view of the adjacent residential area, public rights-of-way and the adjacent monument area. Free-standing dumpster and compactor locations are to be gated. Screening material to match building wall color and material REFER TO CONDITION P. OF 2000 DRB.

LIGHTING

Site lighting for pad structures is to match the site lighting provided for the main parking area. pad site lighting not to exceed 20' to fixture. Main parking area lighting not to exceed 20' to fixture. Exposed, i.e. unshielded light fixtures are prohibited. All lamps must be shielded shoe box type fixtures. Maximum light level under fuel canopies to be 50ft candles, from totally recessed lighting.

FREE STANDING SIGNAGE

250 sq ft x 18" tall architecturally coordinated signs are permitted, one each at the paradise blvd. entry to G. and one on Paseo del Norte frontage. Each pad building or group of pad buildings to have one 50 sf monument sign.

TRAFFIC REQUIREMENTS:

All traffic requirements have been met per May 31,1998 agreement between the city and Las Ventanas limited partnership.

PARKING

The allowed parking shall be equal to the required parking plus 10% maximum ADA requirements shall be located adjacent to building entries

ALTERNATE USE

Concept: If one of the approved schematic alternate use plans is selected for development in lieu of the approved Site Plan for Building Permit, a complete Site Plan for Building Permit purposes will be prepared and submitted to the DRB for review and approval. (EPC review not required unless the plan for development does not match one of the alternate schematic plans).

RADIUS INFORMATION:

- | | |
|-------------------|--------------------|
| ① RADIUS = 2'-0" | ⑦ RADIUS = 25'-0" |
| ② RADIUS = 3'-0" | ⑧ RADIUS = 35'-0" |
| ③ RADIUS = 5'-0" | ⑨ RADIUS = 40'-0" |
| ④ RADIUS = 10'-0" | ⑩ RADIUS = 50'-0" |
| ⑤ RADIUS = 15'-0" | ⑪ RADIUS = 60'-0" |
| ⑥ RADIUS = 20'-0" | ⑫ RADIUS = 100'-0" |

FILE: PROJECT# 1002346
OSEP-01284 EPC SITE DEVELOPMENT PLAN BUILDING PERMIT.
OSEPC-01283 EPC AMENDED SITE DEVELOPMENT PLAN SUBDIVISION.
LEGAL DESCRIPTION: FOR ALL OR A PORTION OF TRACTS G1,G2,G4, VENTANA SQUARE AT VENTANA SQUARE, ZONED SU-1 FOR RESTRICTED C-2 USES, LOCATED AT THE NORTHEAST CORNER OF UNIVERSE BLVD. NW AND PARADISE BLVD. NW, APPROXIMATELY 9.13 ACRES. (8-10 CARMEN MARRONE, STAFF PLANNER.

7 VICINITY PLAN

SCALE: 1"=1,000'

KEYED NOTES

1. PYLON SIGN. 1A. MONUMENT.
2. 6'-0" TEXTURED PEDESTRIAN CROSSWALK.
3. GATED REFUSE ENCLOSURE-PAINTED STUCCO TO MATCH BUILDING WITH SOLID GATES.
4. 6'-0"x8'-0" TREE PLANTERS.
5. BIKE RACK PER C.O.A. STANDARDS.
6. 3'-0" GARDEN WALL. (COLOR & MATERIAL TO MATCH MAIN BUILDING)
7. CONCRETE OUT DOOR PATIO AREA.
8. ASPHALT TRAIL.
9. DOCK METAL.
10. LANDSCAPE AREA.
11. TRANSFORMER.
12. NOT USED.
13. BENCHES.
14. 12"x18" MOTORCYCLE SIGN AS PER CITY REQ.(MC)
15. SIGN, SLOW DOWN DUE TO PEOPLE CROSSING.
16. 10'-0" SCREEN WALL.
17. RIGHT TURN LANE.
18. EXISTING MULTI-PURPOSE TRAIL (PER LONG RANGE BIKEWAY SYSTEMS MAP).
19. TRELLIS.
20. DO NOT ENTER (SIGN).

PROJECT NUMBER:

APPLICATION NUMBER:

This plan is consistent with the specific site development plan approved by the Environmental Planning Commission (EPC) on _____ and the findings and conditions in the Official Notification of Decision are satisfied

Is an Infrastructure List required? () YES () NO If yes, then a set of approved DRB plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL

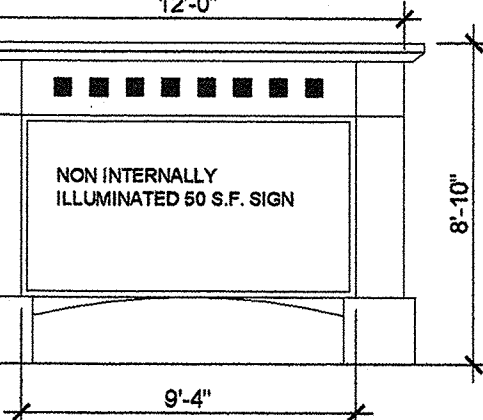
Traffic Engineering, Transportation Division	Date
Water Utility Department	Date
Parks and Recreation Department	Date
City Engineer	Date
Environmental Health Department	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

* Environmental Health, if necessary

SU-1 FOR C2 PURPOSES

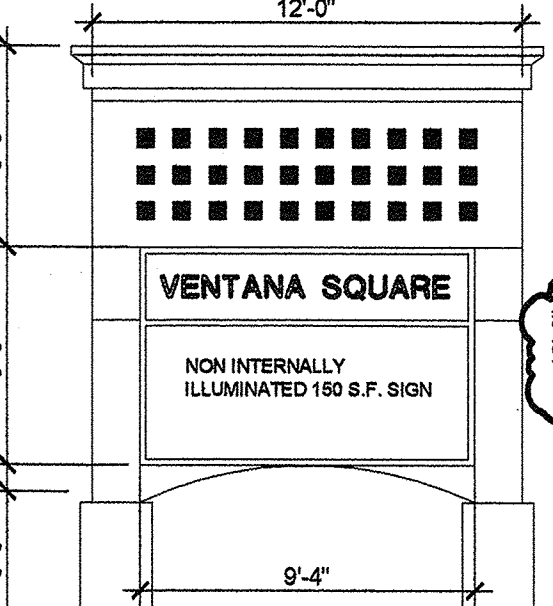
7 GARDEN WALL

Scale: Not to Scale



5 MONUMENT SIGN

Scale: Not to Scale



6 MONUMENT SIGN

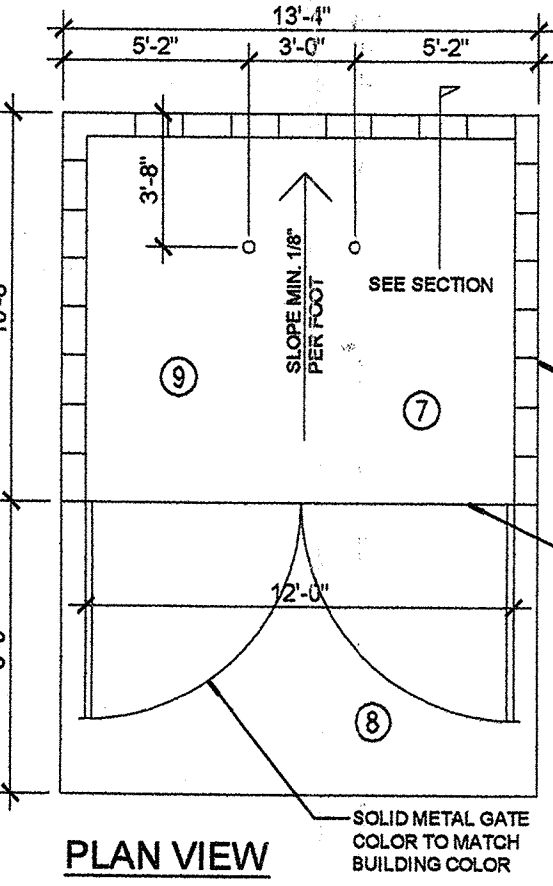
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1 SITE PLAN

Scale: 1"= 50'-0"

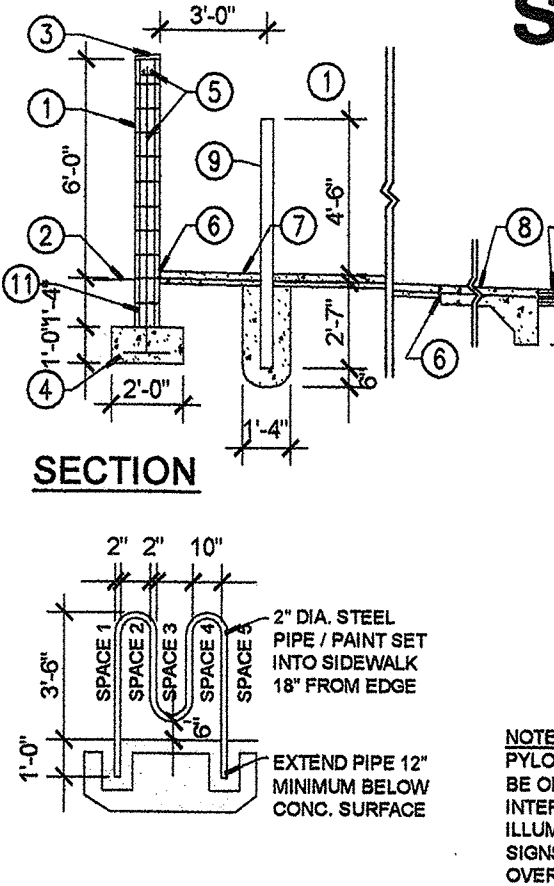
1"= 50'

- KEYED NOTES
1. 8" CMU WALL WITH STUCCO SYSTEM OVER BUILDING PAPER. COLOR MATCH BUILDING COLORS.
 2. FINISH GRADE.
 3. SLOPE STUCCO CAP.
 4. 4x4 BARS CONT. @ BOTTOM OF FOOTING #4 @ 18" O.C. ACROSS BOTTOM OF FOOTING
 5. 2x4 BARS @ TOP KNOCK-OUT BLOCK BOND BEAM. CONTINUOUS #5 BARS @ 32" O.C. VERTICAL. GROUT REIN-FORCED CELLS.
 6. DURALWALL @ 18" O.C. HORIZONTAL.
 7. 1/2" EXPANSION JOINT MATERIAL.
 8. 4" CONCRETE FILL 3000 PSI 3/4" AGGREGATE WITH 6x6 - 10x10 WWM.
 9. 4" CONCRETE FILL PIPE IN 18" DIA. X 2'-4" DEEP CONC. FOOTING, PAINT TO MATCH STUCCO FINISH.
 10. ASPHALT PAVING
 11. GROUT ALL CELLS BELOW GRADE, TYPICAL.



4 REFUSE ENCLOSURE

Scale: Not to Scale



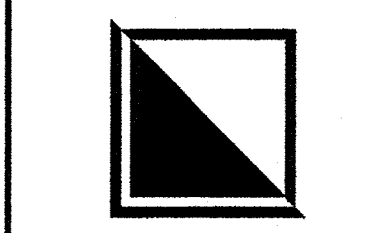
2 BIKE RACK

Scale: Not to Scale

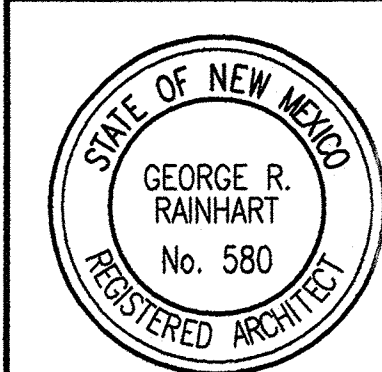
3 SITE LIGHTING

Scale: Not to Scale

REV	DATE	BY	REVISION
1			
2			
3			
4			
5			
6			
7			



GEORGE RAINHART, ARCHITECT AND ASSOCIATES P.C.
2325 SAN PEDRO NE., SUITE 2-B
ALBUQUERQUE, NEW MEXICO 87110
PHONE (505) 884-9110 FAX (505) 837-9877



PROJECT TITLE VENTANA SQUARE. (NEC) UNIVERSE & PARADISE ALBUQUERQUE, NEW MEXICO	DRAWN BY: APZ
PROJECT MANAGER GEORGE RAINHART	JOB NO. 962
SHEET TITLE SITE PLAN FOR BLDG. PERMIT	

DATE: 11/15/2005
SCALE: 1"=50'
sheet: A1.1
G-1A & G-2A