

CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services Section**

October 23, 2006

George R. Rainhart, Registered Architect
2325 San Pedro NE, Ste. 2-B
Albuquerque, NM 87110

Re: Certification Submittal for Final Building Certificate of Occupancy for
Ventana Square (G-1-A), [B-10 / D3C]
6501 Paradise Blvd NW
Architect's Stamp Dated 10/18/06

P.O. Box 1293

Dear Mr. Rainhart:

Albuquerque

The TCL / Letter of Certification submitted on October 19, 2006 is sufficient for acceptance by this office for final Certificate of Occupancy (C.O.). Notification has been made to the Building and Safety Section.

New Mexico 87103

Sincerely,

Nilo E. Salgado-Fernandez, P.E.
Senior Traffic Engineer
Development and Building Services
Planning Department

www.cabq.gov

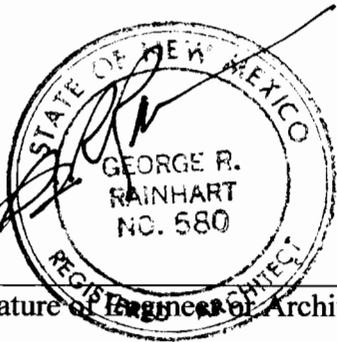
c: Engineer
Hydrology file
CO Clerk

TRAFFIC CERTIFICATION

I, George Rainhart, NMPE OR NMRA NMRA OF THE FIRM George Rainhart Architect & Associates, HEREBY CERTIFY THAT THIS PROJECT HAS IS IN DESIGN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED July 28, 2006. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY Alejandro OF THE FIRM George Rainhart Architect & Associate. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON October 19, 2006 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR Certificate of Occupancy.

Note: Revised Lot Numbering and Pad Architectural design Standards AA was revised 7/28/09.

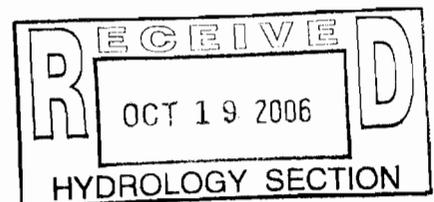
THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.



ENGINEER'S OR ARCHITECT'S STAMP

Signature of Engineer or Architect

10 18 06
Date



GEORGE RAINHART, ARCHITECT & ASSOCIATES P.C.
2325 SAN PEDRO NE SUITE 2-B ■ ALBUQUERQUE, NEW MEXICO 87110
PHONE: 505-884-9110 ■ FAX: 505-837-9877 ■ Email: graa@gra-arch.com

